



the orchard

a Glen Cove Revitalization Neighborhood

in partnership with the New York State Department of State



Prepared for: New York State Brownfield Opportunity Area
Step 2 Nomination Study
City of Glen Cove Community Development Agency

Prepared by:  *Engineering, Surveying and Landscape Architecture, P.C.*

September 2012



July 2, 2013

Hon. Ralph Suozzi, Mayor
City of Glen Cove
City Hall, 9 Glen Street
Glen Cove, NY 11542

Re: Coles School Addendum The Orchard BOA

Dear Mayor,

During the course of the preparation of The Orchard BOA Nomination Study it became apparent, based on input from the public and City staff, that there was an imperative to amend the boundary of the study area to include the Coles School property. The 3.974± acre property is located adjacent to the original ±105 acre Study Area boundary on the east side of Cedar Swamp Road. The addition of the Coles School property brings the total land area of The Orchard BOA to 109± acres. This letter contains the results of our investigation and analysis of the property, to be included with the BOA Nomination for the Orchard Neighborhood. Also included in this submission supporting the amendment of the current The Orchard BOA Study Area boundary are the following:

1. Updated maps to include the Coles School property within the boundary including:
 - Existing land use and zoning
 - Strategic sites
 - Brownfield, abandoned and vacant sites
 - Land ownership
 - Parks and open space
 - Building inventory
 - Historic and archeologically significant areas
 - Transportation systems
 - Infrastructure
 - Natural resources and environmental features
2. Coles School Historical Context Summary
3. City of Glen Cove Building Department Records
4. Preliminary Environmental Assessment

As a supplement to the amended maps, following is a narrative description of our findings with respect to various relevant categories of concern for the BOA program:

Existing land use and zoning

The zoning designations for the Coles School site are consistent with the other designations in The Orchard study area. The School is zoned as peripheral commercial, and the fields behind are part of the surrounding R-4 district

Brownfield, abandoned and vacant sites

In the updated Preliminary Environmental Assessment, the records indicate that the property was the site of a leaking underground storage tank which has since been closed. Additionally, the main Coles School building has been vacant since 2008, and the auxiliary gymnasium is underutilized although it is rented intermittently to recreational sporting groups by the City of Glen Cove Parks and Recreation Department.

Land ownership

As noted previously, the School and the fields behind it are both City-owned property.

Parks and open space

Almost 1.1 acre of fields, occasionally used for informal youth sports games, are located behind the Coles School. The fields slope upwards towards the west wall.

Building inventory

The Coles School Building is a ±20,083 square foot 2-story structure with basement erected circa 1930. There is approximately 13,217 s.f. of gross floor area on the ground floor and 7867 s.f. on the second floor and an estimated 5,900 s.f. of finished area in the basement. The site is served by approximately 84 parking spaces.

The interior of the building is laid out as follows:

- First floor: main foyer, auditorium (converted to common area and offices), classrooms, two student lavatories and teachers lounge;
- Second floor: classrooms, including two science labs, two student lavatories
- Basement: student lunchroom, computer room, student lockers, art room, maintenance office and boiler room¹.

¹ Summary of Appraisal, Frank Ciotta & Associates, Inc. 3/31/2011



There are currently two support buildings on the property: an approximately 8,750 s.f. one-story building used as a gymnasium and a one-story 1,348± s.f. support building.

Historic and archeologically significant areas

As noted in the Coles School historical context summary, the school facility has played an important role in the history of the City of Glen Cove and The Orchard neighborhood. The namesake for the school, and one of the principals responsible for its construction was Franklin Albert Coles, a member of one of Musketa Cove's settling European families and a member of the Glen Cove City Charter Commission. The school served an important educational and social function for the neighborhood for many years. For many first and second generation American families, it was a place of common ground where people of diverse backgrounds could come together. The Coles School functioned in this capacity until the Board of Education closed the building in 1992. The City ultimately purchased the property in 2002 and rented out the facility until 2008, and the building has remained vacant since.

Transportation systems

As indicated in Figure 2, the Coles School site is within easy walking distance (less than 0.25 miles) from the balance of The Orchard neighborhood located to the west of Cedar Swamp Road. A newly constructed pedestrian crosswalk with push button activation has been installed at the intersection of Grove Street and Cedar Swamp Road that enhances pedestrian access to the Coles School from The Orchard neighborhood. The property is accessible by vehicle from Cedar Swamp Road, and pedestrians can also access the open space in back via Kelly Street. Like most of the BOA Study Area, the property is within ¼ mile of the Long Island Rail Road (Glen Street Station).

Input from residents and the City indicate that both feel very strongly that, due to the building's architectural merit and community and historical significance, the Coles School should be preserved as a community and open space resource. As indicated above there is approximately 25,000 s.f. of interior space that can be programmed for enhanced community services to The Orchard community and the entire city (e.g., as a potential relocation site for the Glen Cove Day Care or the Glen Cove Senior Center).

Further, as noted on Figure 6, Big Ralph Park is located adjacent to the existing fields at the back of the Coles School property. The fields on the Coles School property can be improved to serve as an open space and recreational resource for The Orchard residents, thus creating an opportunity to create a contiguous expanse of parkland from the Coles School to Big Ralph Park. As noted in The Orchard Step 2 Study, access to outdoor recreation for children was an issue of concern for the community.

The historical and community significance of the property, the commitment by the City to maintain it for future community use, and the potential for the Coles School building and property to meet community needs identified during The Orchard Step 2 Nomination Process support the efforts to include the Coles school in The Orchard BOA. A wide range of uses has been proposed for the Coles School by local residents, local institutions and the City. During the sale negotiations in 2002, there was considerable public debate about repurposing the site for an expansion of the Glen Cove public library²; Remaining potential uses for the site include public uses such as a senior center or other community services^{3,4}.

Given the information presented above and the supporting documentation attached herewith, it appears that there is ample evidence that the inclusion of the Coles School property would be consistent with the intent of expanding opportunities for the residents of The Orchard BOA neighborhood as well as the City as a whole.

Should you have any questions on the above or attached please feel free to call me directly at (914) 467-6608.

Kind regards,



David B. Smith
VHB, Engineering, Surveying and Landscape Architecture, PC

² "Library Celebrates Expansion." *Gold Coast Gazette*, November 21, 2002.

³ "Coles and the City." *Glen Cove Record Pilot*, February 28, 2002; "Calls for Coles School." *Gold Coast Gazette*, February 28, 2002.

⁴ "Vacancy creates potential, city says." *Newsday*, date unknown.



UPDATED BOA MAPS



Sea Cliff Avenue Station

Glen Street Station

Brownfield Opportunity Area

Sea Cliff

Oyster Bay

Old Brookville

N Hempstead

Roslyn Harbor

Brookville

Lattintown

Oyster Bay

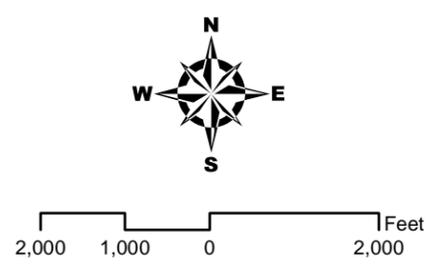
Matinecock

Glen Cove

Figure 1

***The Orchard
Brownfield Opportunity Area
Preliminary
Study Area Context Map***

- Legend**
-  Brownfield Opportunity Area (BOA)
 -  Municipal Boundary





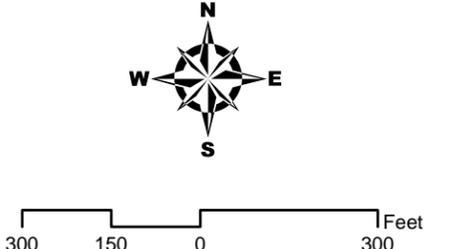
Coles School Property

GLEN HEAD COUNTRY CLUB

- Legend**
-  Brownfield Opportunity Area (BOA)
 -  Approximate Assessor Parcel Boundary
 -  Municipal Boundary
 -  Railroad
 -  Coles School Property

Figure 2

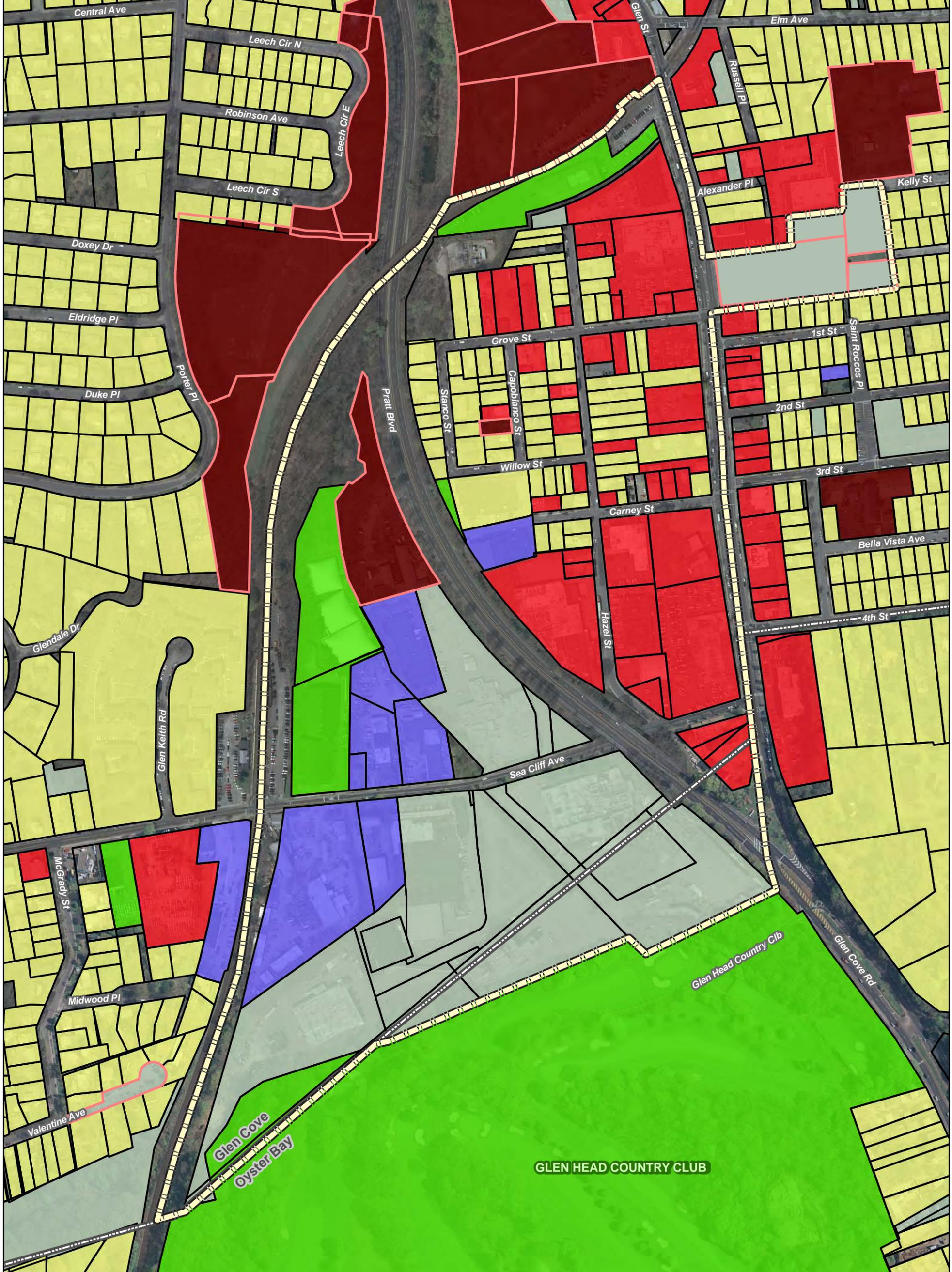
The Orchard *Brownfield Opportunity Area* *Study Area Boundary*



N
W E
S

300 150 0 300 Feet

Base Map Source: 2007 Glen Cove Orthophotography Imagery

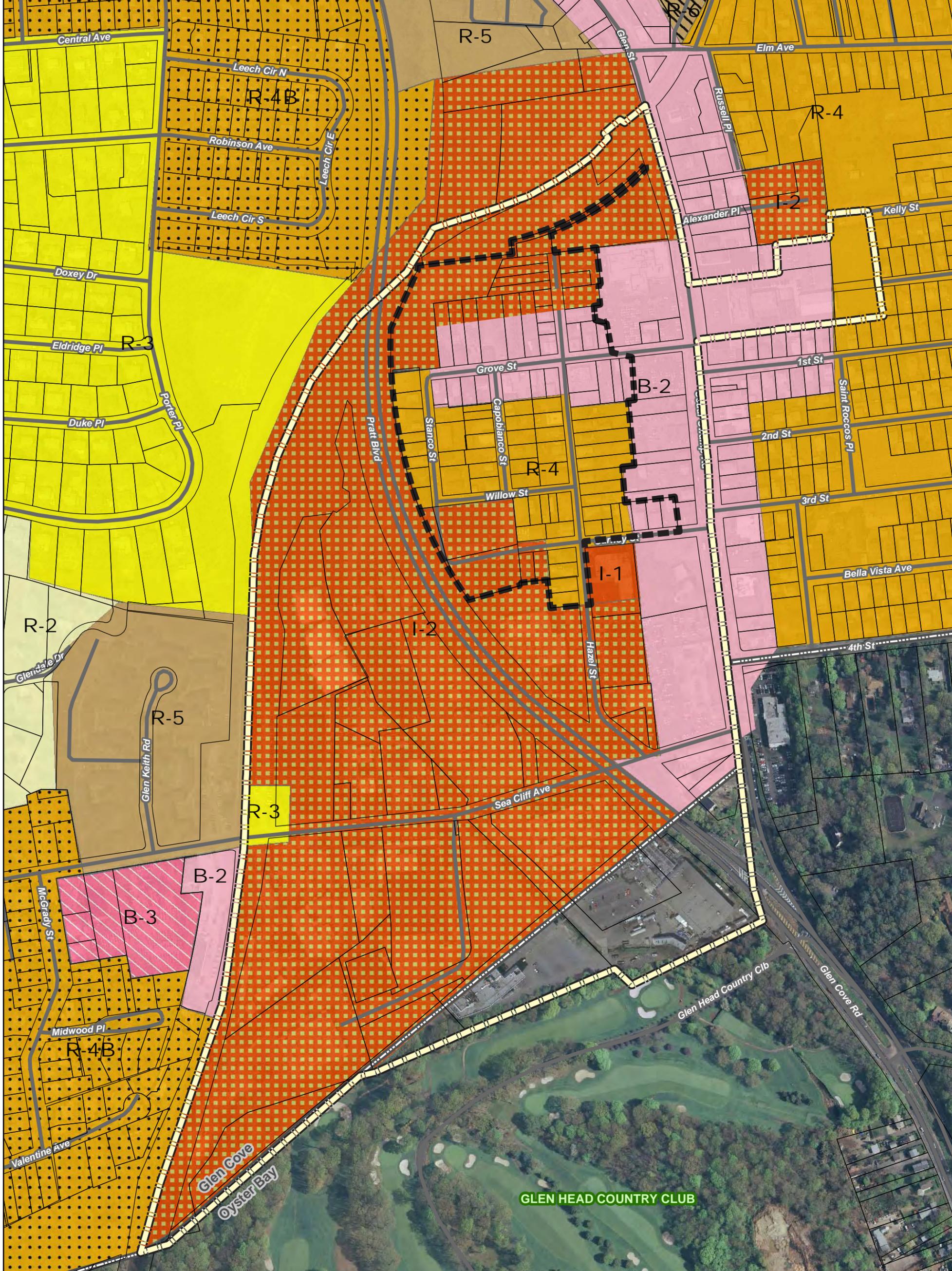


Legend

| | | | |
|--|---|--|-----------------------------------|
| | RESIDENTIAL | | BROWNFIELD OPPORTUNITY AREA (BOA) |
| | COMMERCIAL | | CITY OWNED PARCELS |
| | COMMUNITY SERVICES | | MUNICIPAL BOUNDARY |
| | INDUSTRIAL | | |
| | PUBLIC SERVICES | | |
| | AGRICULTURE | | |
| | RECREATION AND ENTERTAINMENT | | |
| | WILD, CONSERVATION LANDS AND PUBLIC PARKS | | |
| | VACANT | | |

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 3
The Orchard
Brownfields Opportunity Area
Preliminary
Existing Land Use Map

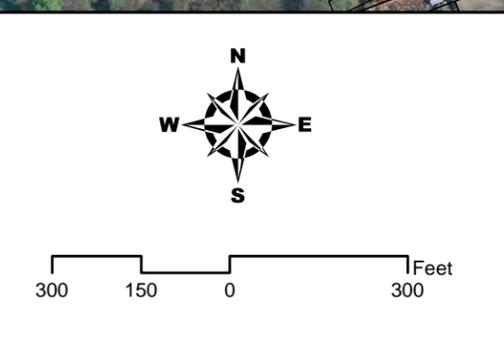


Legend

| | | | |
|--|--|--|------------------|
| | R - 2 - Half-Acre Residence District | | RIO - ON Overlay |
| | R - 3 - Quarter-Acre Residence District | | |
| | R - 3A - 6,500 Sq Ft Single Family Residence District | | |
| | R - 4 - 6,500 - 7,500 Sq Ft One & Two Family Residence District | | |
| | R - 4B - 6,500 - 7,500 Sq Ft One & Two Family Residence District | | |
| | R - 5 - Garden Apartment - Office District | | |
| | R - 6 - Residence - Office District | | |
| | B - 2 - Peripheral Commercial District | | |
| | B - 3 - Quarter-Area Residence District | | |
| | I - 1 - Light Industrial District | | |
| | I - 2 - Light Industrial District | | |
| | Municipal Boundary | | |
| | Brownfield Opportunity Area (BOA) | | |

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 4
The Orchard
Brownfield Opportunity Area
Preliminary
Existing Zoning Map





Legend

- Buildings
- Approximate Assessor Parcel Boundary
- Brownfield Opportunity Area (BOA)
- Municipal Boundary

Figure 5

The Orchard Brownfield Opportunity Area Preliminary Building Inventory Map

300 150 0 300 Feet

Base Map Source: 2007 Glen Cove Orthophotography Imagery



Legend

- Park/Open Space
- Golf Course
- Approximate Assessor Parcel Boundary
- Brownfield Opportunity Area (BOA)
- Municipal Boundary
- Private Recreation

Base Map Source: 2007 Glen Cove Othophotography Imagery

Figure 6

***The Orchard
Brownfield Opportunity Area
Preliminary
Parks & Open Space Map***

300 150 0 300 Feet



Legend

- Hazardous Sites
- 100 - Year Floodway**
- Open Water
- Wetlands
- Parks
- Approximate Assessor Parcel Boundary
- Brownfield Opportunity Area (BOA)
- Municipal Boundary

Survey Trees
includes trees that could be surveyed from Public rights of way

- Deciduous
- Evergreen

** None in mapped area
Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 7
The Orchard
Brownfield Opportunity Area
Preliminary
Natural Resources, Environmental
Features and Tree Survey

W N E S

300 150 0 300 Feet

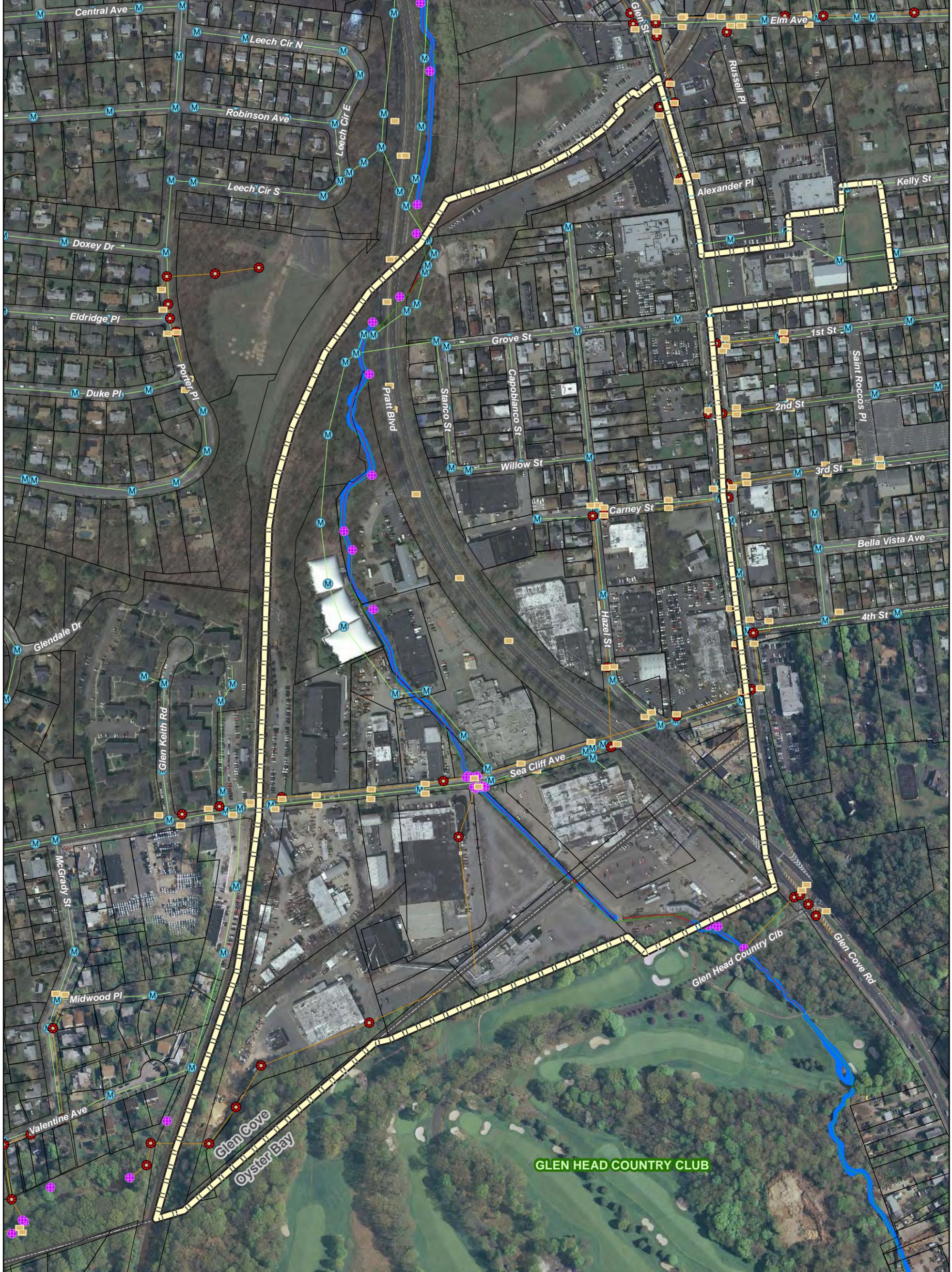


Legend

- National Register Listed Historic Property
- Archeologically Sensitive Areas
- Brownfield Opportunity Area (BOA)
- Approximate Assessor Parcel Boundary
- Railroad
- Municipal Boundary

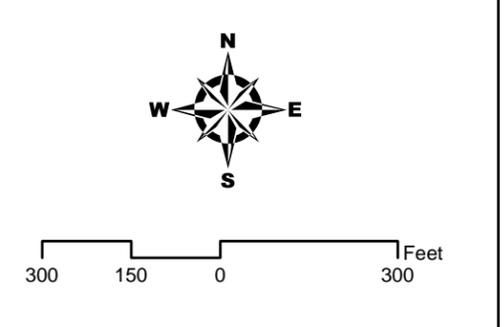
Figure 8
The Orchard
Brownfield Opportunity Area
Preliminary
Historic & Potential Archeologically
Sensitive Areas

Base Map Source: 2007 Glen Cove Orthophotography Imagery



- Legend**
- Drainage Catch Basins
 - Drainage Manholes
 - Drainage Outfalls
 - Sewer Manholes
 - Drainage Pipes
 - Natural Drainage
 - Sewer Pipes CWDB
 - Stream Corridors
 - Approximate Assessor Parcel Boundary
 - Brownfield Opportunity Area (BOA)
 - Municipal Boundary
- Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 9
The Orchard
Brownfield Opportunity Area
Preliminary
Infrastructure Map





- Legend**
- Brownfield Opportunity Area (BOA)
 - Potential Brownfield Inventory Property
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - FirstSearch Database**
 - CERCLIS
 - ERNS
 - LUST
 - UST
 - STATE
 - RCRACOR
 - RCRAGEN
 - RCRATSD
 - OTHER

Figure 10
The Orchard
Brownfields Opportunity Area
Preliminary
Potential Brownfield Inventory Map
Based on Environmental FirstSearch Databases

Base Map Source: 2007 Glen Cove Orthophotography Imagery



Legend

-  Brownfield Opportunity Area (BOA)
-  Approximate Assessor Parcel Boundary
-  Municipal Boundary
-  Railroad
-  Strategic Sites
-  Strategic Area

Figure 11
The Orchard
Brownfield Opportunity Area
Strategic Sites



300 150 0 300 Feet

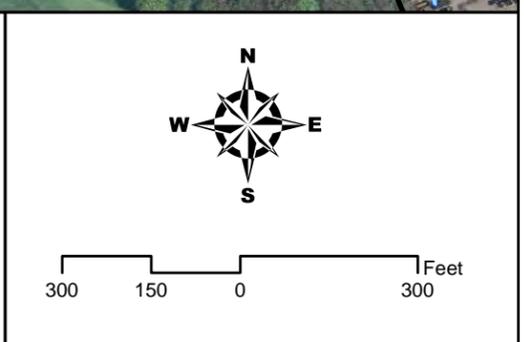
Base Map Source: 2007 Glen Cove Orthophotography Imagery



Legend

| | | |
|---------------------|-----------------------------------|--------------------|
| Multiple Lot Owners | MACCARONE | MUNICIPAL BOUNDARY |
| ABBONDANDOLO | MINICOZZI | |
| ANZALONE | PANTAZAKOS | |
| BENCIVENI | PETULLA | |
| COCCHIOLA | RENALDO | |
| CURCIO | SEKELSKY | |
| DELUCA | TORNICCHIO | |
| DIGIOVANNI | VILLATORO | |
| GALANTE | VILLELLA | |
| GALLO | BROWNFIELD OPPORTUNITY AREA (BOA) | |
| GRELLA | | |

Figure 12
The Orchard
Brownfield Opportunity Area
Preliminary
Multiple Lot Owners Map



Base Map Source: 2007 Glen Cove Orthophotography Imagery



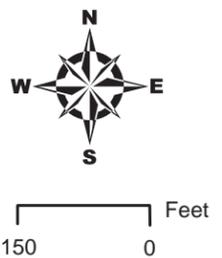
Legend

-  MUNICIPAL BOUNDARY
-  BROWNFIELD OPPORTUNITY AREA (BOA)
- 149 TAX LOT NUMBER
-  BLOCK NUMBER

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 13

***The Orchard
Brownfield Opportunity Area
Preliminary
Tax Map***





| Legend | |
|--------|-----------------------------------|
| | Bus Stops |
| | Bus Routes |
| | County Traffic Signs |
| | Signal Intersect |
| | Bridges |
| | Railroad Stations |
| | Railroad Crossings |
| | Railroad Buildings |
| | Brownfield Opportunity Area (BOA) |
| | Municipal Boundary |

Figure 14
The Orchard
Brownfield Opportunity Area
Preliminary
Transportation Systems Map



***The Orchard
Brownfields Opportunity Area
The Coles School
Aerial Photograph***



***The Orchard
Brownfields Opportunity Area
The Coles School
Historical and Contemporary Photos***

**COLES SCHOOL HISTORICAL
CONTEXT SUMMARY**

The Coles School: A Brief History

The Coles School on Cedar Swamp Road is one of Glen Cove's most beloved landmarks, serving as an architectural icon and a part of the educational and civic heritage of the City. Residents describe the Coles building as "very dear to the neighborhood, part of the neighborhood's history, and a beautiful piece of architecture."¹ Though the building has not been occupied since 2008, residents continue to value the property as a community and recreational asset.

Construction of the Coles School was initiated in 1929 and finished in 1931 in part thanks to the efforts of Franklin Albert Coles (1861-1943), a lineal descendant of one of the City of Glen Cove's settling families. Mr. Coles was a lifelong public servant and a respected member of the community.² Mr. Coles was a teacher and attorney, who held a number of distinguished positions including District Attorney of Nassau County, service in the New York State Constitutional Convention and New York State Assembly. Mr. Coles was a member of the Glen Cove Charter Commission, introducing the State legislation to incorporate the City from the Town of Oyster Bay and participating in the drafting of the City Charter, and he served on the Glen Cove Board of Education for 35 years.³

The Glen Cove School District actively used the building as a public school from 1931 to 1992. The School served the Orchard Neighborhood and the surrounding community, and many of the current residents of the Orchard Neighborhood attended primary school there. The Coles School made the front page news on October 26, 1929 when the City came together for the corner stone-laying, which included a parade and address by the Mayor of Glen Cove. In attendance were the Board of Education, City Council, Fire Department, Donohue Post, V.F.W., and Auxiliary, American Legion Post and Auxiliary, Public School Societies, Boy Scouts, Girl Scouts, Camp Fire Girls, all of the Italian societies, clergy and other groups.⁴

After weathering much of the twentieth century as a public school, the Board of Education closed the Coles School in 1992. In 1998 the building was leased to Solomon Schechter, a private Conservative Jewish school. Solomon Schechter made capital improvements to the building including a new boiler system, wiring the building for Internet access, and adding the auxiliary gymnasium.

In the early 2000s the Board of Education, faced with a tightening budget, put the school up for sale. Public approval was required not only for the sale, but also the price and use

¹ "Coles and the City." *Glen Cove Record Pilot*, February 28, 2002.

² Bar Association of Nassau County, Inc. Memorial of Franklin Albert Coles. November 1, 1943.

³ "Franklin A. Coles," Robert R. Coles LI History Collection, Glen Cove Public Library, date unknown.

⁴ "New Orchard School dedication today." *Evening Star, Glen Cove, N.Y.*, October 26, 1929.

of proceeds from the sale.⁵ Ultimately the City purchased the property from the Glen Cove Board of Education for \$2.5 million in 2002. Solomon Schechter continued to lease the building from the City until it relocated in 2008, and the building has remained vacant since. The building and grounds are currently being maintained by the City, and new uses for the property are being sought that will allow it to remain in public service.

⁵ "Sale of Coles School." *Gold Coast Gazette*, February 14, 2002.

Robert R. Coles LI History Collection
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542

FRANKLIN A. COLES

It is doubtful if any of this man's public interests could compare with those concerning the Glen Cove Public Library. From its founding, in 1894, until his death, in 1943 - a span of nearly half a century - he was deeply concerned with every phase of its activities and spent countless hours serving it in every way.

He was on the first Board of Trustees which hired Miss Carolyn S. Reed as the first librarian. (The title of Library Director was not used until many years later). In 1905 Miss Reed resigned from that position and the following year became Mrs. Franklin A. Coles.

Mr. Coles was born at Glen Cove, N. Y. at 7 The Place, in Aug. 24, 1861, and was a direct descendant of the original settlers of Musquito Cove who had bought the land from the Matinecock Indians in 1668.

His preliminary education was in the Glen Cove Public School and Friends Academy where he later taught and some years after that served as a trustee.

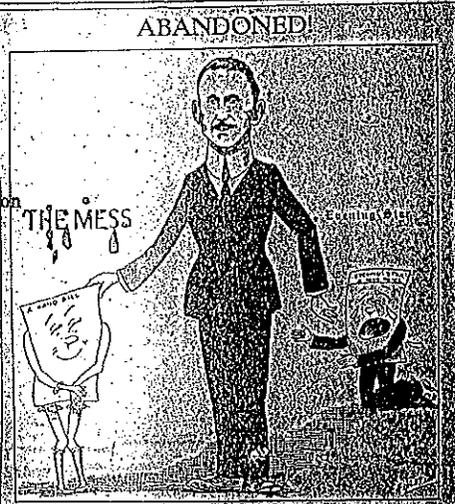
In 1884 he graduated from Cornell University, receiving the degree of Bachelor of Science and from the University of Pennsylvania in 1888 where he earned the degree of Bachelor of Laws. While studying there he taught mathematics and astronomy at a Friends School in the City of Philadelphia.

For several years he had a law office in New York and later moved to Brooklyn, also seeing clients at his home in Glen Cove during the evenings.

From 1905 to 1910, inclusive, he was District Attorney of Nassau County. In 1915 he served in the New York State Constitutional Convention and was in the New York State Assembly during the terms of 1917-1918, a body in which his father, Isaac Coles, also served during the Civil War.

Glen Cove,
Schools

Robert R. Coles LI History Collection
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542



What has the poor little fellow done? Has he killed some poor old man or has he violated some gods of which he knows nothing? No, he has done nothing but has been abandoned to the mercy of the Tammany Tiger and is being chaffed to death by such a dangerous beast.

New Orchard School Dedication Today

Cornerstone to Be Laid—Bands Will Play, Children
March and Sing and Orators Orate

At a meeting of a joint committee representing the Rotary Club, Chamber of Commerce, Neighborhood Association, Board of Education, City Council, and several of the Italian societies as well as Orchard House held last Friday evening plans for a parade and ceremony in connection with the cornerstone laying of the Coles School on Cedar Swamp Road were perfected.

The arrangements as decided upon include a parade which will start at the Soldiers' Monument at one-thirty and march to the new school building, where starting at two o'clock there will be selections by the V. F. W. Band, singing by the school children, short talk by the Mayor and an address by Mr. Franklin Coles, as well as the ceremony in connection with placing the stone.

Fred Bond, Commander of the local Post of the American Legion was designated as Marshal of the parade. The following groups have been invited to have a place in line: Board of Education, City Council, Fire Department, Donohue Post, V. F. W., and Auxiliary, American Legion Post and Auxiliary, Public School Societies, Boy Scouts, Girl Scouts, Camp Fire Girls, all of the Italian societies, clergy, and any other group or organizations that care to participate. The V. F. W. Band will be in the parade.

Today At 2 P. M.

PROGRAM OF THE CORNERSTONE LAYING OF THE NEW COLES SCHOOL ON CEDAR SWAMP ROAD
Parade, starting from City Hall at 2 P. M. Marshal, Fred Bond.
Musical selections by the V. F. W. Band, accompanied by the school children.
Address by Hon. Wm. Sennat, Mayor of Glen Cove.
Address by Mr. Geo. J. Coles, Architect.
Band selection.
Address and Laying of Corner Stone by Franklin S. Coles.
Benediction.
Singing of the Star Spangled Banner.
Remarks of the Legion Band.
CONTENTS OF CORNERSTONE LAYING
List of City Council.
Board of Education.
All Clubs, Societies and Organizations in the City of Glen Cove.
Copies of all news items published in the City of Glen Cove printed in this issue of the Evening Star.

Robert R. Coles LI History Collection
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542

24 Aug 11, 1943
**F. A. Coles, 81,
Nassau Leader,
Dies at Glen Cove**

**Veteran Lawyer,
Ex-District Attorney,
Helped Plan County**

Special to the World-Telegram

GLEN COVE, L. I., Aug. 11.—Franklin A. Coles, 81, former District Attorney for Nassau County and a Republican member of the State Assembly in 1918-19, died yesterday of a heart condition in North Country Community Hospital.

Said to be the county's oldest practicing attorney, Mr. Coles was graduated from Cornell University in 1888 and received his law degree at the University of Pennsylvania in 1890, when he established his practice here. At his death he maintained offices at 215 Montague St., Brooklyn.

Mr. Coles was one of the planners of Nassau County when it was separated from Queens County in 1898. He also was chairman of the original Glen Cove Charter Commission, introducing the legislative bill which established this community as a fourth-class municipality, separating it from the town of Oyster Bay.

Mr. Coles' term as District Attorney from 1905 to 1911 was marked by an attempt to impeach him because he refused to prosecute defendants if he became convinced of their innocence. He successfully defended himself at a hearing before Gov. Frank W. Higgins.

He was a member of the New York State Constitutional Convention in 1915 and was one of the four surviving charter members and a past president of the Nassau County Bar Assn. He had served for 35 years as a member of the Board of Education and the Public Library Board.

Mr. Coles was a lineal descendant of Robert Coles, one of the early settlers on Long Island. His father the late Isaac Coles was a member of the State Assembly in 1862. He is survived by his widow, the former Carolyn Reed of Peekskill; a son, Lt. Robert Coles of the Army Air Forces; and a brother, Oscar Coles of Bayside, Queens.

Copy

The following memorial with respect to the late Franklin Albert Coles, a former member of this Association and one of its past Presidents, was submitted by John P. McCarthy at the meeting of the Association held on October 22nd. It was felt that the beautifully worded tribute, which sets forth in some detail Mr. Coles' career, would be of interest to all of our members. There was no member of the Association more beloved than he.

Hunter L. Delatour
President.

Franklin Albert Coles, eighth in the line of Presidents and at the time of his death one of the four surviving charter members of this Association, passed away at Glen Cove on the 10th day of August, 1943. Had he lived until the 24th day of August, he would have attained the age of eighty two years. His immediate survivors consist of his son, Robert R. Coles, who is a well known scientist and at present serving as a Captain in the Army Air Corps, and a brother, Oscar L. Coles, a retired executive of the Central Hanover Bank and Trust Company.

There are some present here this evening who were Mr. Coles' companions at the Bar throughout the years and could perform far better than I the task of description. It is with gratitude for many acts of kindness to me, especially during the closing years of his life, that I venture to speak in room of those who might more justly claim the right.

Mr. Coles was born at Glen Cove of which he was a lifelong resident and was a son of Isaac Coles and Mary Willits. His father was a well known surveyor while one of his ancestors, Robert Coles, was one of the founders in 1688 of what is now the City of Glen Cove. Mr. Coles' ancestral home stands on the site of the first white settlement in that community.

Mr. Coles' preliminary education was received in the public schools of Glen Cove and at Friends Academy, of which latter institution he became a Trustee. In 1884 he graduated from Cornell University, receiving the Degree of Bachelor of Science, and in 1888 from the University of Pennsylvania, receiving the Degree of Bachelor of Laws. During his spare time and during the interval between his graduation from the aforesaid institutions of higher learning, he taught mathematics and science at Friends Academy, Locust Valley, New York, and at Friends Central School in Philadelphia, Pa.

He was admitted to the Philadelphia Bar in 1888 and to the New York Bar on the 13th day of February, 1890, on which latter date he began the active practice of law in association with the old and well known firm of Birdseye, Cloyd and Bayles at 170 Broadway. Later on he opened his own office at 150 Nassau Street where he remained for several years. Subsequently he moved his office to 215 Montague Street, Brooklyn, where he carried on until shortly before his death.

In 1904 he was admitted to practice in the United States District Court for the Southern District of New York and in 1912 in the United States District Court for the Eastern District.

During the years 1905 to 1910, both inclusive, he served as District Attorney of Nassau County. His administration of that important office was at all times marked by industry, vigor, fairness and cooperation with the courts. While vigorous and perhaps relentless in the prosecution of persons of whose guilt

Robert R. Coles
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542

The acquisition of wealth never appealed to him. Hence it was not strange that when he was consulted by a client his primary interest in the matter was to what extent he could be of real help to the person in question and whether there was an opportunity to correctly solve some intricate problem of law. On innumerable occasions he undertook to and did successfully handle matters for people whose means were very limited, knowing in advance that he would receive no compensation other than perhaps gratitude on the part of the recipient.

I feel certain that I do the memory of Mr. Coudert's father no injustice when I say that it may well be said of Mr. Coles as it was of the late Frederic R. Coudert whose death in the City of Washington on the 20th day of December, 1903, brought forth a day or two later the following editorial comment on the part of the Brooklyn Daily Eagle:

"His death closed a life of great usefulness and beauty. The career of this man was admirably complete. He left no work unfinished. His ambitions honorable all of them had all been honorably realized. He was a model citizen, a successful lawyer, a force in politics by being a true statesman, a vivacious and charming companion, an affectionate and loyal friend."

What proved to be a source of great satisfaction and pride to Mr. Coles was his being called upon by his fellow citizens to draw the charter upon the incorporation of Glen Cove as a City. This call to public service was no surprise as he was for many years and at the time of his death justly acclaimed as Glen Cove's first citizen.

He was a fine man and the record of his achievements will long stand as an excellent example of what energy, ambition and talent can accomplish where American citizenship supplies the field for development.

Even in his old age he did not spare himself and he labored on until he heard his Master's call to rest.

His death dispels a fount at which many were wont to drink.

Franklin A. Coles as we knew him in the flesh has passed on but the spirit of Franklin A. Coles will long hover over our Association.

Franklin A. Coles

born: 24 Aug. 1861

died: 10 Aug. 1943

Robert R. Coles Library
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542

GLEN COVE RECORD - 1984

By DANIEL E. RUSSELL
City Historian

The oldest house in Glen Cove, dating back to the time of the earliest settlement of the community in 1668, still stands at 34 The Place. Built by Robert Coles, one of the original "Five Proprietors of Musketa Cove Patent." It is the last surviving house of the original five constructed by the founding families.

Robert Coles Jr. was born about 1648, in Providence, R.I. His father, Robert Sr., had emigrated from County Suffolk, England, in 1630 as a member of the "Winthrop Fleet." Initially settling in Massachusetts Bay Colony, the elder Coles apparently did not see eye-to-eye with the religious authorities' views on the consumption of alcoholic beverages, and soon left the colony to join Roger Williams in founding Providence. When he died in 1654, at Warwick, R.I., he left an estate of more than 800 pounds to be divided between his wife, four sons and three daughters.

The junior Coles was the youngest of these four sons, and by 1662 was residing at Oyster Bay with his older brothers Daniel and Nathaniel. Within a few years Joseph Carpenter, also from the same Rhode Island community, was negotiating for the purchase of several hundred acres of land on either side of the stream which formerly flowed along Glen Street, intent to construct both a saw mill and a grist mill at the site. On May 24, 1664, Carpenter finally secured a deed to the land from the leaders of the local Mattinecock Indians. He took in as co-partners in the new venture Daniel, Nathaniel, and Robert Coles, and Nicholas Simkins, also of Oyster Bay. Robert Coles was the youngest member of the group, then only 20 years old.

These five men, who became known as the "Five Proprietors of Musketa Cove Patent," built their homes along The Place, believed to be the oldest street in Glen Cove. The western-most home lot was that of Daniel Coles; the eastern-most was the home of Robert Coles, at 34 The Place.

The small wing on the eastern side of the house is the original dwelling constructed by Coles in the 17th century. Measuring a mere 29 feet square on each side, one might consider life there

rather cramped, since Coles and his wife, Mercy Wright of Oyster Bay, eventually had nine children (Nathan, Tamar, Dorcas, Robert, John, Charles, Freegift, Mercy and Mary) during their 15 years of marriage. A surviving sketch of the Joseph Carpenter house, made in the mid-19th century by William M. Valentine after the building was destroyed by fire, compares closely with the Robert Coles house in both design and size; it is probable that all five of the "first" houses, and those built by the many other families that followed them in settling Musketa Cove during the second half of the 17th century, were relatively identical.

Robert Coles served as informal "keeper" of the "Musketa Cove Proprietors' Book," a large, vellum-covered record book containing manuscript copies of the land transfers and legal agreements of the "Five Proprietors." In addition to these official documents, Coles used the book to record his personal household accounts as well as the accounts pertaining to his one-fifth interest in the saw mill. These accounts, of which a complete transcript was only recently prepared, have shed considerable light on the day-to-day life in Glen Cove in the 1670's and '80's. Thousands of feet of boards and planks were exported to New York City by sloop for use in new construction as well as export to lumber-hungry colonies elsewhere. In addition, wainscoting, lile laths, roofing tile laths, ship timbers, "feather edged boards" and custom-cutting of walnut and cedar were available from the Musketa Cove saw mill.

In this era, seven shillings would buy a pair of good quality shoes, or a pair of men's stockings, or two and half bushels of corn. A pound of tobacco cost a mere six pence, and clay pipes were a penny a piece.

Robert Coles served in a variety of public offices in the town of Oyster Bay. In 1683, he was elected a lieutenant in the Oyster Bay militia. In 1690, he was promoted to Captain, a rank which he still retained in 1700. He served as Overseer of Highways for the Town of Oyster Bay as well as Assessor and Commissioner. In 1683, he was elected as one of four delegates from Oyster Bay to attend the meeting in

from the base as Glen Cove Yacht Service won their first ever championship.

In the best of three series the National League champion Yacht Service and American League Fire Dept. had split the first two games. Yacht won Game One 11-4, led by James Keegan's home run and backed by superb pitching by Chris Ham and Jeff Johnson. Yacht also featured a big nine-hit attack.

Game Two had both teams fighting to the end as Fire Dept. slipped Yacht, 7-6. Playing without their big hitter Gavin Wynne, Fire Dept. relied heavily on the arms of Robby Kormoski and fire plug Keith Miller, Miller and John Parente did most of the damage for Fire Dept. Miller picked up the win in relief by allowing only one run and two hits in three innings.

Then it all came down to one game season to see who could

more across in the top of the fifth. Robby Kormoski had limited Yacht Service to just one hit in his four innings of pitching. In the home half of the fifth Yacht, now facing Keith Miller, got even by cautiously scoring three times without the aid of a hit. Ronnie Crawford was summoned from the bullpen to put out the fire as he held Yacht scoreless in the fifth and sixth innings.

With the score all knotted at six runs a piece, tension mounted among the players and the large crowd that attended the game. Jeff Johnson, now on the mound for Yacht Service had to face the "heart" of the Fire Dept. batting order. Johnson re-fired the first two batters but then gave up a single to center to Sidney Gudino. Gudino promptly stole second base.

On the steal Gudino had

(Continued on page 13)

COLES

(Continued from page 9)

by additions made to western side of the structure. The first addition appears to date from about 1730, and doubled the area of the house. Later, sometime between 1780 and 1800, a large addition was made adjacent to the "1730" portion of the house. One of the most interesting features of the building is the 180-degree twist given to the chimney in this most recent portion of the house. Several theories have been advanced to explain the reason for the "corkscrew chimney," ranging from the belief on the part of its builder that it would prevent witches and evil spirits from flying down the chimney, to creating a better draft for the fireplace.

At the turn of this century, the old Coles homestead was the residence of George W. Cocks. Robert R. Coles, who resides on

The Place in a Victorian house constructed by his grandfather, Isaac Coles, in about 1860, recalls having met Cocks in his boyhood days. Coles described Cocks as "the most knowledgeable local historian and genealogist of his day." After his death, the house reverted to his daughter, Fannie, wife of Isaac Coles (son of Isaac Coles and uncle of Robert Reed Coles). She maintained "the finest rose garden anywhere in Glen Cove," according to her nephew.

In the 1960's, the house was owned by the Tausch family. About ten years ago, it was purchased by Dorothy Watson, who currently resides there, and her sister Joan Suters. Recently, the house was placed on the open market and has drawn a considerable amount of interest from local realtors.



Robert R. Coles LI History Collection
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542

Glen Cove Schools

GLEN COVE

Vacancy creates potential, city says

BY PAUL LAROCKO
paul.larocko@newsday.com

A private school's relocation is leaving Glen Cove with a prominent vacant building that had yielded \$400,000 a year in rent for nearly a decade.

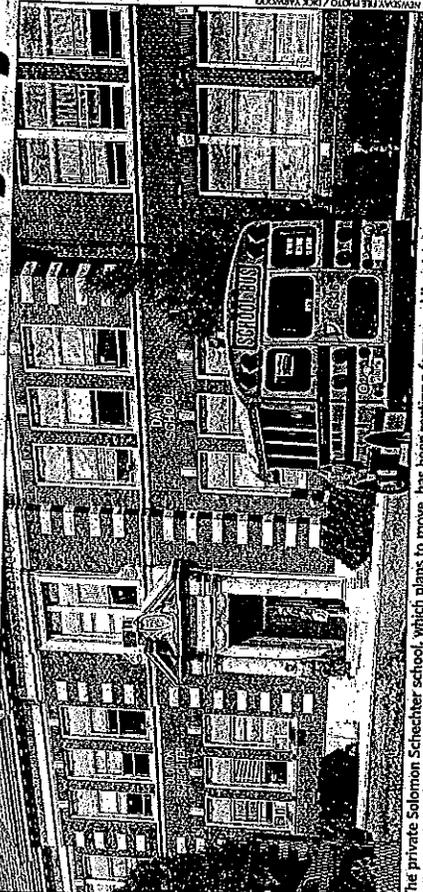
But the short-term loss of Solomon Schechter middle/high school, as of July 1, presents long-term potential, note city officials.

"It's a challenge and an opportunity," Mayor Ralph Suzzoni said of finding new use for the grand brick building on Cedar Swamp Road, which was a public elementary school from 1929 until 1992.

The city is now considering a new educational tenant — talks continue with a school for the autistic — or consolidating its community services there. It also hasn't ruled out a sale.

"Everything's on the table," Suzzoni said. "But this is very important to the community. It's not going to be knocked down for a supermarket."

Solomon Schechter rented the facility from Glen Cove School District in 1998 and continued there after the district sold it to the city for \$2.5 million in 2002. Recently the Conservative Jewish School of about 200 students became dissatisfied with its lease, as



NEWSDAY FILE PHOTO / DECK WANDROO

The private Solomon Schechter school, which plans to move, has been renting a former public school owned by the City of Glen Cove well as the school's location along the North Shore.

It will move to Cross Street School in Williston Park, owned by the Mineola public school district. That five-year lease calls for an average of \$265,000-a-year in rent over the first three years.

"We're really relocating because of a better financial deal, and because we found a more centralized location," said Lev Herrmann, Solomon Schechter's head of school.

The City of Glen Cove has been a great home. We leave with the best of feelings. Officials let Solomon Schechter out of its 20-year lease less than halfway through. Suzzoni said Glen Cove "received payment on several outstanding bills upon last year's agreement, offsetting the anticipated loss in

to the state comptroller. If that occurs, Suzzoni said the city may be in better shape than when a prior administration made the purchase, borrowing to do so. The school has since replaced the building's boiler system and fully wired it for the Internet.

"We're getting a property back that's much more marketable," he said. "There's an opportunity to make up the loss."

Robert R. Coles LI History Collection
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542

Sale of Coles School?

Glen Cove School Board Holds Hearings on Sale of Coles School

by Dana Giordano

The Glen Cove Board of Education began public hearings on the possible sale of the Coles School located on Cedar Swamp Road. The first hearing was held on February 11 in the high-school auditorium. The building is currently rented by Solomon Schecter as a private day school, but the Board announced that it has received an offer to purchase the property. The members would not disclose the identity of the prospective buyer, but audience members seemed convinced that the offer has come from Solomon Schecter.

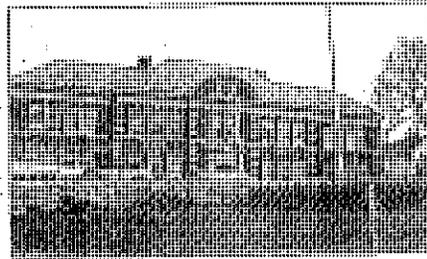
There was a presentation made by school administration officials in which they explained the history of the building, the cost of operation and maintenance, demographics of class size, and what might be done with the proceeds of a possible sale.

The presentation began with the

board's attorney, Carol Hoffman, explaining the history of the building's title and ownership. She stated that many residents have been under a mistaken assumption that the city, and not the school district, owns the building. While it is true that the deed reflects city ownership, she went on to say that, in 1950, title was transferred to the school district by "legislative action." She added that the decision was tested in the courts in the 1970s, when the district sold the South School, and that ruling came down in favor of the school district.

Ms. Hoffman also outlined the process by which the district could sell the building, stating that it could not go forward "without voter approval." She stated that after the board has signed a contract, the voters must then approve not only the sale itself, but also the price and how the

COLES continued on page 17



The Glen Cove School Board recently received an offer to purchase the Coles School, a building the district hasn't used for its students since 1992. (photo by Kevin C. Horton)

Week of February 14, 2002

Glen Cove Gazette

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Sale of Coles School?

COLES continued from page 1

board plans to spend the proceeds of the sale.

Superintendent of Schools, Dr. Mary Ellen Freely, then spoke about the school's past use, stating that it was closed by the district in 1992. It was vacant until 1998, when Solomon Schecter began renting it. Dr. Freely also described the layout of the building, which includes eight classrooms and a basement area.

Assistant Superintendent for Business, Lawrence Blake, explained the school's financial impact on the district. He stated that the net income produced by the Coles School is \$175,000 per year. This number reflects the amount of rent collected, less the annual maintenance costs.

He then explained that a study produced by a "facilities committee," comprised of local architects, engineers, and other construction professionals, indicated that the building "has less than five years of useful life left." This is due to the many major repairs that need to be completed before the school can continue as it presently does. According to Mr. Blake, if the board considered reopening it again for district use, these repairs, together with the increase in staff which would be necessary to support such a decision, would cost a total of about \$3.2 million over the next five years.

He also went on to say that any

increase in student enrollment could be more cost effectively dealt with by adding classrooms to the facilities at Grubb and Connolly Schools. And he added that the proceeds of any sale "would be useful for needed renovations of existing schools," and would be "put back into physical plant." They could also go toward the creation of a Reserve Fund for future capital projects.

The large majority of the people present did not necessarily object to the sale of the school, but wanted some guarantees that it would remain a school, and a part of the Glen Cove community. Their greatest concern was that the property would fall into the hands of a private developer and be made into homes, thus removing one of the few public areas in that part of the city. The argument was made that many residents use the grounds as a park and meeting place.

People asked the board to sell the building with "restrictions and covenants" to preclude its use for anything other than educational purposes; there were real concerns among those in the audience that this buyer is not interested in the building for the long term. The board answered that this idea was a matter for negotiation. The board announced that the property had been appraised for \$2.7 million, and that appraisal was for its "highest and best use," which did not exclude development.

The most interesting proposal for the property came from the director of the Glen

Cove Public Library, John McKay, who asked that the city have a chance to buy the building for conversion into a public library. He stated that the current library space is understaffed and does not meet the needs of "public demand." He said, "if relocated to the Coles School, the city would have an opportunity to make the library really work." He also added that if the library were moved, "the city gains the present library building for either another public use, lease to a third party or sale."

City Councilman, Michael Norman, was also present at the meeting. He stated that the city had "received calls from people who want to see Coles School maintain its presence as part of the community." He added that he believed the school could be used as a community resource in the area of the library or some of the other plans that the library has. He asked the board to meet with city officials in the coming weeks, "to work on a solution which will benefit everyone." The members seemed surprised by the development, but informally agreed to

talk with the city. Another public hearing on this issue is scheduled for February 25 at 7:30 in the Middle School Library.

Robert R. Coles LI History Collection
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542

Calls For Coles School

City Officials and residents want Coles School for Public Library

by Donna Giordano

The Glen Cove Board of Education held the second of its two public hearings on the possible sale of the Coles School, last Monday evening. The district has been renting the building to Solomon Schechter for use as a private day school since 1998, but has recently received an offer to purchase the property. Although the board has not revealed the identity of the prospective buyer, there is a common assumption among most interested spectators that the offer comes from Solomon Schechter. Since the first public hearing two weeks ago, however, a few other interested parties have stepped forward to throw their hats into the ring. At that time, the director of the Glen Cove Public Library, John McKay, asked the board to consider allowing the city to acquire the building for conversion into a public library. City Councilman Michael Norman, also came forward to confirm the city's interest along those lines.

Give it back. Why should we pay for it? Why should we pay for a school we gave you for nothing?

-City Comptroller, Vincent Suozzi

In the days after that meeting, administration officials and some members of the board met with Mayor Holzkamp, members of the City Council, and Mr. McKay to discuss the possibility. Superintendent of Schools, Dr. Mary Ellen Freesley, described the meeting as a "complete" and "open" discussion, and announced that the district was "now waiting for a proposal" from the city, which was promised to be delivered by March 1. The board did not make public any other details regarding its talks with city officials.

Dr. Freesley also confirmed that two other private schools had expressed an interest in buying the property. A representative from the Eden II School for Autistic Children was present and asked to schedule a meeting with the board. This school, which currently rents space from a church in Plainview, has said that it could "guarantee" that the building "will always be a school." The other private school, whose identity was not given out by the district, is supposed to have visited the building last week, but the district is still waiting to hear from its representatives.

The tenor of the public comment was extremely similar to that of the first hearing, as most residents were wary of a sale to any entity other than the city, with one calling it, "the last public space in the area." Those who came to express their opinion, clearly supported the idea of converting the building into a new public library.

Former mayor, and current city comptroller, Vincent Suozzi, reiterated a point he made at the last meeting. He asked the board if the state legislation which granted the district ownership of the building, contained any restrictions which maintained that it must be used as a school. The district later answered that its attorney's interpretation of the law states that it "holds no succession language," and that the building does not have to remain a school. Mr. Suozzi then pointed out that the district paid nothing to the city when it acquired the property in the 1950s, and vigorously added that it should simply, "Give it back. Why should we pay for it? Why should we pay for a school we gave you for nothing?"

Others pointed out that the board had an obligation to do what is in "the best interest" of the entire community when considering the sale, and they further stated that selling to the highest bidder might not reflect what will best enhance the community as a whole.

Some did question, however, the wisdom of moving the public library from its

central location to the "out-skirts of town," but Mr. McKay revealed that in talks with the mayor, she had "committed" to providing bus service to the new site. As the evening came to a close, board president, Vito Abbondandolo, reminded everyone that the board could not go forward with any sale of the property without voter approval.

Robert R. Coles LI History Collection
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11545

Record Pilot

Cove - Incorporated Village of Sea Cliff - Glen Head - Glen

Thursday, February 28, 2002

Coles and the City

By Carla Santella

On Monday, Feb. 25, prior to the regular school board meeting the Glen Cove Board of Education held the second and last public hearing on the possible sale of Coles School, and more than 60 residents and taxpayers attended. The board reviewed the presentation it had given on Feb. 11, and reminded the community that the board can only enter into a proposed contract with a potential buyer. Residents will then have the opportunity to vote, not just on the purchaser, but also on what will be done with the proceeds from the sale. A suggestion was made that the proceeds should be used for old repairs that need to be done on the other school buildings, but board member Dr. Rodger Silletti expressed opposition to that idea, and felt the money would be better spent to increase space at other schools, thus adding the possibility of reducing class size in the future. Board of Ed president Vito Abbondandolo stressed to the public that the voters do have the last say in the decision.

New interest in Coles was presented by Dominic DiPrisco, attorney for the Eden II School for Autism. The school presently rents space in a church in Plainview and has been looking for a school to buy. Mr. DiPrisco stated that Eden II could guarantee that the school would remain a school in perpetuity. He was told to contact Superintendent Mary Ellen Freely to arrange a meeting to discuss Eden II's proposal.

Rose Waver, a 45-year Glen Cove resident, brought up the subject which had sparked much conversation at the first public hearing, the possibility of the Glen Cove library moving to Coles School. Her first argument

was that the Coles building is very dear to the neighborhood, part of the neighborhood's history, and a beautiful piece of architecture. She also remarked that traffic in the location of the present library will soon be even more congested and dangerous than it already is when the new luxury apartments are built and occupied, and parking will be even scarcer. "There is lots of room in Coles, parking, an auditorium which can be rented out to generate some income," she added, "Please don't just sell to the highest bidder. Do we live in a democracy or plutocracy?"

Sally Zweiback, resident and former Glen Cove school teacher, asked the board to take its time in its deliberations, and to remember that "once it's gone, it's gone, and it is the last public space like it in the city." She reminded the board that "some years ago, the district sold its stringed instruments when they needed some money, and the feeling was that 'we can always get them back.' Well, as you know, we never did and now we are one of the few districts in Nassau County that does not have a string section in the music department." She also spoke of the new role of the public library in the 21st century. She runs programs in libraries around the county and has seen how the library has become a focal point for young people to gather, students without computers at home to work on, and community members to hold various programs. She suggested that the board members take a trip to other libraries, such as Freeport or Westbury and see how the library has evolved into a rallying point for a community, and what an

Coles and the City (continued from page 1)

updated, enlarged library can do for its residents. She asked that the board take a long view and do "what you will never have the chance to do again."

Vincent Suozzi spoke about the transfer of property from the city to the school board back in 1950. Mr. Suozzi asked, "Did the school district pay the city for the property?" Mr. Abbondandolo replied, "No." "Then if you don't need it as a school anymore, why don't you just give it back to the city? Why should we pay for it if you never did?" He sat down to loud applause.

Lorenzo Tedesco, a 50-year resident of Glen Cove fears that the sale is a "done deal." He is concerned about the possible need for the building in the future. Mr. Abbondandolo again stressed that the final say on any proposals the board makes rest with the voters.

John Maccarone, former Glen Cove city councilman questioned if there was truth to the statement that by law, the building must remain an educational facility, stating he would like to be an educated voter when the time comes to vote, and would like all the facts as to what the board is allowed to do as soon as possible. Counsel for the board stated that so far there have been no legal documents found that would support the idea that the building must be kept a school. "There are many deeds to many parcels involved in the Coles property, and the board has looked through at least 12 or 15 and found no restrictions." Mr. Maccarone also added his belief that a larger, enhanced library at Coles School is a wonderful idea, stating, "an enhanced library equals an enhanced community and an enhanced community equals an enhanced school district which in turn equals a rise

in property values which would ultimately mean more money for the school district." He concluded by saying he did not want to see the building sold.

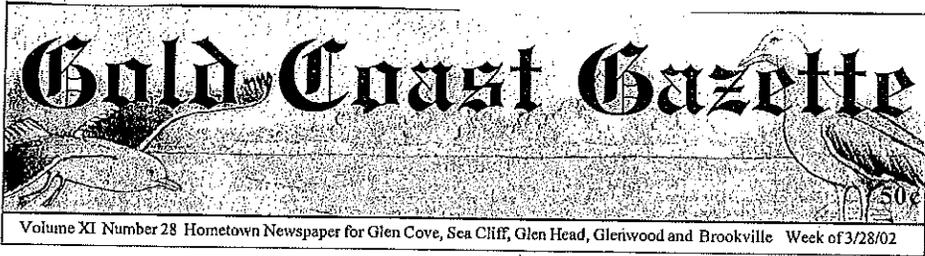
Miles Sibell, a Glen Cove taxpayer, asked that the members of the board individually think and let the public know what use of the building each feels would be most beneficial to the community. Mr. Sibell also read data regarding the relationship between a community's population and library size. "Syosset, for example, has 32,000 people and the library has 38,000 square feet. The town has a bond issue out, which, if approved, would enlarge the library to 50,000 square feet. Glen Cove has a population of more than 25,000 people and a 14,000 square foot library." He, too, remarked about the role of the library in communities.

Lynn Lancaster was the only speaker who did not like the idea of the library being relocated at Coles. Regarding remarks about the library providing more services for Glen Cove's less privileged students who may not have computers and resources at home and would look to the library, she believed many of those students would not be able to get to Coles, and that the present library is better located.

John McKay, director of the Glen Cove library immediately addressed the issue of access, stating that the city has a bus designated for just that purpose. "As discussed with Mayor Holzkamp, no one would be denied access to the library whether or not they could get there. The mayor is committed to that."

The school board will be receiving a proposal from the City of Glen Cove by Friday, March 1. They will continue to accept and consider proposals on the disposition of Coles School.

Robert R. Coles LI History Collection
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542



City Approves Purchase of Coles

by Richard Reichert

The Glen Cove City Council made a final decision this week to purchase the Coles School property from the Glen Cove Board of Education, which the board approved at its March 25 meeting. Mayor Holzkamp and the Council unanimously approved of the purchase, offering \$2.5 million for the property. Holzkamp stated the City's intention of acquiring the Coles School, widely viewed as a city landmark, acts as a safeguard and protection of Glen Cove's open spaces. "I felt and the Council felt, it was in the City's best interest to keep the building within our municipality. This is really one of the few green spaces left in our community," said Holzkamp.

Final determination of the buildings purchase depends on a referendum vote by Glen Cove citizens, set for May 21. Glen Cove voters must approve the Board of Education referendum to confirm the City's possession of the property.

Citizens, present at the Council meeting, voiced their concerns towards the potential acquisition. "What do you intend to do with the school," asked one resident. The Mayor responded optimistically describing a myriad of benefits to having the school property remain a public asset. "There are a few options we are looking into. One of them is a library and another is a community center. There are various options at this point," said the Mayor. Another Glen Cove Resident seemed equally confused to the intention of the property's purchase. "The first intent was to purchase the property so that it could be a library. Why is that now changing?" Holzkamp reassured the citizen stating the city's first intention continues to focus towards a new

library, possibly for the North Shore. "This was our first intention. However, I'm not going to put in stone that it will become a library. There are a lot of possibilities," said Holzkamp. Councilman Michael Norman followed the mayor stating the purchase would only benefit the city as a whole. "By us acquiring the building, it helps with lowering the school budget and allows us to keep the building within the community," said Norman.

The Coles School property, which currently contains a tenant, has a year remaining on the building's lease. Mayor Holzkamp stated they might negotiate to have the tenant stay for an additional year, leaving the city breathing room to determine the lands use. Once the Board of Education referendum has been passed, the city will determine further considerations.

Discussing resolutions, Mayor Holzkamp announced that the Council would direct the planning board to investigate and report on the bulk size of new houses and the extension of existing houses within the city. Mayor Holzkamp stated the investigation is to prevent an already occurring problem of extended housing intruding upon neighbor property. Holzkamp stated her approval of the needed investigation, originally initiated by Councilman Joseph Gioino. "This really was Councilman Gioino's idea, and I think it is a good idea," said the Mayor. The city will act appropriately on the situation after the Planning Board has concluded its investigation.

Holzkamp closed the council meeting

by announcing the City Council will be holding a public hearing on Tuesday, April 9 at 7:30pm to discuss a temporary moratorium of development on Sea Cliff Avenue. Holzkamp stated the hearing had to be

postponed to the new date because newspapers were not properly notified. According to the Mayor, the hearing will primarily deal with traffic issues that have accumulated along this area.

Robert R. Coles LI History Collection
 Glen Cove Public Library
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 Glen Cove NY 11542

Drug Free Schools Committee Report

by Richard Reichert

Committee members Doug Brown and Nancy Fender approached the Board to present their latest report to date collected concerning initiation of a drug free program for the district.

Using graphs and charts both members of the Committee announced completion of phase one, which involved extensive fact finding. Through the contacting of local professionals and agencies, "knowledgeable with the problem of teenage drug use" and the collection of a public survey provided to parents, teachers and students of both Middle and High School (totaling over 1500 in all), it was concluded that overall consensus of a drug free program was positive with parents and teachers reflecting the highest level of concern.

Each survey contained questions focusing on drug use and its perceived level within the district as well as opinionated questions concerning the school's role in prevention of drug use and desire to initiate preventative action. "Out of the 1500 responses [from surveys], there was not a single example of anyone saying that they felt there was no drug problem," said Doug Brown.

The completed results, however, seemed to be too opinionated for some as Board members began the search for "hard data."

"This survey measures perception, and how close perception is to reality depends on the knowledge the person is given about that subject," said Board member Rodgers Hill.

Superintendent Mary Ellen Freerley, agreed and followed questioning the apparent lack of PRIDE survey, a nationally used survey collecting specific data relating to the amount of drug use within individual students.

Fender responded stating that the PRIDE survey was considered by the Committee and may be forthcoming, however, a fee and time length accompany the PRIDE survey and primary concern was toward producing a school and community survey in a relatively quick time period.

Following further discussion by the Board, Committee member Fender issued a final statement concerning that there is a lack of exact factual data, but nonetheless results from the surveys portray a significant concern from parents. "Although our data does not tell us the exact prevalence of drug usage amongst our students it does confirm several incidents of student drug use. More importantly our data indicates a very high level of parental and adult concern. While we do not feel that student drug use is unique to Glen Cove, we feel that this outpouring of concern over student welfare certainly is," said Fender.

The Board later agreed that the presentation was informative and the effort from the Committee's volunteer members are admirable. However, it was concluded that more factual data could prevent confusion down the line when a final decision by both the Board and Committee over a resolution to reduce student drug use is made.

No Child Left Behind

Assistant Superintendent, Diane Sorlica, approached the Board for part two of discussions involving the No Child Left Behind legislation and the district's primary concerns involving Teacher qualifications.

The NCLB legislation, much of which is still being negotiated between the state and the federal government, states clearly that all district teachers including newly hired teachers must be "Highly Qualified" or State certified.

According to Sorlica, this goal is to begin immediately starting this year, 2002-2003, and culminating two years later during the 2005-2006 school year. "Highly qualified means teachers that work in Title I, target assisted schools, as well as those teaching the core curriculum, meaning English, math, science, social studies and the arts such as music," said Sorlica.

Those teachers who are not highly qualified are determined as those with temporary licenses, not a primary issue for Nassau County with the majority occupying New York City. Sorlica also assured those listening that the Glen Cove district only hires certified teachers.

"Teachers new to the profession will need quite a bit more than in previous years to be listed at this level. New teachers will need a Bachelor's Degree and they must

meet state requirements regarding the passing of tests commensurate with their field, as a result making that person provisionally certified. Then they have five years to obtain their Master's Degree, "Provisionally certified teachers, according to the state

right now and unless it is negotiated otherwise, are considered highly qualified," said Sorlica.

Certain teaching staff members, such as SCHOOL continued on page 14

Library Celebrates Expansion



Library Board President Michael Major Beverly Schmitt, Mayor Mary Ann Holtkamp, relief Library Director, John P. McKay, Friends President Carol Rubin, Ian Siegel, Architect Herbert Beckhard, April Paul.

by Brenda Weck

Despite the chilly damp weather that prevailed over Glen Cove most of this past weekend, community members joined together Sunday afternoon for the long awaited dedication ceremonies for the new expansion of the Glen Cove Public Library. Mr. Michael Maher, President of the Library Board of Trustees, Acting Library Director, Mrs. Malja Spenskas, and Mayor Mary Ann Holtkamp expressed their gratitude to the community and staff for their patience during the renovation. They also acknowledged all the individuals and firms that donated funds or performed services for the successful completion and dedication of the expansion.

Herbert Beckhard, FAIA, of Herbert Beckhard, Frank Richlan & Associates, the architect and designer of the expansion spoke about his interest and dedication to the Glen Cove community where he chooses to raise his family. Well known for his work

world-wide and prompted by his devotion to Glen Cove, Mr. Beckhard donated his expertise and time to create a building that now boasts an outdoor ramp to the lower level Community Room, previously unreachable by wheelchair, and a lavatory and elevator that is American Disabilities Act compliant. On the second floor fiction section, a new reading area with tables and chairs complement the spot where a west side view of the Mill Pond can be seen. The Community Room itself has been transformed into an area that lectures, library programs and organizational meetings can be enjoyed with pride. Mrs. Beverly Schmitt, of the Aquarelle Club, spoke about the many watercolor paintings on exhibit that graced the walls of the new room, including those of Glen Cove's own Dr. Robert Goodman.

LIBRARY continued on page 17

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Robert R. Coles LI History Collection
Glen Cove Public Library
4 Glen Cove Ave.
Glen Cove NY 11542

CITY OF GLEN COVE
BUILDING DEPARTMENT RECORDS

FIRE MARSHAL
 NASSAU COUNTY, N. Y.
 These plans are accepted as proposed construction but examination does not mean approval or any liability therefor. They must meet all requirements of all applicable laws or ordinances whether or not correctly or incorrectly shown.
 Date: 7/9/03
 Joseph A. LaSocca, Jr.
 SUPERVISING FIRE INSPECTOR
 OFFICE OF FIRE MARSHAL
 COUNTY OF NASSAU, N.Y.

AUTOMATIC EXTINGUISHING SYSTEM SHALL BE INTER-CONNECTED INTO THE AUTOMATIC FIRE ALARM SYSTEM

SPRINKLER LEGEND

- RTY 65 0 1/2 165° UPRIGHT QUICK RESPONSE SPKR. HEAD MODEL FIKR RELIABLE
- RTY 9 1 1/2 165° REC. PENDENT QUICK RESPONSE MODEL FIKR RELIABLE
- HYDRAULIC REFER POINT.
- ✕ PIPE HANGER LOCATION.

SPRINKLER NOTES

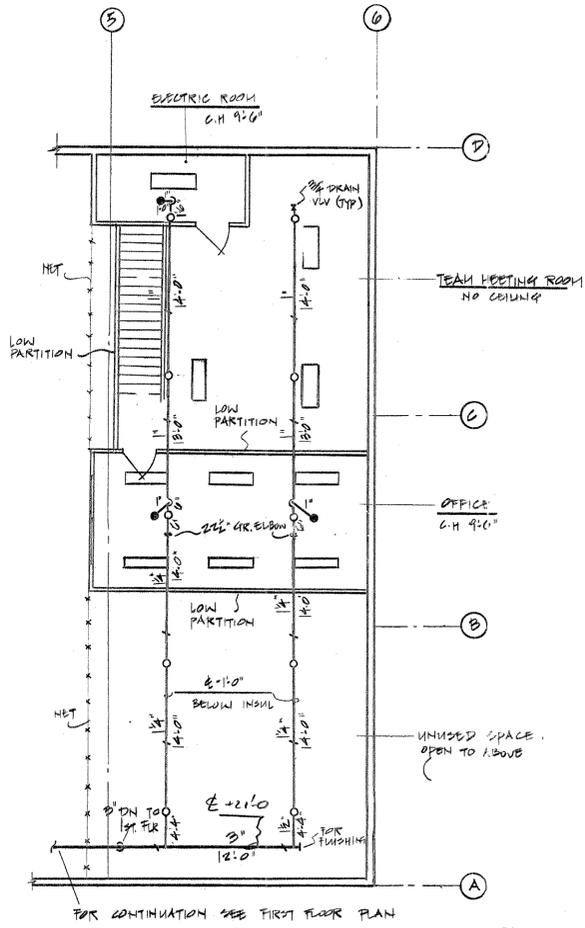
1. THIS IS A WET SPRINKLER SYSTEM.
2. SYSTEM IS DESIGNED IN ACCORDANCE WITH NFPA 13 FOR LIGHT HAZARD IN GYMNASIUM ORDINARY HAZARD IN STORAGE AREAS
3. ALL EQUIPMENT SHALL BE APPROVED AND LISTED FOR FIRE PROTECTION SERVICE
4. ALL REQUIRED SIGNS SHALL BE PROVIDED AS PER NFPA 13.
5. CONTRACTORS MATERIAL AND TEST CERTIFICATE FOR ABOVE + BELOW GRADE PIPE SHALL BE SUBMITTED TO THE FIRE MARSHAL PRIOR TO APPROVAL OF THE INSTALLATION.
6. FIRE DEPARTMENT CONNECTIONS AND HOSE CONNECTION THREADS TO BE COMPATIBLE WITH LOCAL FIRE DEPARTMENT EQUIPMENT.
7. ALL AREAS HEATED THROUGHOUT
8. PIPE 2" AND LARGER WITH DIRECTIONAL, 2" SHALL BE SCHEDULE 40.

APPROVED
 CITY OF GLEN COVE
 BUILDING DEPT.
 DATE: 7/9/03
 FIG 113

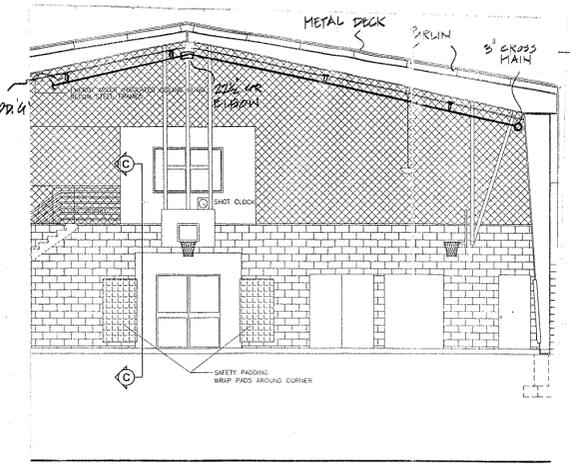


PHONE # 516 793-4422 LIC # SPL 000001910 KEN FULLER

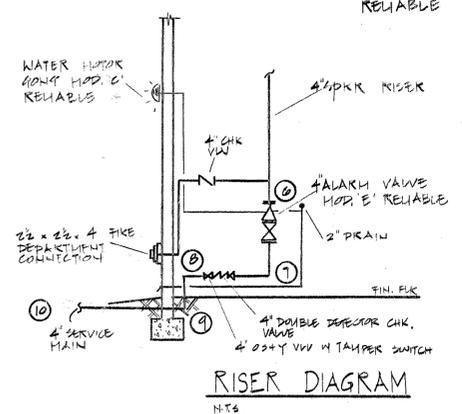
| | |
|---|---------------------------|
| A & F FIRE PROTECTION CO., INC. | |
| 28 E. CHESTNUT STREET, MASSAPEQUA, N.Y. 11758 | |
| JOB & LOCATION | |
| SOLOMON SCHECHTER SCHOOL | |
| 27 CEDAR SWAMP ROAD, GLEN COVE, NEW YORK | |
| Drawing Title: | FIRE SPRINKLER PLAN. |
| Scale: | 1/8" = 1'-0" Date: 7.9.03 |
| No. of Sprinklers: | 14 Drawn By: F.M. |
| Total No. of Sprinklers: | 14 Drawing No.: SP 19F1 |



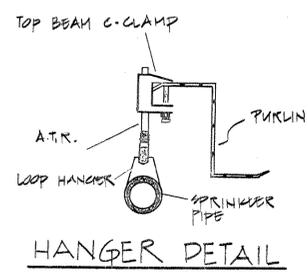
MEZANINE FLOOR



BUILDING SECTION



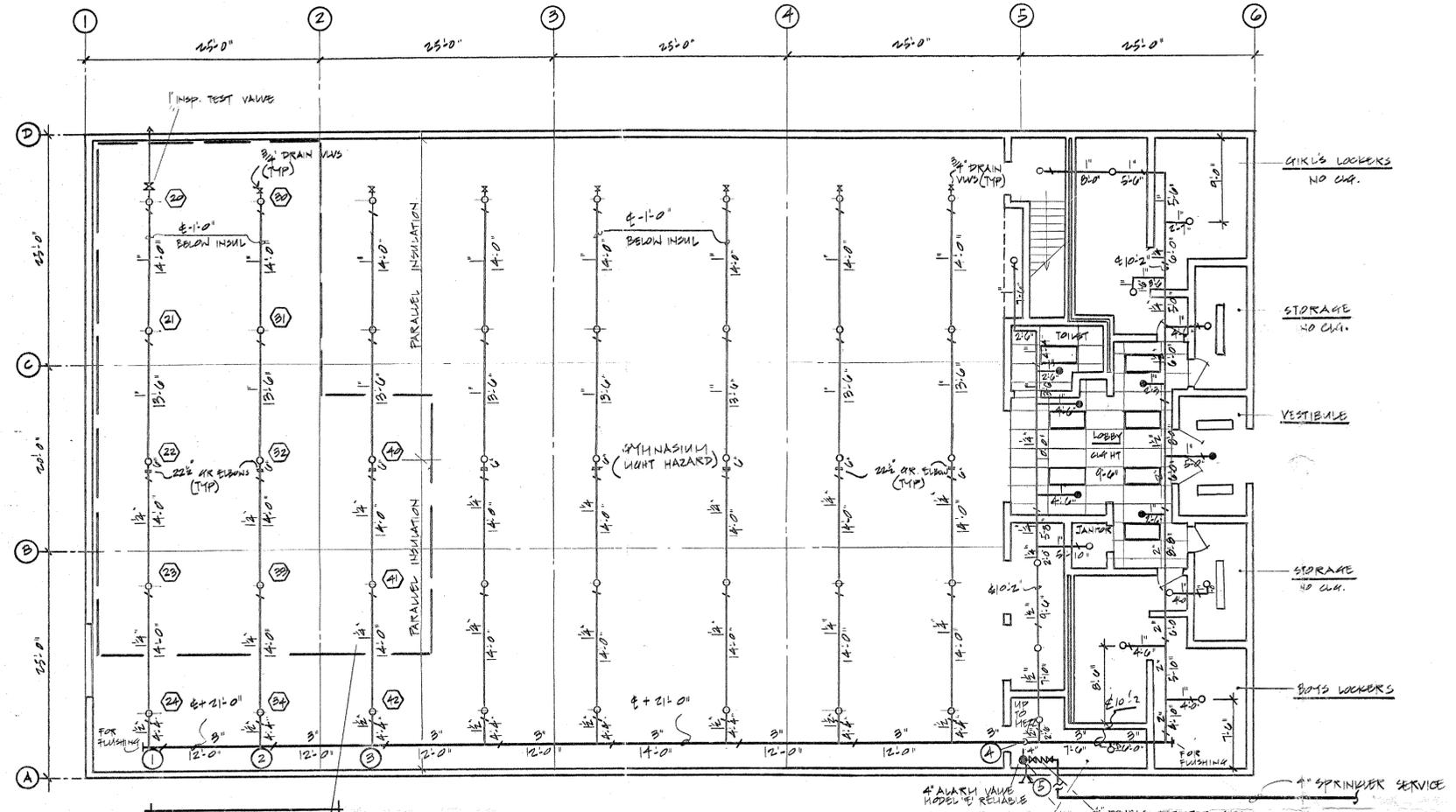
RISER DIAGRAM



HANGER DETAIL

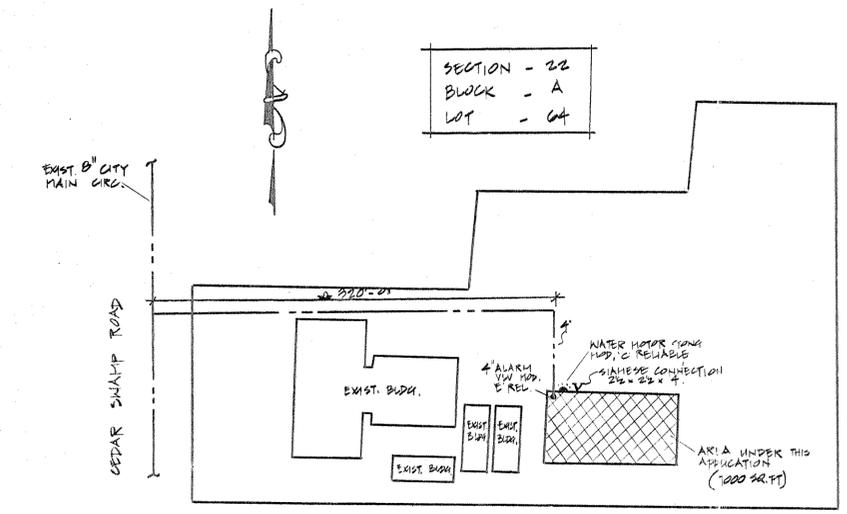
NAME OF OWNER
 SOLOMON SCHECHTER DAY SCHOOL OF NASSAU COUNTY
 27 CEDAR SWAMP ROAD
 GLEN COVE, NEW YORK, NY 11542

FLOW TEST RESULTS (19.6.03)
 STATIC PRESSURE - 61 P.S.I.
 RESIDUAL PRESSURE - 61 P.S.I.
 FLOW - 1175 G.P.M.



FIRST FLOOR

SYSTEM # 1.1
 HYDRAULIC DESIGN AREA
 DENSITY - 10 G.P.M./SQ.FT
 OVER 1500 SQ.FT



SITE PLAN

NTS



CEDAR SWAMP ROAD
N04°14'57"E
208.75'

FIRST STREET

S84°30'00"E
135.15'

ROOSEVELT STREET

WASHINGTON STREET

OVERLAP PARCEL
AREA = 118 SQ. FT.

PROPOSED PARTITION PARCEL (A)
AREA = 10,278 SQ. FT.

SITE AREA: 173,132 S.F. or 3.97 Acres
AREA PROPOSED PARTITION PARCEL A = 10,278 S.F.
PROPOSED REMAINDER AREA = 173,132 - 10,278 = 162,854 S.F.
or 3.74 Acres

SURVEY OF PROPERTY SHOWING
PROPOSED PARTITION PARCEL A
SOLOMON SCHECTER SCHOOL
SITUATED IN THE
CITY OF GLEN COVE
NASSAU COUNTY, NEW YORK

O'Connor - Petito, L.L.P.
Land Surveying
Civil Engineering
27 Forest Avenue
Locust Valley, NY 11560
(516) 676-3280



LEGEND

- STOCKADE FENCE
- x—x— CHAIN LINK FENCE
- ⊕ WATER VALVE
- ⊖ HYDRANT
- ⊙ TRAFFIC SIGNAL POLE
- ⊙ ELECTRIC MAN-HOLE
- ⊕ UTILITY POLE
- OH—E— OVERHEAD WIRES
- ⊗ GAS VALVE
- ⊙ TREE



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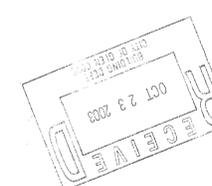
BEARINGS AND DISTANCES IN KEEPING WITH DEED



MAP OF "GOLDBERG BROS AT GLEN COVE"
FILED SEPTEMBER 21, 1914, PREPARED BY WM. SEAMAN, C.E.
(NOT FILED)

MAP OF "GLEN COVE HEIGHTS WEST" SEC. NO. 2
PREPARED AUGUST 1925, BY GEORGE E. HARTT.
(NOT FILED)

MAP OF "FRANKLIN PARK NEAR GLEN ST. STATION"
FILE #272, FILED OCTOBER 23, 1916, PREPARED BY WM. H. SEAMAN, C.E.



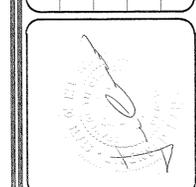
AREA = 3.974 ± ACRES

- SURVEY NOTES**
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 4. SUBSURFACE STRUCTURES AND/OR UTILITIES, IF ANY, NOT SHOWN.
 5. HEDGE AND FENCE OFFSETS SHOWN ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

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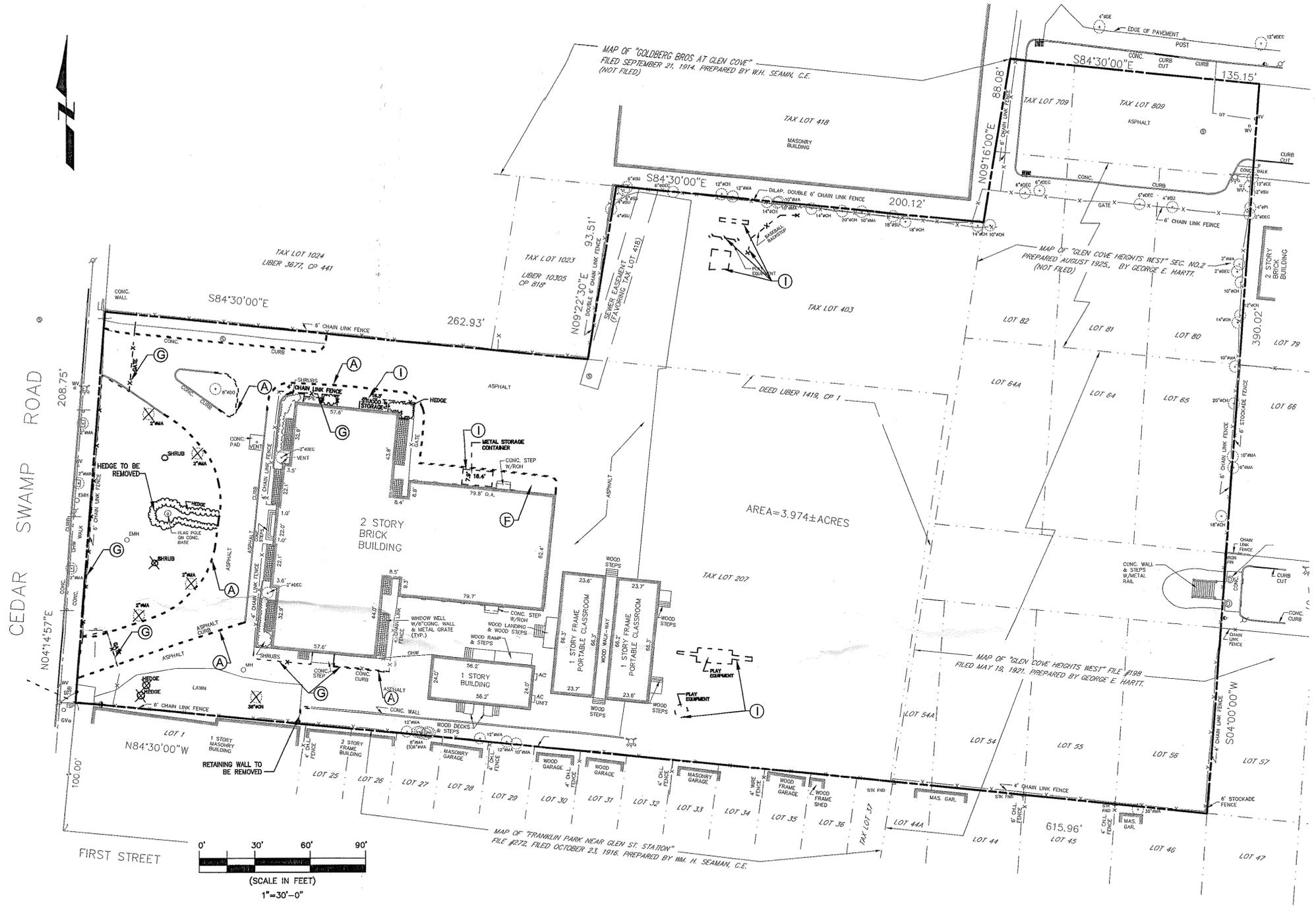
SOLOMON SCHECTER DAY SCHOOL
CEDAR SWAMP ROAD, GLEN COVE
NASSAU COUNTY, NEW YORK

TITLE OF DRAWING
SURVEY OF PROPERTY

PROJECT NO.
1599820
DRAWING NO.

Profile:
 06112
 Node: FC01852

Plotfile:
 06112
 Node: FC01852



DEMOLITION LEGEND

- (A) CURB TO BE REMOVED
- (F) CONCRETE TO BE REMOVED
- (G) FENCE & GATE TO BE REMOVED
- (I) STRUCTURES TO BE REMOVED
- (X) TREE TO BE REMOVED

EROSION CONTROL MEASURES

1. DURING THE COURSE OF CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEASURES WILL BE REQUIRED TO PREVENT THE TRANSPORT OF SEDIMENT TO OFF-SITE AREAS, PONDS, WATER COURSES, DRAINAGE INLETS, RECHARGE BASINS, ETC. ACTUAL EROSION CONTROL MEASURES WILL BE DICTATED BY FIELD CONDITIONS AS CONSTRUCTION PROGRESSES, BUT THE FOLLOWING GENERAL CONDITIONS SHALL BE OBSERVED.
 - A. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED.
 - B. CLEARING AND GRADING SHALL BE SCHEDULED SO AS TO MINIMIZE THE SIZE OF EXPOSED AREAS AND THE LENGTH OF TIME THAT AREAS ARE EXPOSED.
 - C. THE LENGTH AND STEEPNESS OF CLEARED SLOPES SHALL BE MINIMIZED TO REDUCE RUNOFF VELOCITIES.
 - D. RUNOFF SHALL BE DIVERTED AWAY FROM CLEARED SLOPES.
 - E. SEDIMENT SHALL BE TRAPPED ON THE SITE.

SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONFORM TO THE "NEW YORK GUIDELINES FOR EROSION AND SEDIMENT CONTROL".
2. SEDIMENT BARRIERS (SILT FENCE, HAY BALES OR APPROVED EQUAL) SHALL BE INSTALLED PRIOR TO ANY GRADING WORK ALONG THE LIMITS OF DISTURBANCES AND SHOULD BE MAINTAINED FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH ONTO ADJACENT PROPERTIES, WETLANDS OR ROADS.
3. GRADED AND STRIPPED AREAS AND STOCKPILES SHALL BE KEPT STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AS REQUIRED. SEED MIXTURES SHALL BE IN ACCORDANCE WITH SOIL CONSERVATION SERVICE RECOMMENDATIONS.
4. DRAINAGE INLETS INSTALLED AS PART OF THE PROJECT SHALL BE PROTECTED FROM SEDIMENT BUILD UP THROUGH THE USE OF SEDIMENT BARRIERS, SEDIMENT TRAPS, ETC., AS REQUIRED.
5. PROPER MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED AS INDICATED BY PERIODIC INSPECTION AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, CLEANING OF SEDIMENT BASINS OR TRAPS, CLEANING OR REPAIR OF SEDIMENT BARRIERS, CLEANING AND REPAIR OF BERMS AND DIVERSIONS AND CLEANING AND REPAIR OF INLET PROTECTION.
6. APPROPRIATE MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION.
7. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED.
8. SEDIMENT BARRIERS AND OTHER EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL UPLAND DISTURBED AREAS ARE PERMANENTLY STABILIZED. AFTER PERMANENT STABILIZATION, PAVED AREAS SHALL BE CLEANED AND DRAINAGE SYSTEMS CLEANED AND FLUSHED AS NECESSARY.

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ABANDONED UTILITY SERVICE CONNECTIONS AND THE INSTALLATION OF NEW SERVICE CONNECTIONS, AND SHALL COORDINATE ALL WORK WITH THE APPROPRIATE UTILITY COMPANY. REMOVAL OF EXISTING STRUCTURES, INCLUDING BUILDINGS, PUMPS, TANKS AND ALL OTHER STRUCTURES SHALL BE IN CONFORMANCE WITH THE REGULATIONS OF THE TOWN OF HEMPSTEAD AND ALL OTHER APPROPRIATE AGENCIES AND UTILITY OPERATORS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES AND MATERIALS.
2. THE CONTRACTOR SHALL NOTIFY THE NASSAU COUNTY DEPARTMENT OF HEALTH AND THE NYSDEC IN WRITING AT LEAST SEVEN (7) DAYS PRIOR TO THE REMOVAL OF ANY UNDERGROUND FUEL STORAGE TANKS. TANKS SHALL BE EMPTIED, PLUGGED AND REMOVED IN ACCORDANCE WITH HEALTH DEPARTMENT AND NYSDEC REGULATIONS.
3. ALL EXISTING STRUCTURES TO BE REMOVED (FOUNDATIONS, ETC.) SHALL BE REPLACED WITH CLEAN COMPACTED, GRANULAR FILL, COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" LIFTS.
4. ALL PAVEMENT TO BE REMOVED SHALL BE PROPERLY DISPOSED OF OFF SITE. NO SCARIFIED PAVEMENT OR OTHER DEBRIS SHALL BE USED AS OR INCLUDED IN BACKFILL MATERIALS.
5. THE CONTRACTOR SHALL USE THE APPROPRIATE MEANS TO PREVENT SEDIMENT AND DEBRIS FROM WASHING TO ADJACENT PROPERTIES. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL. (SEE BELOW)
6. THE CONTRACTOR IS REFERRED TO THE TECHNICAL SPECIFICATIONS PREPARED BY THE PROJECT ARCHITECT FOR INFORMATION PERTAINING TO UNSUITABLE SOILS TO BE REMOVED AND REPLACED IN THE VICINITY OF THE PROPOSED BUILDING PAD.
7. ALL PORTIONS OF PAVEMENT TO BE REMOVED OR REPLACED SHALL BE SAWCUT.
8. ALL ASPHALT AND CONCRETE MATERIAL SHALL BE REMOVED TO FULL DEPTH WHERE LANDSCAPED AREAS ARE PROPOSED OR WHERE NEW CONSTRUCTION IS PROPOSED.
9. EXTENSIVELY CRACKED OR PATCHED AREAS SHALL BE RENOVATED BY SAWCUTTING AND REMOVING AFFECTED AREAS AND REPAVING TO FULL DEPTH MATCHING EXISTING.
10. ANY EXISTING FEATURE NOT SHOWN HERE SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER & CITY OF GLEN COVE PRIOR TO REMOVAL.
11. CURB AND SIDEWALK ALONG CEDAR SWAMP ROAD SHALL BE RECONSTRUCTED WHERE DEEMED NECESSARY BY CITY, COUNTY OR STATE ENGINEERS.
12. ANY EXISTING WEEDS LOCATED AROUND THE PERIMETER OF THE PROPERTY WILL BE REMOVED.
13. ASPESTOS REMOVAL DURING DEMOLITION SHALL COMPLY WITH THE DEPARTMENT OF LABOR RULES & REGULATIONS AND ASPESTOS CONTROL BUREAU CODE RULE 56. AN ASPESTOS SURVEY SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF BUILDING DEMOLITION PERMIT.

APPROVED
 CITY OF GLEN COVE
 BUILDING DEPT.
 DATE

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
| 6 | | | |
| 5 | | | |
| 4 | | | |
| 3 | | | |
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PROJECT ENGINEER/ARCHITECT
 JMM
 PROJECT MANAGER
 DS
 SCALE
 1"=30'

DESIGNED BY
 DS
 SCALE
 1"=30'

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PROJECT
 SOLOMON SCHECHTER DAY SCHOOL
 CEDAR SWAMP ROAD, GLEN COVE
 NASSAU COUNTY, NEW YORK

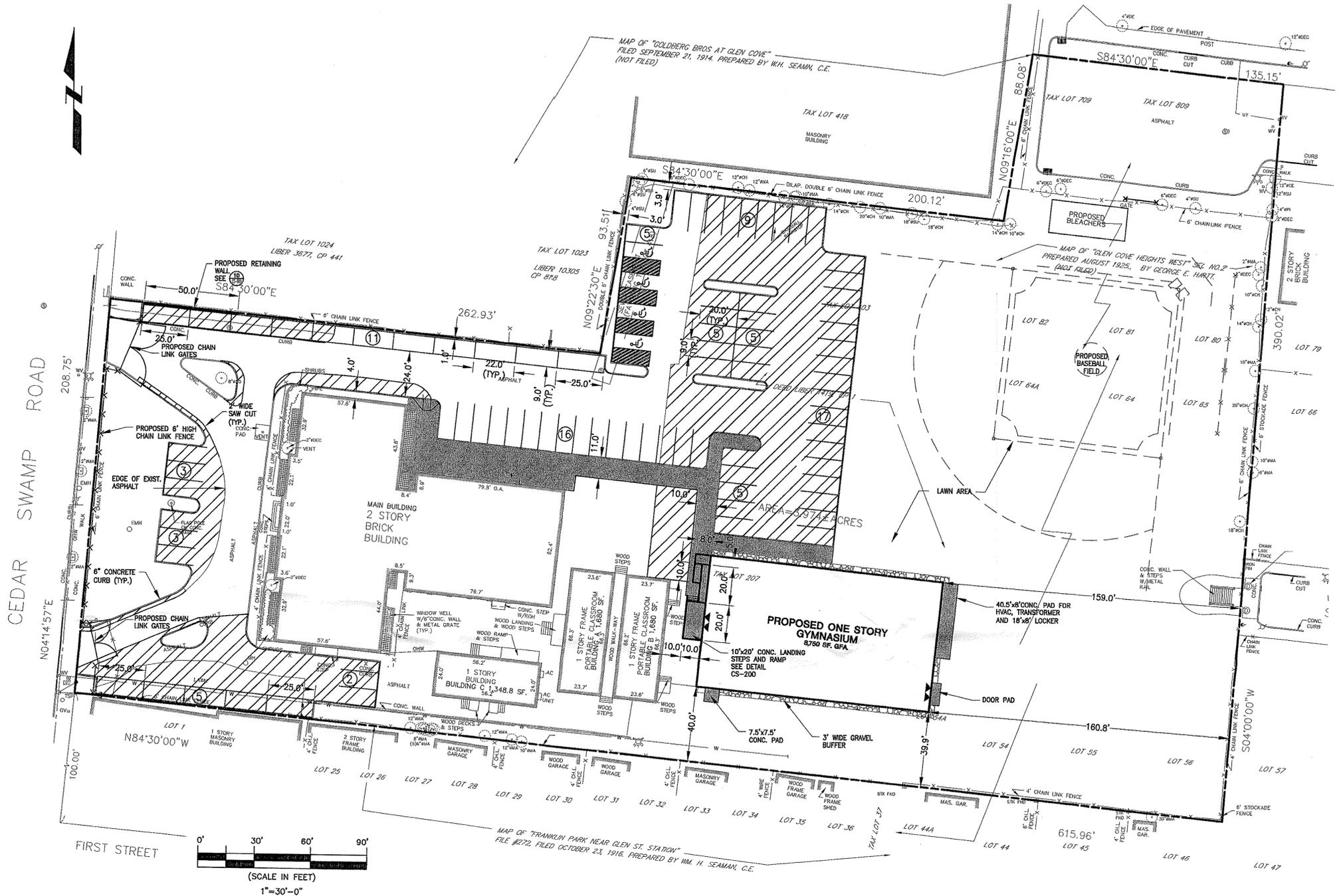
TITLE OF DRAWING
 DEMOLITION AND EROSION CONTROL PLAN

PROJECT NO.
 18522

DRAWING NO.
 CS-001

SHEET 1 OF 4

Plotting Parameters
 Plotted by: searbrown
 Date: Jun 23, 2003 10:00am
 Node: PC0852



PROJECT AND SITE DATA

| | |
|-----------------------------|---|
| APPLICANT | Solomon Schechter Day School 27 Cedar Swamp Road Glen Cove, NY 11542 (516) 656-5500 |
| NASSAU COUNTY TAX MAP | Sect. 2; Block A; Lots; 64; |
| SITE AREA | 173,107.4 s.f. or 3.974± Acres |
| CURRENT ZONING | B-2 PERIPHERAL COMMERCIAL DISTRICT. |
| CURRENT USE | School |
| PROPOSED USE | School |
| OCCUPANCY CLASSIFICATION | xxxxx |
| CONSTRUCTION CLASSIFICATION | XXX |
| FOOTPRINT AREA | Existing Main Building 12,663.0 s.f.± Existing Portable Building A 1,680.0 s.f.± Existing Portable Building B 1,680.0 s.f.± Existing Portable Building C 1,348.8 s.f.± Existing Total 17,371.8 s.f.± Proposed Gymnasium 8,750.0 s.f.± TOTAL FOOTPRINT AREA 26,121.8 s.f.± |
| GROSS FLOOR AREA | Existing Main Building First Floor 12,663.0 s.f.± Existing Main Building Second Floor 7,500.0 s.f.± Existing Portable Building A 1,680.0 s.f.± Existing Portable Building B 1,680.0 s.f.± Existing Portable Building C 1,348.8 s.f.± Existing Total 24,871.8 s.f.± Proposed Gymnasium 8,750.0 s.f.± Proposed Main Building Second Floor 1,750.0 s.f.± (Office / Storage) Proposed Total 10,500.0 s.f.± TOTAL GROSS FLOOR AREA 35,374.8 s.f.± |

| | EXISTING | PROPOSED | REQUIRED |
|-----------------------------|-----------------|-----------------|-----------------------|
| LANDSCAPED/NATURAL AREA | 112,562.6± SF | 85,915.6± SF | |
| PAVT. AND CONC. AREA | 60,544.8± SF | 87,191.8± SF | |
| IMPERVIOUS SURFACE COVERAGE | 34.98% | 50.36% | |
| BLDG. LOT COVERAGE | 9.98% | 15.09% | 80% Max. |
| LANDSCAPE LOT COVERAGE | 65.03% | 49.63% | |
| FRONT YARD SETBACK | ±103 Ft. | ±103 Ft. | 10 Ft. |
| FRONT YARD PARKING SETBACK | 20 Ft. | 11.4 Ft. | |
| SIDE YARD SETBACK | ±20 Ft. Min. | ±20 Ft. Min. | None (if provided 8') |
| REAR YARD SETBACK | 301.36 Ft. | 159.00 Ft. | 10 Ft. |
| BUILDING HEIGHT | 2 Story ±45 Ft. | 2 Story ±45 Ft. | 3 Story 45 Ft. Max. |

PARKING CALCULATIONS

PARKING REQUIRED

1 Staff for Each Staff 60 Staff @ 1 per 60 = 60 Spaces
 1 Staff for 1/3 of H.S. Seniors 50 Student @ 1 per 1/3 x 50 = 15 Spaces
 Total Parking Required 75 Spaces

PARKING PROVIDED

8' x 20' Accessible 4 Spaces Front Lot
 9' x 20' Parking 82 Spaces Front Lot
 Total Parking Provided 86 Spaces

ALIGNMENT PLAN LEGEND

- (22) PARKING SPACE COUNT
- ♿ HANDICAPPED ACCESSIBLE PARKING SPACE (8' x 20' TYP.)
- PROPOSED CONCRETE SLAB/PAVEMENT/WALK
- PROPOSED CONCRETE CURB (6" REVEAL, TYPICAL)
- EXISTING CONCRETE CURB
- x- EXISTING CHAIN-LINK FENCE
- x- PROPOSED CHAIN-LINK FENCE
- ▲ PROPOSED RAMP
- ▲ EXISTING OR PROPOSED BUILDING ENTRANCE/EXIT
- ▨ PROPOSED PAVEMENT HATCHING (AS PER MUTCD) FULL DEPTH OR OVERLAY IF NECESSARY
- ⊗ EXISTING FIRE HYDRANT
- ⊙ EXISTING UTILITY POLE

GENERAL NOTES

- ALL WORK, MATERIALS, SPECIFICATIONS, REGULATIONS, RULES, PERMITS, ETC. OF APPLICABLE STATE, COUNTY AND CITY GOVERNMENTS AND REGIONAL UTILITY COMPANIES (PUBLIC AND PRIVATE) SHALL BE FOLLOWED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL EMPLOY THE APPROPRIATE MAINTENANCE AND PROTECTION OF TRAFFIC MEASURES IN ACCORDANCE WITH THE NYS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES DURING CONSTRUCTION.
- TRAFFIC SIGNS AND STRIPING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE NYS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- RELOCATION OF EXISTING UTILITY POLES, TRAFFIC SIGNS, HYDRANTS, ETC. SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING FEATURES.
- SEE ARCHITECTURAL / MECHANICAL / ELECTRICAL PLANS FOR ADDITIONAL BUILDING AND SITE RELATED DETAILS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO CONSTRUCT CURB, SIDEWALK, OR TO CUT OR REMOVE EXISTING CURB ALONG CEDAR SWAMP ROAD.
- THE CONTRACTOR SHALL COORDINATE WITH DPW FOR POSSIBLE STRIPING MODIFICATION REQUIRED ALONG CEDAR SWAMP ROAD.
- RESIDENTIAL AND ADJACENT PROPERTY SHALL BE SHIELDED FROM ANY SITE LIGHTING.
- ALL PROPOSED CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION BUILDING CODE AND ENERGY CONSERVATION CODE.

3 ADDED RETAINING WALL, ADDED ACCESSIBLE RAMP ON GYMNASIUM ENTRANCE. CHANGED CONCRETE PADS FOR UTILITIES AND ADDED CONCRETE PAD FOR 8'x18' LOCKER.

| NO. | DATE | BY | REVISIONS |
|-----|---------|-----|--|
| 6 | 3/7/03 | JMM | 0 SUBMITTED TO CITY OF GLEN COVE |
| 5 | 4/2/03 | JMM | 2 PER CITY OF GLEN COVE COMMENTS |
| 4 | 6-19-03 | JMM | 3 AS PER ARCHITECTS COMMENTS |
| 3 | 4/2/03 | JMM | PER CITY OF GLEN COVE COMMENTS |
| 2 | 4/2/03 | JMM | ADDITIONAL PARKING TO MATCH TO ARCHITECTURAL |
| 1 | 3/7/03 | JMM | 1 SUBMITTED TO CITY OF GLEN COVE |

PROJECT ENGINEER/ARCHITECT
 JMM
 PROJECT MANAGER
 DS

DRAWN BY
 DS
 SCALE
 1/8"=30'

FIRST ISSUE DATE
 3/7/03

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PROJECT
 SOLOMON SCHECHTER DAY SCHOOL
 CEDAR SWAMP ROAD, GLEN COVE
 NASSAU COUNTY, NEW YORK

TITLE OF DRAWING
 SITE ALIGNMENT PLAN

PROJECT NO.
 18522

DRAWING NO.
 CS-100

SHEET 2

STRUCTURE SCHEDULE

| STRUCTURE | RIM | E.D. | BOTTOM | INVERT |
|-----------|--------|------|---------|---------------------|
| DW 86 | 119.64 | 15' | 95.557 | 115.39 |
| DW 100 | 119.60 | 15' | 95.247 | 115.05 |
| DW 87 | 119.30 | 15' | 94.827 | 114.66 |
| DW 85 | 119.33 | 15' | 95.247 | NE 116.08, S 115.08 |
| DW 59 | 123.52 | 15' | 99.437 | 119.27 |
| DW 57 | 126.50 | 15' | 101.787 | 121.62 |
| DW 58 | 126.50 | 15' | 102.287 | 122.12 |

UTILITY CONTACTS

GAS & ELECTRIC: KEYSAN PHONE # (516) 545-4182 (DAN RUIZ)
 WATER: CITY OF GLEN COVE DPW PHONE # (516) 676-4278
 SEWER: CITY OF GLEN COVE DPW PHONE # (516) 676-4278

GRADING, DRAINAGE AND UTILITY NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF CITY OF GLEN COVE DPW AND THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, AS APPLICABLE.
 - UTILITY INFORMATION SHOWN ON THIS PLAN IS BASED ON VISIBLE FIELD EVIDENCE AND AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCING WORK. CARE SHALL BE TAKEN NOT TO DISTURB EXISTING UTILITIES AND SERVICE CONNECTIONS (OR PORTIONS THEREOF) TO REMAIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ABANDONED UTILITY SERVICE CONNECTIONS AND INSTALLATION OF NEW SERVICE CONNECTIONS AND SHALL COORDINATE WORK WITH THE APPROPRIATE UTILITY COMPANY.
 - ALL ROOF DRAINS SHALL BE CONNECTED TO PROPOSED DRYWELLS. PROPOSED ROOF DRAIN LEADER LOCATIONS SHALL BE LOCATED AS SHOWN ON ARCHITECTURAL AND/OR MECHANICAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ROOF LEADER LOCATIONS AS SHOWN ON THE ARCH.MECH. PLANS.
 - REMOVAL OF EXISTING STRUCTURES, INCLUDING BUILDINGS, DRAINAGE SYSTEMS AND OTHER STRUCTURES, IS TO BE DONE IN CONFORMANCE WITH THE REGULATIONS OF THE CITY OF GLEN COVE AND APPLICABLE COUNTY, STATE AND FEDERAL AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES AND MATERIALS.
 - THE CONTRACTOR SHALL EMPLOY APPROPRIATE MAINTENANCE AND PROTECTION OF TRAFFIC MEASURES DURING CONSTRUCTION AS APPLICABLE.
 - ALL PROPOSED SANITARY SEWER INVERT LOCATIONS FROM THE PROPOSED BUILDING ARE ASSUMED AND SHALL BE COORDINATED WITH ARCHITECTURAL FLOOR PLANS. LOCATIONS SHOWN ARE PROVIDED TO SHOW CONNECTION TO THE EXISTING SANITARY SEWER LINE. THE CONTRACTOR SHALL SUBMIT APPROPRIATE CONSTRUCTION APPLICATIONS TO THE CITY OF GLEN COVE OF PUBLIC WORKS AND NOTIFY THEM 48 HOURS PRIOR TO COMMENCING WORK ON SYSTEM INSTALLATION AND SERVICE CONNECTIONS.
 - THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITIES 48 HOURS BEFORE EXCAVATING, CUTTING, REMOVING OR TAPPING INTO ANY EXISTING UTILITY SERVICE. THE CITY OF GLEN COVE SHALL BE NOTIFIED 48 HOURS BEFORE ANY SITE WORK IS BEGUN.
 - UTILITY POLES TO BE RELOCATED SHALL BE DONE WITH COORDINATION WITH KEYSAN AND THE APPROPRIATE TELECOMMUNICATION COMPANIES. GAS AND ELECTRIC SERVICE CONNECTIONS AND/OR SERVICE ABANDONMENTS SHALL BE COORDINATED WITH KEYSAN WHERE FEASIBLE. PROPOSED ELECTRICAL WIRING SHALL BE UNDERGROUND.
 - ALL CONNECTING DRAINAGE PIPING SHALL BE 15' Ø UNLESS OTHERWISE SHOWN ON THE PLAN. EXTERIOR ROOF DRAIN LEADERS SHALL BE 6" PVC SDR-35 (D.I.P. WHERE COVER IS LESS THAN 4'). SEE ARCHITECTURAL & MECHANICAL PLANS FOR INTERIOR ROOF DRAIN PLANS.
 - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LOCAL, TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
 - ALL SANITARY SEWER PIPING SHALL BE SDR-35 PVC OR EQUAL UNLESS OTHERWISE NOTED ON THE PLAN. WHERE SEWER PIPE COVER IS LESS THAN 4'-0", DUCTILE IRON PIPE IS REQUIRED.
 - REFER TO KEYSAN STANDARD SHEETS FOR PROTECTIVE BOLLARD SIZES, REQUIRED SETBACKS AND OTHER DIMENSIONS AT TRANSFORMER, IF REQUIRED.
 - WATER MAIN TAPS, INCLUDING TAPPING PERMITS AND FEES, METER REQUIREMENTS, ETC., SHALL BE COORDINATED WITH THE CITY OF GLEN COVE DPW.
 - EXISTING WATER, SEWER AND OTHER CASTINGS DISTURBED DURING WORK SHALL BE ADJUSTED TO GRADE AS REQUIRED.
 - ALL PROPOSED DRYWELLS SHALL BE PRECAST, WITH PRECAST OPENINGS FOR DRAINAGE PIPE AND SHALL CONFORM TO THE CITY OF GLEN COVE BUILDING DEPARTMENT STANDARDS.
 - DATUM: NASSAU COUNTY (U.S.G.S. [N.G.V.D.]
 - PRIOR TO COMMENCING WORK ON THE CONNECTION TO THE EXISTING CITY OF GLEN COVE SEWER, CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF GLEN COVE DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR IS ADVISED TO REQUEST INFORMATION FROM THESE DEPARTMENTS REGARDING THEIR POLICIES PERTAINING TO NOTIFICATION AND INSPECTIONS.
- THE CONTRACTOR IS ADVISED TO VISIT THE CITY OF GLEN COVE DPW AND VERIFY THE AS-BUILT CONDITION (RISER HEIGHTS, EXISTING MAIN LINE INVERT, STUB ELEVATIONS) OF THE EXISTING HOUSE CONNECTION, IN ORDER TO VERIFY THE SCOPE OF WORK REQUIRED TO CONSTRUCT THE PROPOSED SEWER CONNECTION.

DRAINAGE CALCULATIONS

NOTES:

- STORM DRAINAGE SYSTEM DESIGNED TO STORE RUNOFF PRODUCED BY A 2" RAINFALL.
- RUNOFF COEFFICIENTS:
 PAVEMENT, ROOF, CONCRETE, OTHER IMPERVIOUS AREA = 1.00
 LANDSCAPED, GRASSED, NATURAL AREA, OTHER PERVIOUS AREA = 0.30
- DRAINAGE STRUCTURES INCLUDE NEW 12" PRECAST STORM DRAIN RINGS WITH A CAPACITY OF 100.88 CFV/F.
- INTERCONNECTING PIPE SHALL BE 15" Ø CPP AT 1% MINIMUM EXCEPT WHERE OTHERWISE NOTED ON THE PLAN.

DRAINAGE SYSTEM A

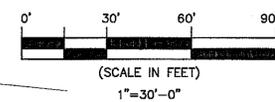
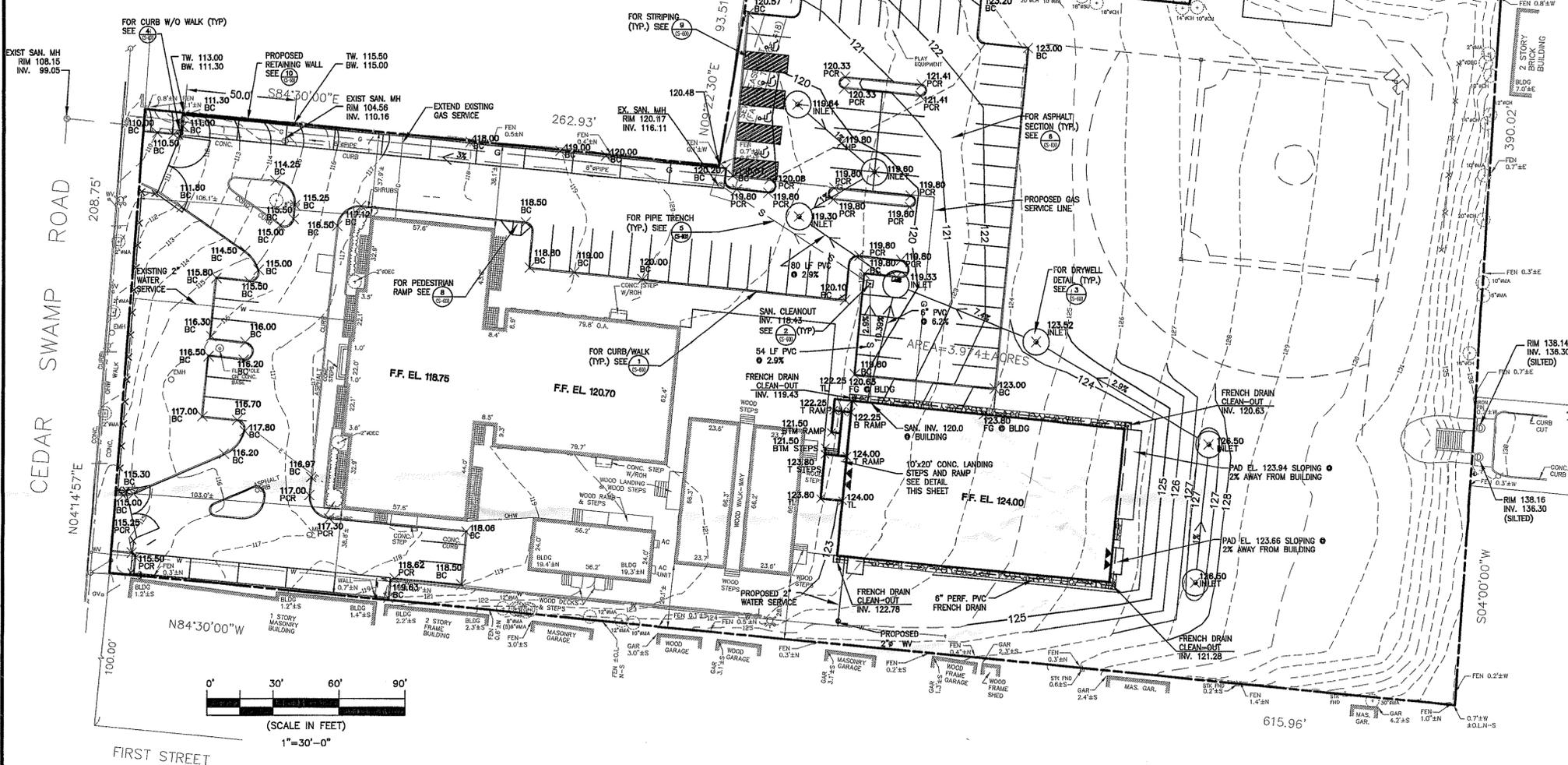
STORM WATER STORAGE VOLUME REQUIRED

| | | |
|-------------------------------|----------------------------|--------------|
| PERVIOUS AREA | 68,973 SF x 0.30 x 2/12" = | 3,448.65 CF |
| IMPERVIOUS AREA | 42,143 SF x 1.00 x 2/12" = | 7,023.83 CF |
| TOTAL STORAGE VOLUME REQUIRED | | 10,472.48 CF |

STORM WATER STORAGE VOLUME PROVIDED

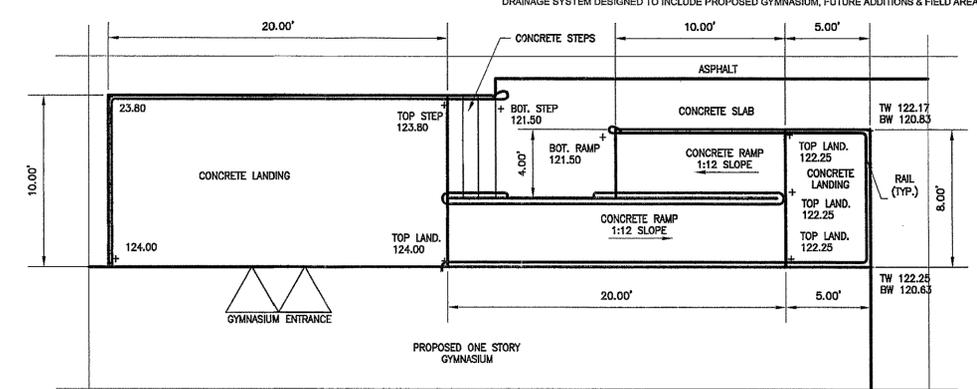
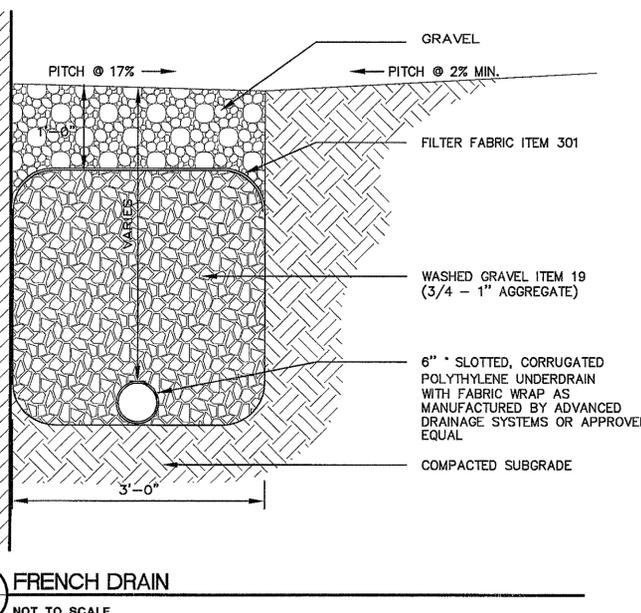
| | |
|--|-----------|
| (7) NEW 12" RINGS x 15.00' EFF. DEPTH x 100.88 CFV/F = | 10,592 CF |
| TOTAL STORAGE VOLUME PROVIDED | 10,592 CF |

DRAINAGE SYSTEM DESIGNED TO INCLUDE PROPOSED GYMNASIUM, FUTURE ADDITIONS & FIELD AREA.



LEGEND

- PROPOSED DRYWELL WITH INLET GRATE
 - PROPOSED DRYWELL W/ CURB INLET GRATE
 - PROPOSED CLEAN-OUT
 - PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - PROPOSED BOTTOM CURB ELEVATION
 - PROPOSED DRAINAGE INLET ELEVATION
 - PROPOSED FINISH GRADE ELEVATION @ BUILDING
 - PROPOSED BOTTOM STEP ELEVATION
 - EXISTING SANITARY PIPING
 - EXISTING SANITARY MANHOLE
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING ELECTRIC LINE
 - PROPOSED SANITARY PIPING
 - FINISHED GRADE ELEVATION CONTOUR
 - EXISTING GRADE ELEVATION CONTOUR
 - PROPOSED DRAINAGE PIPING
 - PROPOSED FRENCH DRAINAGE PIPING
 - PROPOSED WATER SERVICE PIPING
 - PROPOSED CONCRETE CURB
 - EXISTING CONCRETE CURB
 - EXISTING GAS/WATER VALVE
 - EXISTING HYDRANT
 - PROPOSED WATER VALVE
 - EXISTING UTILITY POLE
 - PROPOSED UTILITY POLE
- DETAIL NUMBER: #
SHEET NUMBER: DWG



TYPICAL BUILDING ACCESSIBLE RAMP DETAIL
 NOT TO SCALE

NASSAU CO. TAX LOT NUMBER: SECT. 22 ; BLK. A ; LOTS 64, ETAL

| NO. | DATE | REVISIONS |
|-----|---------|--|
| 6 | | |
| 5 | | |
| 4 | | |
| 3 | 6-19-03 | AS PER ARCHITECTS COMMENTS |
| 2 | 4/21/03 | PER CITY OF GLEN COVE COMMENTS |
| 1 | 4/22/03 | ADDITIONAL PARKING TO MATCH TO ARCHITECTURAL |
| 0 | 3/14/03 | SUBMITTED TO CITY OF GLEN COVE |

PROJECT ENGINEER/ARCHITECT: JMM
 PROJECT MANAGER: DS
 DRAWN BY: DS
 SCALE: 1/8"=30'

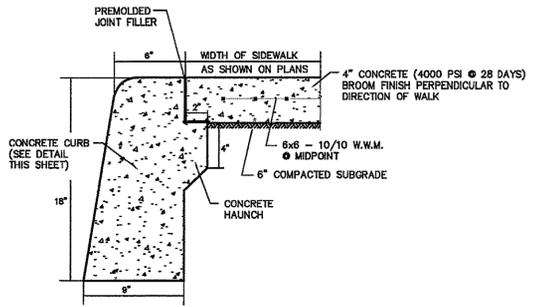
FIRST ISSUE DATE: 3/7/03

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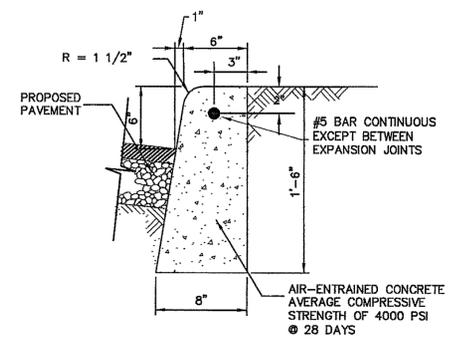
PROJECT: SOLOMON SCHECHTER DAY SCHOOL
 CEDAR SWAMP ROAD, GLEN COVE
 NASSAU COUNTY, NEW YORK
 TITLE OF DRAWING: GRADING, DRAINAGE AND UTILITY PLAN

PROJECT NO. 18522
 DRAWING NO. CS-200
 SHEET 3 OF 4

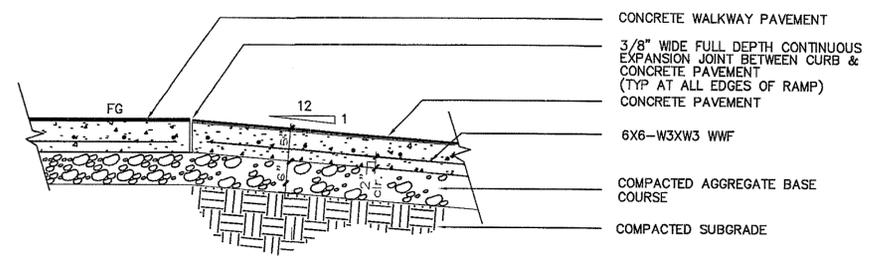
Plotting Parameters
 Plotted by: solend
 Pkg File: L:\Jobs\18522\Site\Drawings\CS-600.dwg
 Plotted: Jun 23, 2003 - 10:49pm
 Model: PC0852



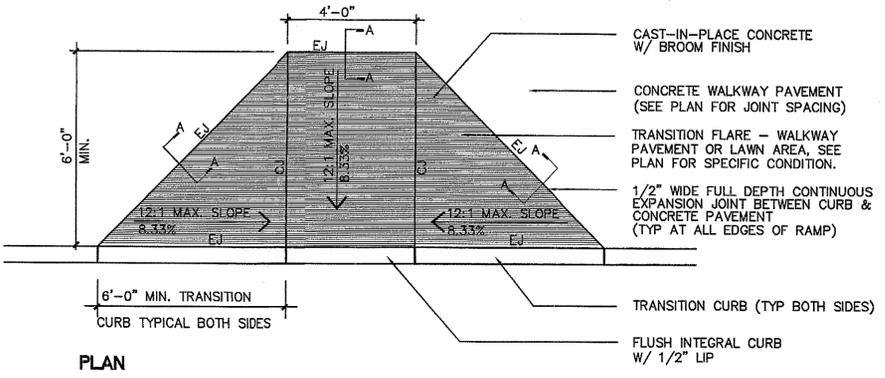
1 COMBINATION CONCRETE CURB AND SIDEWALK
 CS-600 NOT TO SCALE



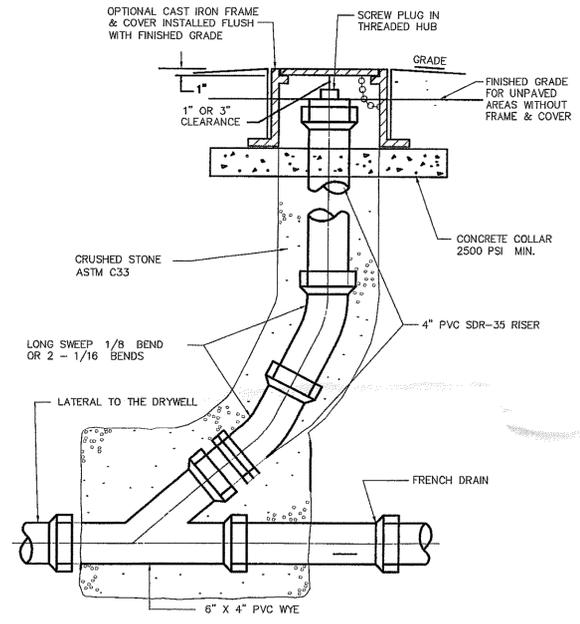
4 NASSAU COUNTY AND NYSOT CONCRETE CURB
 CS-600 NOT TO SCALE



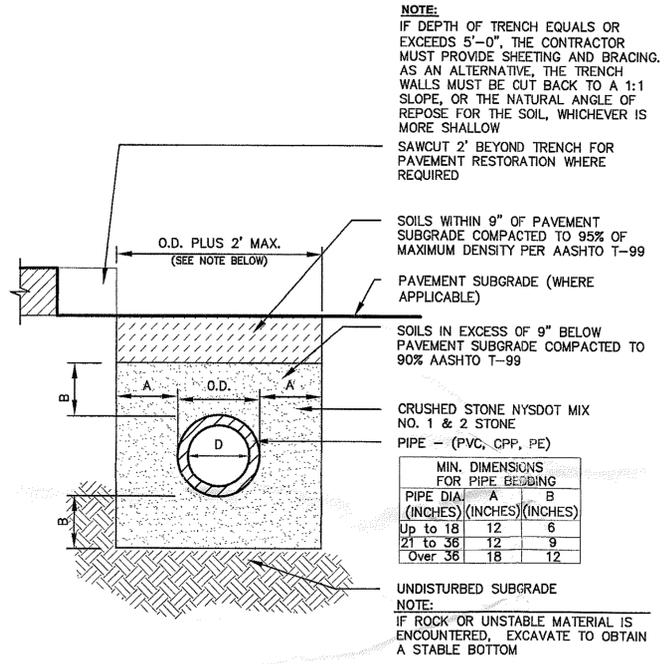
6 SECTION 'AA'



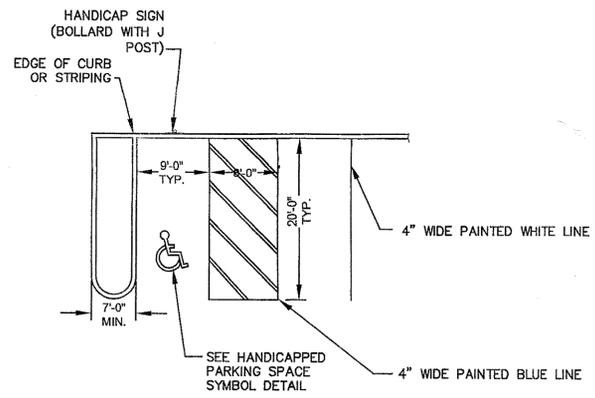
8 TYPICAL PEDESTRIAN RAMP WITHIN WALKWAY
 CS-600 NOT TO SCALE



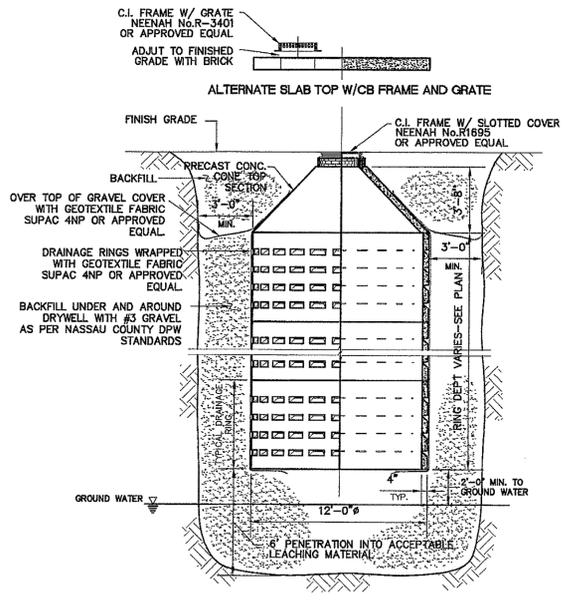
2 CLEAN-OUT DETAIL
 CS-600 NOT TO SCALE



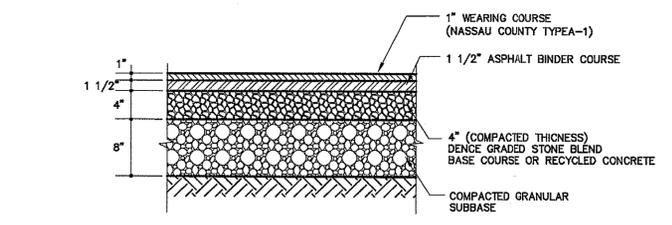
5 PVC PIPE TRENCH
 CS-600 NOT TO SCALE



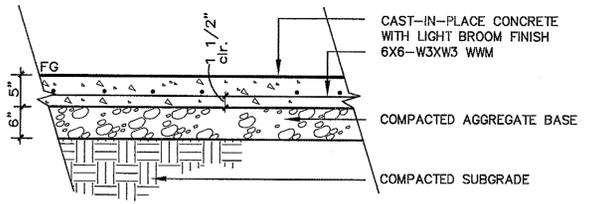
9 ACCESSIBLE PARKING STRIPE DETAIL
 CS-600 NOT TO SCALE



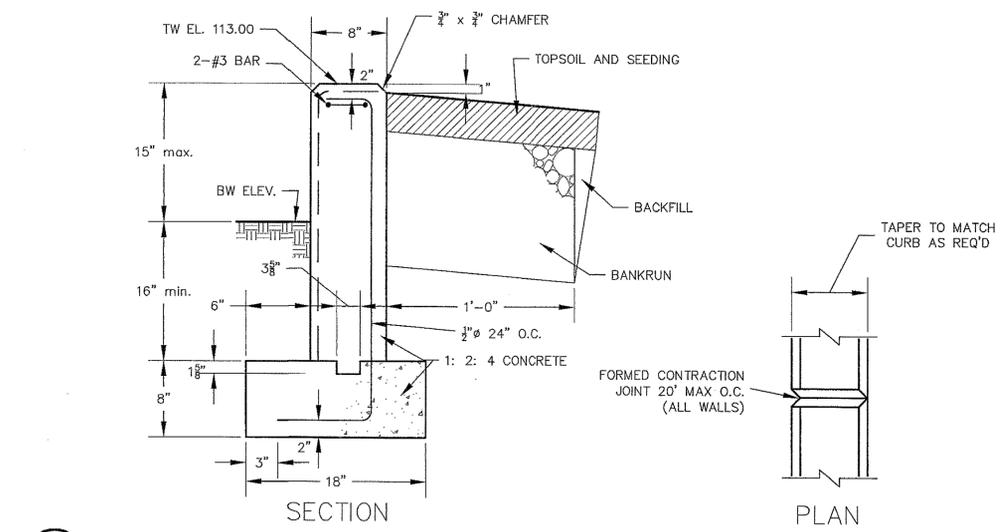
3 DRYWELL DETAIL
 CS-600 NOT TO SCALE



6 ASPHALT PAVEMENT FOR PARKING LOT
 CS-600 NOT TO SCALE



7 CONCRETE PAVEMENT
 CS-600 NOT TO SCALE



10 RETAINING WALL
 CS-600 NOT TO SCALE

NOTE:
 1. SEE PLAN FOR SCORE PATTERN

CAST-IN-PLACE CONCRETE W/ BROOM FINISH

CONCRETE WALKWAY PAVEMENT (SEE PLAN FOR JOINT SPACING)
 TRANSITION FLARE - WALKWAY PAVEMENT OR LAWN AREA, SEE PLAN FOR SPECIFIC CONDITION.

1/2\"/>
 CONCRETE PAVEMENT (TYP AT ALL EDGES OF RAMP)

TRANSITION CURB (TYP BOTH SIDES)
 FLUSH INTEGRAL CURB W/ 1/2\"/>
 LP

NOTE:
 IF DEPTH OF TRENCH EQUALS OR EXCEEDS 5'-0\", THE CONTRACTOR MUST PROVIDE SHEETING AND BRACING. AS AN ALTERNATIVE, THE TRENCH WALLS MUST BE CUT BACK TO A 1:1 SLOPE, OR THE NATURAL ANGLE OF REPOSE FOR THE SOIL, WHICHEVER IS MORE SHALLOW.
 SAWCUT 2' BEYOND TRENCH FOR PAVEMENT RESTORATION WHERE REQUIRED

SOILS WITHIN 9\"/>
 MAXIMUM DENSITY PER AASHTO T-99
 PAVEMENT SUBGRADE (WHERE APPLICABLE)
 SOILS IN EXCESS OF 9\"/>
 COMPACTED TO 90% AASHTO T-99

CRUSHED STONE NYSOT MIX NO. 1 & 2 STONE
 PIPE - (PVC, CPP, PE)

| MIN. DIMENSIONS FOR PIPE BEDDING | | |
|----------------------------------|------------|------------|
| PIPE DIA. (INCHES) | A (INCHES) | B (INCHES) |
| Up to 18 | 12 | 6 |
| 21 to 36 | 12 | 9 |
| Over 36 | 18 | 12 |

UNDISTURBED SUBGRADE
NOTE:
 IF ROCK OR UNSTABLE MATERIAL IS ENCOUNTERED, EXCAVATE TO OBTAIN A STABLE BOTTOM

1\"/>
 WEARING COURSE (NASSAU COUNTY TYPEA-1)
 1 1/2\"/>
 ASPHALT BINDER COURSE
 4\"/>
 (COMPACTED THICKNESS) DENSE GRADED STONE BLEND BASE COURSE OR RECYCLED CONCRETE
 COMPACTED GRANULAR SUBBASE

CAST-IN-PLACE CONCRETE WITH LIGHT BROOM FINISH 6X6-W3XW3 W/M
 COMPACTED AGGREGATE BASE
 COMPACTED SUBGRADE

CONCRETE WALKWAY PAVEMENT (SEE PLAN FOR JOINT SPACING)
 TRANSITION CURB (TYP BOTH SIDES)
 FLUSH INTEGRAL CURB W/ 1/2\"/>
 LP

4\"/>
 WIDE PAINTED WHITE LINE
 4\"/>
 WIDE PAINTED BLUE LINE

TOPSOIL AND SEEDING
 BACKFILL
 BANKRUN

1\"/>
 -0\"/>
 1/2\"/>
 24\"/>
 O.C.
 1: 2: 4 CONCRETE

FORMED CONTRACTION JOINT 20\"/>
 MAX O.C. (ALL WALLS)
 TAPER TO MATCH CURB AS REQ'D

| NO. | DATE | REVISIONS | BY |
|-----|---------|-----------|----|
| 6 | | | |
| 5 | | | |
| 4 | | | |
| 3 | 6-19-03 | JMM | |
| 2 | 4/22/03 | JMM | |
| 1 | 4/22/03 | JMM | |
| 0 | 3/14/03 | JMM | |

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PROJECT ENGINEER/ARCHITECT: JMM
 PROJECT MANAGER: JMM

DRAWN BY: DS
 SCALE: 1/8\"/>
 1\"/>
 30'

DATE: 3/7/03
 FIRST ISSUE DATE: N/A

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PROJECT: SOLOMON SCHECHTER DAY SCHOOL
 CEDAR SWAMP ROAD, GLEN COVE
 NASSAU COUNTY, NEW YORK

TITLE OF DRAWING: SITE DETAILS

PROJECT NO.: 18522
 DRAWING NO.: CS-600
 SHEET 4

**PRELIMINARY ENVIRONMENTAL
ASSESSMENT**

Brownfields Inventory – The Orchard

City of Glen Cove Glen Cove, New York

Prepared for **City of Glen Cove
Community Development Agency
9 Glen Street
Glen Cove, NY 11542**

Prepared by  **Vanasse Hangen Brustlin, Inc.**

August 2012

REVISED FEBRUARY 27, 2013

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|---|---------------------------------|

Appendices

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1

Introduction

Purpose and Scope of Work

Vanasse Hangen Brustlin, Inc. (VHB) has completed an inventory of potential Brownfields in the area of Glen Cove, New York referred to as “The Orchard.” A “Brownfield” for the purposes of this project is generally defined as “real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant” which is the definition issued by the US Environmental Protection Agency (EPA). VHB has referred to properties contained in this inventory as “potential Brownfields” since current environmental conditions are not entirely known and inclusion is based solely on publicly available information reviewed during this inventory process.

The purpose of the inventory was to compile a list of potential Brownfields with particular focus on the City of Glen Cove’s (the City’s) Redevelopment of The Orchard (Figure 1).

The scope of work for the inventory included developing a database of potential Brownfields in the Brownfields Opportunity Area (BOA) identified by the City and outlined on Figure 1. The database was developed by utilizing public information that was readily available, including federal and state environmental databases, New York State Department of Environmental Conservation (NYSDEC) on-line records, Sanborn Fire Insurance Maps, and municipal information.

It is our understanding that the inventory will be used by the City to prioritize the potential Brownfield properties for further assessment, if appropriate. Additional assessments of prioritized Sites may occur based on several factors including but not limited to existing environmental conditions, owner cooperation, and availability of funding. This inventory is meant to be a work-in-progress and will be updated as property-specific information becomes available from property owners.

Methodology and Informational Sources

On September 14, 2011 VHB requested an environmental database search for potential Brownfields within the BOA utilizing FirstSearch™ Technology Corporation on-line database. This database contains both state and federal listings including; National Priority List (NPL) sites; Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS); Resource Conservation and Recovery Act (RCRA) Treatment, Storage, and Disposal (TSD) facilities list; RCRA Corrective Action (RCRA CORRACTs); RCRA hazardous waste generators and no longer registered (NLR) hazardous waste generators (RCRA GEN); state list of hazardous waste sites (State sites); state list of spills sites (Spill sites); Active Solid Waste Landfill (SWL) facilities; registered underground storage tanks (USTs); leaking USTs (LUSTs), environmental institutional controls or environmental engineering controls (IC/ EC Registries), State Voluntary Cleanup Program (VCP), State Brownfields, and Connecticut Property Transfer Program (State Other). The FirstSearch™ report is attached as Appendix A and serves as the inventory of properties known or suspected of having documented contamination within The Orchard BOA.

VHB incorporated this information into a Geographic Information System (GIS) database for data management and geographic referencing purposes. The FirstSearch™ report contained numerous spill listings, the majority of which were considered to be insignificant releases of small quantities of typical motor vehicle fluids resulting from motor vehicle accidents. These types of releases would not by themselves indicate a property is a potential Brownfield and therefore properties with spill listings were only incorporated into the GIS database if it was included in another database listing (such as a UST, LUST, or State site) related to the spill incident. Similarly, having a registered UST does not by itself indicate a property is a potential Brownfield. However, for purposes of constructing the inventory, UST properties were included.

An online search of NYSDECs website (<http://www.dec.ny.gov>) for properties in Glen Cove on the Site Remediation or Spills Database was conducted, in addition to identifying land uses of concern such as dry cleaners and auto body/ auto repair identified through other planning research and investigation activities being conducted concurrently with the Brownfields inventory. Information obtained from these online searches was added to the GIS database. To obtain additional data concerning Brownfield Sites of suspected concern based on initial database results, VHB sent letters to the Nassua County Department of Health to request information on the refined list of properties, and received responses regarding the availability or absence of files in February of 2012.

VHB also reviewed available Sanborn Fire Insurance Maps (Sanborn Maps) dated 1908 through 1972 for The Orchard BOA which were provided through the FirstSearch™ database request. Information contained in the Sanborn Maps was added to the GIS database.

Various names associated with the properties identified in the inventory are based on publicly available state, federal, and municipal information obtained during the project. If a facility was found to have more than one name then it was included within additional fields in the GIS database.

2

Inventory

The following is a written summary of the potential Brownfields inventory completed for this project. For mapping of these properties see Figure 1. Sanborn Map properties of interest were also overlain on the study area base map. These six maps are dated 1908 through 1972 and are provided as Figures 2 through 7.

City-wide Potential Brownfields

The inventory identified numerous potential Brownfields in the initial Orchard BOA search radii which was larger than the area shown on Figure 1. The majority of these potential Brownfields were identified via listings in the FirstSearch™ report. In several cases properties were listed on multiple databases, and, therefore, registered multiple times. The FirstSearch™ report contained 13 listings for properties that currently generate or have generated hazardous wastes (RCRA GEN), 13 listings for properties that are known or suspected NYSDEC hazardous waste sites (State sites), 4 listings for properties that are/ were subject to corrective actions involving hazardous wastes (RCRA COR), and 2 listings for hazardous waste treatment, storage, and disposal facilities (RCRA TSD). In addition, 36-37 listings for properties reported as having leaking underground storage tanks (LUSTs) and 56 listings for properties reported as having registered underground storage tanks (USTs) or aboveground storage tanks (ASTs). Three properties were identified as CERCLIS sites; however, only one (the Glen Cove Gas Plant) was within the study boundary. CERCLIS sites are potential hazardous waste sites that the U.S. EPA is investigating under the Comprehensive Response, Compensation and Liability Information Act (CERCLA).

Additional possible Brownfields identified but which were not listed in the state and federal databases reviewed included:

- 44 Sea Cliff Avenue – Auto Repair and Detailing;
- Scalici Kitchen and Bath – 13 Hazel Street;
- Laundry – 16 Grove Street; and
- Shines Auto Detailing – 85 Hazel Street.

These appear at the bottom of Table 1 which is a summary of the potential Brownfield properties identified.

The Orchard Proposed Redevelopment Area

A total of ~~27~~28 potential Brownfields were identified in the The Orchard BOA; ~~24~~22 of these were identified based on FirstSearch™ information, and 6 were identified by municipal input, and/ or were identified during VHB's other research activities in the area. A summary of these potential Brownfields is provided in the following table along with current tenant information obtained via research or windshield surveys.

**Table 1
The Orchards Potential Brownfield Sites**

| NUMBER | ON MAP | 1st SEARCH MAP ID | OWNER/RESPONSIBLE PARTY | ADDRESS | SANBORN INFO | DATABASE | USE/TENANT | STATUS | COMMENTS |
|--------|--------|-------------------|--|---|--|--|--|----------------------------|--|
| 1 | Yes | 11 | Candemore Realty Co | 10 CEDAR SWAMP RD | Standard Oil Co. (1908) | RCRAGEN | Retail Plaza | | Tanks associated with Standard Oil. |
| 2 | Yes | 34/20 | Mimicozzi, Francis | 33-35 GROVE ST (34) | Auto (1915) | | Electrical, Plumbing & Heat | CLOSED | DEC website address is 34. Unknown spill to soil. Closed 12/25/08. Abuts MGP. |
| 3 | Yes | 16/10/18 | Rallye Leasing Inc. | 34 CEDAR SWAMP RD | | SPILLS | Lexus Parking | | Maps as Parking Lot for Rallye. |
| | Yes | 14 | Troffa VF | 15 HAZEL ST | | UST | 15 Hazel St | | Linked to 34 Cedar Swamp. FS report notes that the house was knocked down to make parking for Lexus dealer and there was a UST not removed so oil release occurred. Related to 7 Hazel Street too. |
| | Yes | 15 | | 7 Hazel Street. | | UST | | | See above. Note says "cleaned up to standards." |
| | Yes | 16/10/18 | Rallye Leasing Inc. | 20 Cedar Swamp Road and GROVE ST | Standard Oil Co (1915, 1925) Auto Sales & Service/Auto Stge (1972) | RCRAGEN, UST, LUST | Lexus Dealer | | |
| | Yes | 10/16/2018 | Rallye Leasing Inc. | 20 Cedar Swamp Rd | Rallye Lex Rally Motors Lexus Car Dealer Historic Fire | UST GEN, SPILLS, LUST UST | | | Sanborn maapping shows the 20-34 Cedar Swamp Road block occupied by a variety of Auto Sales and Services businesses, in addition to a portion of Standard Oil. Oil and gasoline tanks noted on various portions of the properties. Slaughter house at 6 Grove which is part of current day Rallye Motors. |
| | Yes | 18/10/16 | | 12 Grove Street | Holzcamp Residence | SPILLS, LUST, | | | Previously part of historic auto associated with Rallye. |
| 4 | Yes | 5 | Luyster Motors, Inc | 50 CEDAR SWAMP RD (ADDRESS WRONG IS 70 CEDAR SWAMP RD) | Not on Sanborns | UST, RCRAGEN, ERNS, SPILLS | Land Rover Dealership | ACTIVE | Spill Record - Asbestos and Motor Oil Release. 3/16/11. Cause noted as poor housekeeping. Based on anonymous call to DEC. Unresolved. Oil and transmission fluid in tanks. CESQG for cleaning solvents and petroleum products. |
| 5 | Yes | 2 | Glen Cove Gas Plant | ROUND SWAMP RD. Does not exist. Address is Grove and Stanco Streets | Nassau Gas Construction Co (1908) Sea Cliff & Glen Cove Gas Co (1915, 1925, 1931) Long Island Lighting Co (1947) | STATE, CERCLIS | Electrical Substation Former MGP | ACTIVE (DEC #130089) | First phase remediation done August 2011. Soil excavation in source areas. Contaminants are Coal Tar, SVOC/PAHs, and metals. Also BTEX in soil. GW impacted as well. Highly permeable sand and gravel media. Groundwater flow direction to the west/northwest. Sanborn maps show gas holders, purifier, retort house, oil tanks and other gas production support structures. |
| 6 | Yes | 22 | Anzalone Michael | 44 GROVE ST | | UST/SPILLS | 44 Grove Street | CLOSED | Closed per DEC website 2/14/07. Leave open/adjacent to MGP. |
| 7 | No | 23 | | 20 GROVE ST | Residence | SPILLS | | | Closed per DEC website 12/23/94. 1 gallon #2 to soil. Deminimus? |
| 8 | Yes | 3 | Photo Circuits | 31 SEA CLIFF AVE | Slater Electrical Mfg, Co, (1972) | RCRAGEN, COR, TSD, STATE, CERCLIS, UST, LUST | Photo Circuits | Active (DEC #130009) | CVOCs (111 and PCE) in soil and groundwater. Deemed significant and impacting sole source aquifer. Disposal on site from 1954 to present. Daughter compounds as well. "Site represents significant environmental threat due to the level of VOC contamination in groundwater." Threat from soil contact limited due to restricted access. Mfg printed circuit boards. SVE installed 4/2000. Hydraulic restraint system along Sea Cliff 1/02 to prevent off-Site migration. 12/06 FS. ROD 3/08. |
| | | | | | | RCRAGEN, UST, ERNS | Mason Supply Sun Casting Co. | | |
| 9 | Yes | 9 | Photo Circuits | 45 SEA CLIFF AVE | A-1 Recycling Keyco Master Freight Pass & Seymour Slater Electric, Planet Waste Mgt | STATE, SWL, LUST, UST, SPILLS | Pass & Seymour | Active (DEC #130053A) | PCE degreasing and storage tanks. Past disposal on Site. SVE installed at the site. Indoor air sampling at nearest downgradient non-industrial properties show threat to indoor air from contaminated groundwater. PA 1994; SI 1997; RI/IRM 1997; Pilot Test 1999; AS/SVE 2000. 2001 groundwater data showed unacceptable levels. Modified SVE 2002-2005. Feb 2007 still operating SVE. |
| 10 | Yes | 8 | Pall Corporation | 30 SEA CLIFF AVE | Knickerbocker Ice Co (1931) F. R. Hermann Co, Inc. (1947) | STATE, UST, RCRAGEN, OTHER | Photo Circuits | Active (DEC #130053B) | Site boundary includes both properties. Pall is at 30 and August is at 36. Historically tennis court and Glen Cove Head Start Child Care. Currently vacant. Well field also north of site. Same well field closed due to sites noted above (Carney St). PCE, TCE, Freon and daughters in soil and groundwater. Concentrations higher than upgradient sources. GW flow to the N/NW. SVE installed but running errors due to water infiltration. 2001 FS for ISCO pilot; 2002 potassium permanganate injections; 2004 ROD for ISCO on surface and shallow contamination; 2005 2nd pilot using Fenton's Reagent through injection wells. 2006 report; 2008 DEC retains consultant to design remedy; 2010 predesign site investigations begin. Vapor intrusion is a concern. GW is not being used for potable and soil is covered with pavement. |
| 11 | Yes | 8, 13 | August Thompsen Corp AKA Pall Corporation August Thompsen Corp AKA Pall Corporation | 30-36 SEA CLIFF AVE 30-36 SEA CLIFF AVE | Glen Components Corp (1972) | UST, GEN, INST, STATE | Tennis Courts Glen Cove Head Start Child Care | | |
| 12 | Yes | 29 | MAC Properties, Inc | 10 SEA CLIFF AVE | | UST/LUST | Maccarone Plumbing & Heat Harbor Fuel Co. | Active (MAC) Inactive (HF) | Harbor Fuel - Waste oil UST and Deisel Fuel UST. Tank test failure resulted in LUST designation. First Search notes indicate "clean up" met the appropriate standards. Maccarone - only notes an unregistered, active UST at the Site. |
| 13 | Yes | 12 | ?? | 59 Sea Cliff | Sea Cliff Coal & Lumber Co., (1931, 1947, 1972) | UST RCRAGEN ERNS | Moretto Boat Shop T & D Towing O & D Auto Repair | Active | Sanborns for '72, '47, and '31 show Sea Cliff Coal and Lumber there. Gasoline tank and coal storage. First Search identified 3 occupants of the Site. Moretto - UST (unidentified); T & D Towing (RCRAGEN) solvents; and O & D Auto Repair (ERNS) for complaint about spilling antifreeze and oil on ground. |
| 14 | Yes | 32 | 55 Sea Cliff Ave Inc | 55 SEA CLIFF AVE | Tweezerman (FS) Zoomar Corp. (1972) | OTHER (FED BROWNFIELD) | Mallcom | | No info on First Search other than Federal Brownfield. Sanborn says Zoomar manufactured optical equipment. |
| 15 | Yes | 28 | Carney Realty Corporation | 100 CARNEY ST | | LUST/UST | Clean Water Revival, Community Coupon, and Elite Tent and Party Rental | | First Search notes Man Products as the RP. LUST due to failed tank test. Removed in 1987 with no holes or soil contamination noted. Case closed. |
| 16 | Yes | 25 | 200 Carney Street Inc. | 200 CARNEY ST | | SPILLS | Bowling Alley, Batting Cages & Master Q Billiards | | First Search notes transformer oil spill due to traffic accident. Vehicle hit pad mounted transformer. Release contained to concrete. NFA. |
| 17 | Yes | 31 | TM Brier & Assoc Inc. | 79 HAZEL AVE (corn Hazel and Carney) | | OTHER | TMBA Energy (HVAC) | ACTIVE | Other - Fed Brownfield. FS Notes that a Phase I Assessment recommended a Phase II to identify potential contamination at the Site. |
| 18 | No | 17 | | 2nd St & Cedar Swamp | Glenn Street Yard | SPILLS | | | Leaking fuel cap from a rail car. Cleaned up release and closed. |
| 19 | Yes | 39 | | 297 GLEN ST | | SPILLS | Train Station? | | Citizen Complaint - Resolved |
| 20 | Yes | 68 | | 225 GLEN ST | | LUST | Train Station? | | Out of Bounds. Tank test failed. Manway repaired and tank past next test. NFA. |
| 21 | Yes | NA | City of Glen Cove | GLEN ST | | | Train Station | | |
| 22 | No | 24 | Unknown Landlord | 11 CAPOBIANCO ST | | | | | 2 gallons #2 oil released to basement floor. NFA. |
| 23 | No | NA | | 34 CARNEY ST | | | Glen Cove Iron Works | | Not on FirstSearch |
| 24 | No | NA | 44 Sea Cliff Avenue LLC | 44 SEA CLIFF AVE | Auto Sales & Service (1972) | | Auto Repair Detailing | | Not on FirstSearch |
| 25 | No | NA | Scalici Salvatore & RS | 13 HAZEL ST | | | Scalici Kitchen & Bath | | Not on FirstSearch |
| 26 | No | NA | Gulino et al Joseph | 16 GROVE ST | | | Laundry Mat | | Not on FirstSearch |
| 27 | No | NA | 85 Hazel St Corp | HAZEL ST | | | Shines Auto Detailing and TWB (HVAL) and Service Pro | | Not on FirstSearch |
| 28 | Yes | 37 | Glen Cove School District | Cedar Swamp Road | Not in Map Boundary | LUST, SPILLS | Glen Cove School Soloman Schecter School | CLOSED | Two LUST listings with dates of 5/1989 and 9/1992. Both associated with a release of #2 fuel oil, both listed as closed, and both indicating a plan to "dig up the tank." No indication as to whether or not the tank(s) were removed. Spill listed as related to a release of transformer oil with a spill date of 11/1998. FirstSearch stated that transformer oil was released in the basement of the school and "floor cleaned and drain cleaned out." |

3

Summary

Figure 1 shows potential redevelopment areas outlined in Blue. VHB conducted more in depth review of the currently available information as it relates to these areas in particular. For ease of reference, there are six localized areas targeted for consideration defined and referenced as follows:

- Glen Cove Gas Plant/ Glen Street Train Station Area;
- 200 Carney Street Vicinity;
- Head Start;
- Sea Cliff Avenue Potential Big Box Reuse;
- Sea Cliff Avenue Potential Active Recreation Uses; and
- Sea Cliff Avenue Miscellaneous.

Each of the unique aspects of these locations are discussed briefly below .

GLEN COVE GAS PLANT/TRAIN STATION AREA

This area is located in the northern most section of The Orchard BOA. The encircling area under consideration encounters portions of the following Brownfield properties identified during this task:

- Glen Cove Gas Plant – Grove/ Stanco Street;
- Rallye Lease Inc. – Includes Properties at:
 - 20 through 34 Cedar Swamp Road;
 - 7, 13 and 15 Hazel Street;
 - 12, 16 and 20 Grove Street.
- Candemore Realty Co – 10 Cedar Swamp Road; and
- The Train Station – Includes/ Potentially Includes Properties at:
 - 297 Glen Street;
 - 225 Glen Street; and
 - Glen Street/ City of Glen Cove (not otherwise identified);
- Glen Cove School/ Solomon Schecter School – Cedar Swamp Road.

Sanborn mapping dating between 1908 and 1972 shows the 20-34 Cedar Swamp Road block occupied by a variety of Auto Sales and Services businesses, in addition to a portion of Standard Oil. Oil and gasoline tanks are noted on various portions of the properties. A slaughter house is

also identified at a property located at 6 Grove Street which appears to be part of the current Rallye Motors property.

FirstSearch™ information notes that the houses at 7 and 15 Hazel Streets were knocked down to make parking for the Lexus dealer. During the demolition, a UST not previously identified as damaged and released to the ground surface. Notes indicate that the oil was remediation to regulatory standards; however, residual petroleum at these properties is a possibility.

The Nassau Gas Construction Company appears on the 1908 Sanborn Map. The 1915 through 1931 Sanborn Maps identify the property as the Sea Cliff & Glen Cove Gas Company. The 1947 Sanborn shows it as Long Island Lighting Company. Throughout these years, the property is showing increasing in development to include multiple gas holders and oil tanks, in addition to purifiers, a retort house, and other structures supporting the production of gas. By 1972, the aboveground components were reportedly removed; however, subsurface contamination in the form of coal tar, semi-volatile organic compounds (SVOCs)/ polycyclic aromatic hydrocarbons (PAHs), heavy metals, and volatile organic compounds (VOCs) predominantly benzene, toluene, ethyl benzene and xylene (BTEX).

Information summaries available on the NYSDEC website and in the FirstSearch™ report indicate that the first phase remediation was done August 2011. This involved soil excavation in source areas. Groundwater and soil impacts are present at the property. The direction of groundwater flow is reported to be to the west/ northwest. The NYSDEC summary indicates that groundwater depth ranges between 8 and 22 feet below ground surface (fbgs). Soil contamination and residual contaminants in piping and/ or other subsurface structures represents a risk during demolition or subsurface excavation. Vapor intrusion into structures is not reported as being a concern.

The Glen Cove School District property (aka the Solomon Schecter School and/ or Coles School) is located across Cedar Swamp Road from the cluster of Rallye Leasing properties. The Coles School was built in 1929 and used as a school by the City of Glen Gove until 1992. It was leased to the Solomon Schecter School from 1998 to 2008. The FirstSearch Report identified the site as a LUST and Spill site. The LUST listings were reported as a release of #2 fuel oil from failed tank testing in 1989 and 1992. It is unclear if the LUST releases were associated with one UST or two different USTs. The FirstSearch classified each of the LUST listings as "closed" and also noted that response actions were to include removal of the tanks. There was no indication in the report that the tank(s) were removed. The spill listing was reported as being transformer oil released from a transformer vault in the basement of the school. FirstSearch noted that "the floor and drain had been cleaned out." The spill is listed as closed in FirstSearch but no additional detail is provided.

This area is characterized by the historical presence of the Standard Oil Company, the MGP Site, the former Coles School, and numerous automobile service and repair businesses. Historical maps show the presence of oil and gasoline tanks at various properties in the area. On line, and First Search summary information indicates that some of the properties have no further action (NFA) recommended, however, the potential exists for petroleum related contamination to exist in this area. Petroleum releases have been reported at the Coles

School property, in addition to a release of transformer oil in the school basement. No detail regarding remediation and closure activities was provided in the FirstSearch report or on line.

200 CARNEY STREET VICINITY

This area is centrally located in the The Orchard BOA. The encircling area under consideration, and immediately abutting, encounters portions of the following Brownfield properties identified during this task:

- 200 Carney Street – 200 Carney Street, Inc.;
- Carney Realty - 100 Carney Street;
- Glen Cove Iron Works – 34 Carney Street (not on FirstSearch™Database).

200 Carney Street is recorded as a Spill Site. The spill is recorded as resulting from a traffic accident involving an electrical transformer. According to information in the FirstSearch™ Report and the NYSDEC on-line spill information, the release was contained to concrete and No Further Action (NFA) was required.

100 Carney Street abuts 200 Carney Street to the south. 100 Carney Street is identified as a LUST Site. FirstSearch™ information notes that Man Products is the Responsible Party (RP) associated with a LUST identified through a failed tightness test. The tank was reported as removed in 1987 with no holes or soil contamination reported. The case is listed as “closed.”

Glen Cove Iron Works was identified based on local research. Internet searches indicate the company manufactures hardware and is located at 34 Carney Street. The company/ site did not appear on FirstSearch™ or on NYSDEC's website.

The 1915, 1925 and 1931 Sanborn Maps show an un-named junk yard located at the corner of Stanco and Willow Streets. This abuts the 200 Carney Street property to the north.

Environmental research revealed that the former bowling alley area has had an industrial and commercial history. Available information indicates that a transformer spill at the former bowling alley site required NFA and a LUST Site abutting the former bowling alley has been closed. Sanborn Map reviews identified a junk yard abutting the former bowling alley Site to the north which operated from approximately 1915 through 1931. The potential exists for contamination to exist in the vicinity of the former bowling alley Site due to the historical junk yard and LUST site noted as abutting the property, however, NYSDEC indicates that the release on the former bowling alley Site, specifically, required NFA.

HEAD START

Head Start is located northwest of Pall Corp (30 Sea Cliff Avenue), and north of historic automotive service operations located at 44 and 60 Sea Cliff Avenue. Sanborn Mapping provided by FirstSearch™ did not include this area. Available environmental information suggests that groundwater flow direction is to the northwest in this area. This puts the Head

Start area downgradient of the groundwater contamination Sites associated with Pall Corporation, PhotoCircuits, and Pass & Seymour located along Sea View Avenue (see discussions below).

While no properties were identified for this area by FirstSearch™ and the Sanborn Maps did not include coverage of this area, the upgradient groundwater contamination associated with Pall Corporation, PhotoCircuits, and Pass & Seymour may represent an environmental concern to the site.

SEA CLIFF AVENUE – POTENTIAL FOR ACTIVE RECREATION/COVERED FACILITIES

This area is generally centrally located in the The Orchard BOA (refer to Figure 1). The encircling area under consideration includes the Brownfield Site referred to as Pall Corp, located at 30 – 36 Sea Cliff Avenue. Pall Corporation is an Active State NYSDEC Site with the file number 130053B. According to information provided in the FirstSearch Report and available on-line, the Site has also been associated with the following tenants and/ or owners:

- August Thompsen Corp;
- Knickerbocker Ice Co;
- F.R. Hormann Co, Inc;
- Pall Corp Micro Metallic Division;
- Glen Components Corp; and
- PhotoCircuits.

The Pall Corporation State Site boundary appears to include both the properties 30 and 36 Sea Cliff Avenue. Historically tennis courts and the Glen Cove Head Start Child Care also existed on the Site. The Site is currently vacant. File information indicates that a public well field north of the site in the vicinity of Carney Street was closed due to contamination from this Site as well as other sites located along Sea Cliff Avenue and discussed in the next section heading. Chlorinated volatile organic compounds (CVOCs) including tetrachloroethylene (PCE), trichloroethylene (TCE), Freon and their degradation products (i.e. daughter compounds) are reported as being present in soil and groundwater at the Site. While comingled with the groundwater contamination from upgradient sources, concentrations at this Site are also reported as being at higher concentrations than upgradient sources. Groundwater flow direction is reported as being to the north/ northwest. A soil vapor extraction (SVE) system was installed to address contaminated vapors at the Site; however, it is reported as not operating as designed due to water infiltration to the system. In 2001 a Feasibility Study (FS) for in-situ chemical oxidation (ISCO) pilot test was filed with NYSDEC. In 2002 potassium permanganate injections to the subsurface were conducted. In 2004 a Record of Decision (ROD) approving the use of ISCO on surface and shallow contamination was issued. In 2005 a second pilot test was conducted at the Site using Fenton's Reagent administered through injection wells. The results were submitted to NYSDEC in 2006. In 2008 NYSDEC retained a consultant to design a remedy for the Site. In 2010 predesign site investigations were initiated. Report information indicates that vapor intrusion into buildings is a concern for the Site, and that immediate risks have been minimized since groundwater is not being used for potable purposes and impacted soil is covered with pavement.

The historical use of this property by various industrial tenants has resulted in contamination of surface and subsurface soil, and groundwater. Though several contaminants are present at the Site, the contaminants driving remedial actions appear to be related to CVOCs. The presence of CVOCs in soil and groundwater at this, and other upgradient sites, has resulted in a concern for contact with on-Site contaminated soils and a concern for contaminated vapor intrusion into on-Site buildings. Contaminated groundwater migration has reportedly caused/contributed to the closure of a downgradient well field on Carney Street. Information pertaining to the Site on the NYSDEC website indicates that the potential for exposure to soil vapor intrusion into structures on or near the Site will be evaluated and addressed as appropriate. The Site is listed as Active.

SEA CLIFF AVENUE – POTENTIAL BIG BOX REUSE/MISCELLANEOUS

This area is generally located in the southern portion of The Orchard BOA (refer to Figure 1). The encircling area under consideration includes the following Brownfield Sites and properties of concern:

- PhotoCircuits (Active State NYSDEC File #130009);
- A-1 Recycling;
- Keyco Moster Freight;
- Pass & Seymour (Active State NYSDEC File #130053A);
- Slater Electric;
- Mason Supply Sun Casting, Co;
- Planet Waste Management;
- Tweezerman/ Zoomar;
- Sea Cliff Coal & Lumber;
- Moretto Boat Shop;
- T & D Towing;
- O & D Auto Repair; and
- Various Automotive Service Operations.

The automotive businesses located between 40 and 60 Sea Cliff Avenue were not identified on the FirstSearch Report. These are located in the “miscellaneous” use area associated with Sea Cliff Avenue and are located on the north side of Sea Cliff Avenue, due west of Pall Corporation discussed above.

Primary properties of concern identified on the south side of Sea Cliff Avenue, and identified by FirstSearch include PhotoCircuits, Pass & Seymour, Tweezerman, and Sea Cliff Coal & Lumber. These properties encompass essentially the entire southern portion of The Orchard BOA. PhotoCircuits and Pass & Seymour are both active State contamination sites.

PhotoCircuits is reported to have manufactured printed circuit boards. Available report information for PhotoCircuits indicate CVOC contamination in soil and groundwater at the Site. Primary CVOCs include PCE and 1,1,1-trichloroethane (111-TCA), in addition to their degradation products. Contamination was “deemed significant and impacting a sole source aquifer.” Reports also indicated that the threat from contact with impacted soil was mitigated due to “restricted site access.” Waste disposal is reported to have occurred on-Site from 1954 through the present. An SVE system was installed at the Site in April of 2000, and a hydraulic containment system to prevent further off-Site migration of contaminated groundwater was installed in 2002. A FS was completed for the Site in 2006, and a ROD was issued in 2008. The Site is Active.

Reports for Pass & Seymour describe similar contamination conditions. PCE is reported to have been stored in bulk tanks at the Site and was used for degreasing. A history of on-Site disposal was also reported for Pass & Seymour. Indoor air sampling was reportedly conducted at the nearest downgradient, non-industrial property and showed a threat to indoor air from contaminated groundwater. A Preliminary Assessment (PA) was completed in 1994; a Site

Investigation (SI) was completed in 1997; Pilot Testing was conducted in 1999; an Air Sparging/ SVE system was installed in 2000. In 2001 the results of groundwater sampling and analysis are reported as having shown “unacceptable” levels of contaminants. The SVE system was modified between 2002 and 2005. As of 2007 the SVE system was still reported as operating.

Tweezerman and Zoomar were located at 55 Sea Cliff Avenue. FirstSearch information for this address indicates only that it is a Federal Brownfield Site. Sanborn Maps indicate that Zoomar was a manufacturer of optical equipment. No other information was available.

Sea Cliff Coal & Lumber was shown at 59 Sea Cliff Avenue on the 1931, 1947, and 1972 Sanborn Maps. FirstSearch did not specifically identify Sea Cliff Coal & Lumber, but did identify Moretto Boat Shop (UST); T & D Towing (RCRAGEN); and O & D Auto Repair (ERNS) at 59 Sea Cliff Avenue. The Sanborn Maps showed gasoline tanks and coal storage associated with the Coal & Lumber yard. FirstSearch indicated that T & D Towing generated waste solvents, and O & D Auto was reported for spilling antifreeze and oil on the ground. No further details concerning these Sites were identified through this preliminary work.

The historical use of the properties along Sea Cliff Avenue in the Study Area has included various industrial and commercial entities. These uses have resulted in contamination of surface and subsurface soil, and groundwater. The most significant contamination currently investigated and reported on involves the PhotoCircuits and Pass & Seymour properties. Investigations for other properties along Sea Cliff Avenue were not identified. Though several contaminants are present at the PhotoCircuit and Pass & Seymour Sites, the contaminants driving remedial actions appear to be related to CVOCs. The presence of CVOCs in soil and groundwater at these sites, has resulted in a concern for contact with on-Site contaminated soils and a concern for contaminated vapor intrusion into on-Site buildings. Contaminated groundwater migration has reportedly caused/contributed to the closure of a downgradient well field on Carney Street. Remediation scenarios are being evaluated and the Sites are considered Active.

3

Limitations

The properties identified in this inventory are only considered potential Brownfields based on the premise of “known or suspected contamination” as defined herein and either their listing on a federal, state, or municipal environmental database or the fact that they are abandoned/ vacant commercial or industrial properties.

During the conduct of this inventory, VHB relied on information obtained sources as cited in this document. No attempts were made to confirm the accuracy of the information obtained, and comprehensive reviews of reports were not conducted. VHB did not review files at NYSDEC. Limited information was available from the municipality with regard to vacant/ abandoned buildings within the City, properties with environmental issues, or properties with tax liens. In some cases, there was a discrepancy between addresses listed in the FirstSearch™ Report, the assessor’s parcel information provided, and/ or the Sanborn Maps for this project. In these instances, VHB made attempts to correctly identify the properties based on other attributes such as owner, occupant, and information garnered from the municipality or through on-line research. However, there may be discrepancies associated with some locations.

The FirstSearch™ environmental database report utilized as the basis for the inventory was completed on September 14, 2011 and conducted under the Notice of Disclaimer/ Waiver of Liability included in the summary report.

The current environmental condition of potential Brownfields contained in this inventory is unknown. Additional file review and/ or investigation is needed for each property listed in the GIS database to determine whether an environmental condition actually exists.

Due to inherent limitations of available environmental databases, detailed municipal information, and time and budget stipulations of the contract, other potential Brownfields may exist in the study area that were not specifically identified by the investigative tasks conducted as part of this inventory.

Appendix A

FirstSearch™ Environmental Database Report

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|---------|---|--|----------|----------|----------|
| 34 | ERNS | 21 CEDAR SWAMP RD NRC-966882/MOBILE | 21 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 122 |
| 34 | SPILLS | VITTORIOS 1011229/CLOSED | 21 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 123 |
| 34 | SPILLS | VITTORIOS 1011232/CLOSED | 21 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 125 |
| 34 | SPILLS | VITTORIOS 1011228/CLOSED | 21 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 127 |
| 35 | SPILLS | ANGS S/S 9009792/CLOSED | 73 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 129 |
| 35 | UST | CONFIDENTIAL NAFM-2555/HISTORIC-NC FIRE MAR | 73 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 131 |
| 36 | SPILLS | COMMERCIAL PROPERTY 0750878/CLOSED | 63 SEA CLIFF AVE GLEN COVE NY 11542 | 0.02 NW | N/A | 133 |
| 37 | LUST | GLEN COVE SCHOOL DISTRICT 9207082/CLOSED | CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 134 |
| 37 | SPILLS | SOLOMAN SCHECTER SCHOOL 9810672/CLOSED | CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 135 |
| 37 | LUST | GLEN COVE SCHOOLS 8901128/CLOSED | CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 136 |
| 37 | SPILLS | GLEN COVE SCHOOL DISTRICT 9207082/CLOSED | CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 137 |
| 38 | UST | CONFIDENTIAL NAFM-4945/HISTORIC-NC FIRE MAR | 61 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 138 |
| 39 | SPILLS | CandJ SERVICE STATION 0025408/CLOSED | 297 GLEN COVE ST GLEN COVE NY 11542 | 0.03 NE | N/A | 139 |
| 39 | UST | CandJ SERVICE STATION, INC. PBS1-000027/UNREGULATED | 297 GLEN ST GLEN COVE NY 11542 | 0.03 NE | N/A | 141 |
| 39 | SPILLS | CandJ S/S 9203012/ACTIVE | 297 GLEN ST GLEN COVE NY 11542 | 0.03 NE | N/A | 143 |
| 39 | UST | CONFIDENTIAL NAFM-1962/HISTORIC-NC FIRE MAR | 297 GLEN ST GLEN COVE NY 11542 | 0.03 NE | N/A | 144 |
| 40 | SPILLS | VOLVO DEALERSHIP 0303627/CLOSED | 79 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.03 NE | N/A | 145 |
| 40 | UST | HASSEL AUTO WEST, INC. N-057699/HISTORIC-ACTIVE FACI | 79 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.03 NE | N/A | 146 |
| 41 | SPILLS | 9707664/CLOSED | 129 CEDAR SWAMP RD GLEN COVE NY 11545 | 0.03 NE | N/A | 147 |
| 42 | SPILLS | UNKNOWN 0551685/CLOSED | 4 2ND ST GLEN COVE NY 11542 | 0.04 NE | N/A | 148 |

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 125 **DIST/DIR:** 0.02 NE **ELEVATION:** 116 **MAP ID:** 37

NAME: GLEN COVE SCHOOL DISTRICT
ADDRESS: CEDAR SWAMP RD
GLEN COVE NY
NASSAU
CONTACT:
SOURCE: NY DEC

REV: 7/26/11
ID1: 9207082
ID2: 296509
STATUS: CLOSED
PHONE:

SITE INFORMATION

SPILL DATE: 9/18/1992
DATE REPORTED: 9/18/1992
CLOSED DATE: 12/28/1992

INSP DATE:
MATERIAL SPILLED: 2 FUEL OIL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

RESOURCE AFFECTED

| | | | |
|-----------------------|-------|-------------------------------|-------|
| SOIL: | False | AIR: | False |
| INDOOR AIR: | False | GROUNDWATER: | True |
| SURFACE WATER: | False | DRINKING WATER: | False |
| SEWER: | False | IMPERVIOUS SURFACE: | False |
| SUBWAY: | False | UNDERGROUND UTILITIES: | False |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: T/T/F
SPILL CONTACT:
TELEPHONE:

SPILLER: GLEN COVE SCHOOL DISTRICT

ADDRESS: CEDAR SWAMP ROAD
GLEN COVE, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 12/29/1992
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: 5K FAILED AT -.451, TANK SPECIALIST TESTER, THEY WILL PROBABLY UNCOVER TANK AND GO FOR A TANK HOLDING TEST, WILL ADVISE

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 61 **DIST/DIR:** 0.02 NE **ELEVATION:** 116 **MAP ID:** 37

| | |
|--------------------------------------|-----------------------|
| NAME: SOLOMAN SCHECTER SCHOOL | REV: 7/26/11 |
| ADDRESS: CEDAR SWAMP RD | ID1: 9810672 |
| GLEN COVE NY | ID2: 296513 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 11/23/1998
DATE REPORTED: 11/23/1998
CLOSED DATE: 10/20/2000

| | |
|--|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: TRANSFORMER OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: UNKNOWN
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: HMCIRRIT
SPILL CONTACT: MATRIN BRUSCELLA
TELEPHONE: (516) 391-6591

SPILLER: KEYSpan ENERGY
MARTIN BRUSCELLA
ADDRESS: 175 EAST OLD COUNTRY ROAD
HICKSVILLE, ZZ
TELEPHONE:

REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 10/20/2003
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: A TRANSFORMER IN A VAULT IN THE BASEMENT OF AN UNKNOWN SCHOOL AT THE ABOVE ADDRESS FAILED. KEYSpan IS ON SCENE TO INVESTIGATE. THEY ARE CURRENTLY DE ENERGIZING THE SYSTEM.

DEC REMARKS:
Prior to Sept, 2004 data translation this spill Lead_DEC Field was CIRRITO FLOOR CLEANED, DRAIN CLEANED OUT

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 126 **DIST/DIR:** 0.02 NE **ELEVATION:** 116 **MAP ID:** 37

| | |
|--------------------------------|-----------------------|
| NAME: GLEN COVE SCHOOLS | REV: 7/26/11 |
| ADDRESS: CEDAR SWAMP RD | ID1: 8901128 |
| GLEN COVE NY | ID2: 296508 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 5/4/1989 **DATE REPORTED:** 5/4/1989
CLOSED DATE: 7/5/1989 **INSP DATE:**

MATERIAL SPILLED: 2 FUEL OIL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
CALLER REMARKS: 5K GROSS LEAK. VOLINO and SONS TESTER. WILL DIG UP TANK COLES SCHOOL

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: AYLEUNG
SPILL CONTACT:
TELEPHONE:

SPILLER: GLEN COVE SCHOOLS

ADDRESS: DESORIS LANE
GLEN COVE, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 4/21/2006
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was LEUNG FD 07/04/89: TANK PASSED SYSTEM TEST AFTER VENT LINE WAS REPLACED and NEW FEED and RETURNS LINE INSTALLED. HIGH END OF TANK WAS BLEED BEFORE TEST. FILE HAS BEEN DESTROYED ACCORDING TO STATE ARCHIVE AND RECORD ADMINISTRATOR RETENTION/DISPOSAL PROCEDURES

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 43 **DIST/DIR:** 0.02 NE **ELEVATION:** 116 **MAP ID:** 37

| | |
|---|---|
| <p>NAME: GLEN COVE SCHOOL DISTRICT ADDRESS: CEDAR SWAMP RD GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 9207082 ID2: 296509 STATUS: CLOSED PHONE:</p> |
|---|---|

SITE INFORMATION

SPILL DATE: 9/18/1992
DATE REPORTED: 9/18/1992
CLOSED DATE: 12/28/1992

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: True |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: T/T/F
SPILL CONTACT:
TELEPHONE:

SPILLER: GLEN COVE SCHOOL DISTRICT

ADDRESS: CEDAR SWAMP ROAD
 GLEN COVE, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 12/29/1992
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: 5K FAILED AT -.451, TANK SPECIALIST TESTER, THEY WILL PROBABLY UNCOVER TANK AND GO FOR A TANK HOLDING TEST, WILL ADVISE

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**SUMMARY APPRAISAL OF 27 CEDAR
SWAMP ROAD GLEN COVE, NY**

SUMMARY APPRAISAL OF

**27 CEDAR SWAMP ROAD
GLEN COVE, NEW YORK**

PREPARED FOR

CITY OF GLEN COVE

PREPARED BY

**DAVID M. BRADLEY, MAI, SRA
DANIEL OH
SKY TSOU**

| | | |
|---|------------------------|---------------------------|
| ➤ | PROPERTY TYPE: | SCHOOL |
| ➤ | FCA FILE #: | 11-00242 |
| ➤ | AUTHORIZED BY: | MAUREEN BASDAVANOS |
| ➤ | VALUATION DATE: | FEBRUARY 24, 2011 |



FRANK CIOTTA & ASSOCIATES, INC.

REAL ESTATE APPRAISERS • CONSULTANTS



FRANK CIOTTA & ASSOCIATES, INC.

REAL ESTATE APPRAISERS • CONSULTANTS

31 March 2011

Maureen Basdavanos
Deputy Mayor
City of Glen Cove
9 Glen Street
Glen Cove, New York 11542

Re: 27 Cedar Swamp Road
Glen Cove, New York

Dear Ms. Basdavanos:

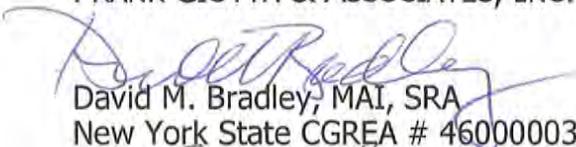
At your request, we have conducted an inspection and prepared a summary appraisal report on the 21,083 square foot school building located at the address referenced above. It is situated on a 3.974 acre site in the City of Glen Cove, in northern Nassau County, New York.

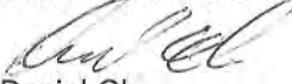
The appraisal has been prepared in conformance with the requirements of the Uniform Standards of Professional Appraisal Practice and is subject to the limiting conditions and certification described in this appraisal report.

Our conclusions of value are set forth in the attached summary report. It presents discussions that are based on more detailed information and analysis retained in our files. After consideration of the location, the nature of the improvements, market conditions and other factors, it is our opinion that the market value of the leased fee interest in the subject property, As Is, as of February 24, 2011, as if unaffected by contamination, is:

FIVE MILLION NINE HUNDRED THOUSAND DOLLARS [\$5,900,000]

Very truly yours,
FRANK CIOTTA & ASSOCIATES, INC.


David M. Bradley, MAI, SRA
New York State CGREA # 46000003007


Daniel Oh
NYS CGREA# NYS CGREA #47827

DMB:DO:ma



SUBJECT FRONT



SUBJECT FRONT



SUBJECT REAR



SUBJECT REAR



FRONT ENTRANCE/DRIVEWAY



FRONT PARKING AREA



**DRIVEWAY LEADING TO
REAR PARKING LOT**



**DRIVEWAY LEADING TO
REAR PARKING LOT**



REAR PARKING LOT



REAR FIELD



GYMNASIUM



GYMNASIUM



GYMNASIUM



GYMNASIUM - BATHROOM



GYMNASIUM - LOCKER



GYMNASIUM - BATHROOM



MECHANICALS/UTILITY AREA



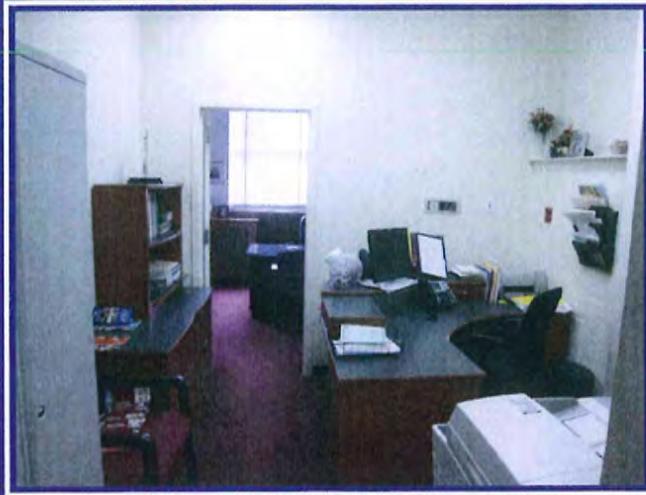
MECHANICALS/UTILITY AREA



MECHANICALS/UTILITY AREA



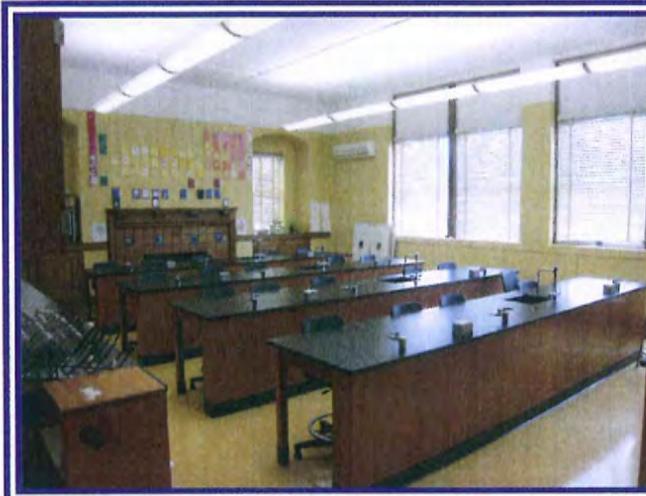
MECHANICALS/UTILITY AREA



PRINCIPAL'S OFFICE



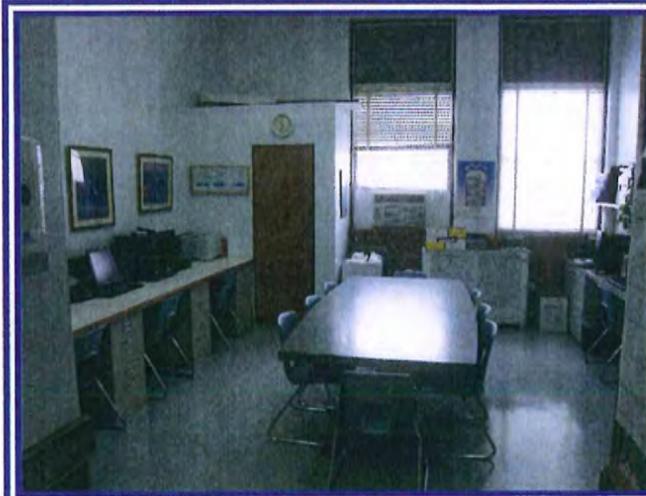
PRINCIPAL'S OFFICE



SCIENCE CLASSROOM



SCIENCE CLASSROOM



FACULTY LOUNGE



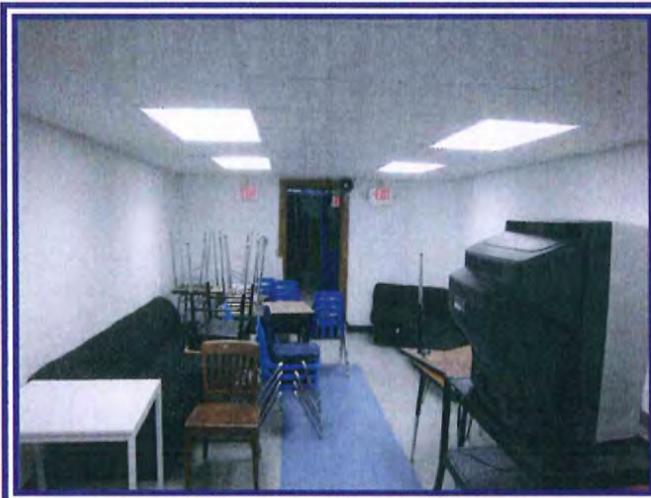
FACULTY LOUNGE



MAIN ENTRANCE



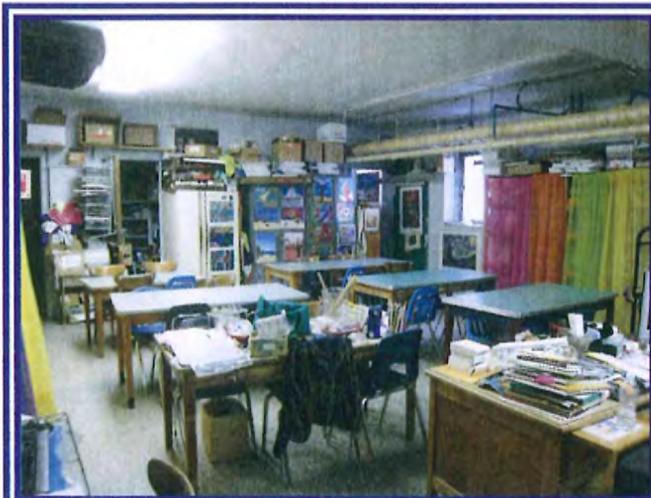
**OLD GYMNASIUM
CONVERTED TO OFFICES**



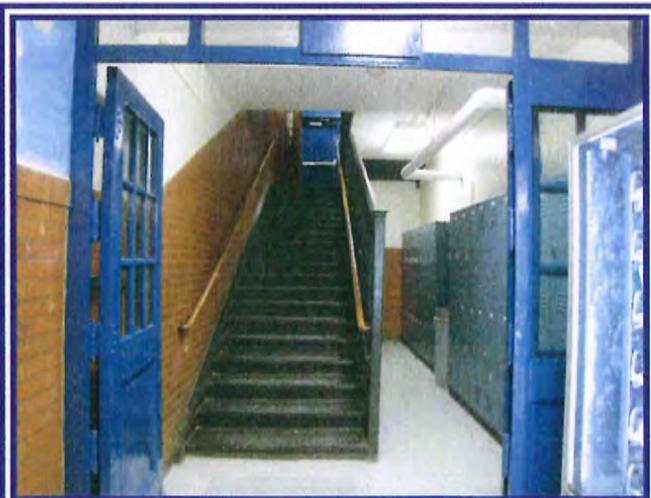
LOUNGE/STORAGE



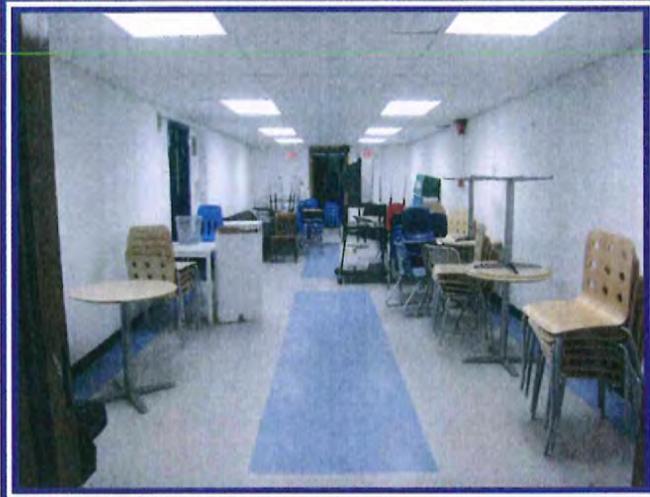
COMPUTER CENTER



ART ROOM



STAIRCASE/HALLWAY



LOUNGE/STORAGE



CAFETERIA



CAFETERIA



HALLWAY



STAIRCASE/HALLWAY



CLASSROOM



CLASSROOM



CLASSROOM



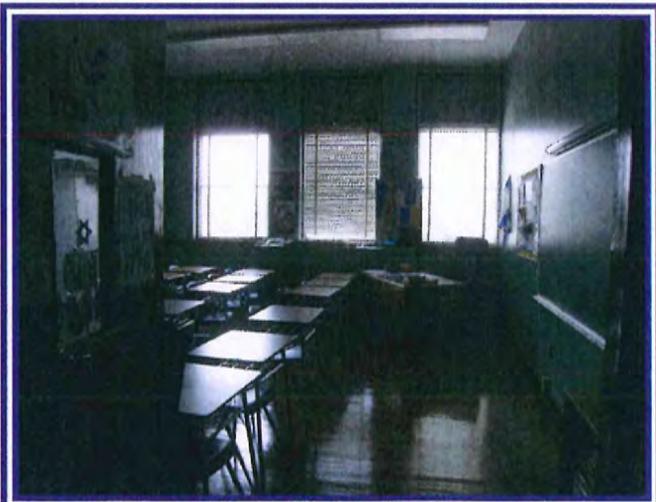
BATHROOM



BATHROOM



CLASSROOM



CLASSROOM



CLASSROOM



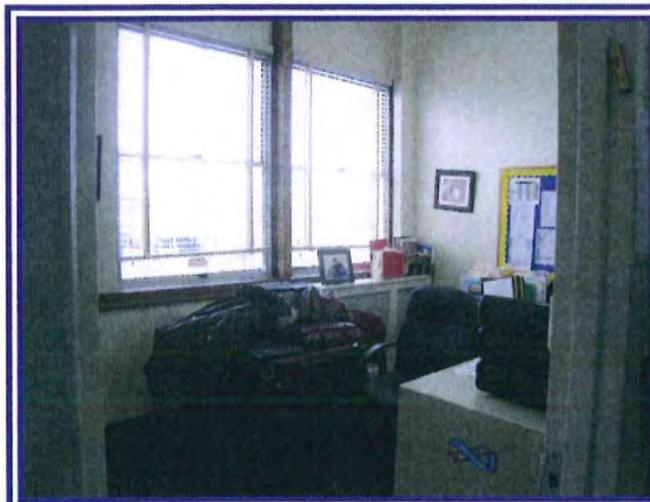
CLASSROOM



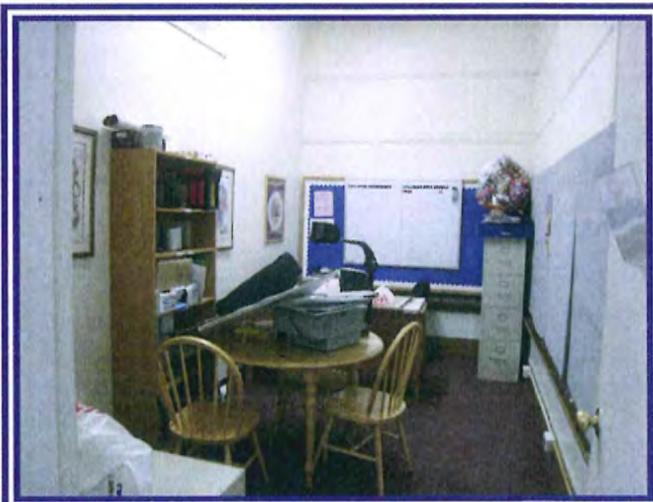
HALLWAY



MAIN OFFICE



OFFICE



OFFICE



STREET SCENE FACING SOUTH



STREET SCENE FACING NORTH

SUMMARY OF SALIENT FACTS AND CONCLUSIONS

| | |
|-----------------------------------|--|
| LOCATION: | 27 Cedar Swamp Road Glen Cove, New York |
| LEGAL IDENTIFICATION: | Section: 22; Block: A; Lots: 64, 65, 164, 207, 403, 709, 809 Block: 1; Lots: 54, 55, 56, 154 |
| ZONING: | 2.599 acres fronting on Cedar Swamp Road in a B-2 Peripheral Commercial District; 1.375 acres in R-4 Residential District |
| PLOT SIZE/AREA: | 3.974 acres |
| IMPROVEMENT: | <u>School</u> : One and two-story and full cellar brick building circa 1930 Gross Floor Area: 21,083 square feet. Divided into foyer, auditorium, converted to common area and offices; classrooms, student lavatories, teachers lounge on 1 st floor; classrooms, two labs, student lavatories on 2 nd floor; lunchroom, computer room, lockers, art room, office, boiler room in cellar <u>Gymnasium</u> : One-story and mezzanine metal building circa 2004 Gross Floor Area: 8,730 square feet on ground floor; 1,400 square feet on mezzanine level Divided into foyer, two locker rooms, gymnasium on 1 st floor; offices and storage on mezzanine level |
| OCCUPANCY: | Tenant occupied |
| HIGHEST AND BEST USE: | With continuation of present use as stated herein |
| FINAL VALUATION: | \$5,900,000 (As Is) |
| PROPERTY RIGHTS APPRAISED: | Fee Simple |
| DATE OF VALUATION: | February 24, 2011 (As Is) |
| DATE OF INSPECTION: | February 24, 2011 |

APPRAISAL ASSIGNMENT

PURPOSE AND INTENDED USE OF THE REPORT: The purpose of this summary appraisal is to estimate the market value of the school building located at 27 CEDAR SWAMP ROAD, GLEN COVE, NEW YORK.

It is intended to provide documentation needed by the City of Glen Cove for property management and disposition. This report is prepared for and our professional fee billed to the City. It is intended only for their use and may not be distributed by, or relied upon by, others without our permission.

EFFECTIVE DATE OF THE REPORT: Our valuation conclusions are as of the date of inspection. David M. Bradley and Daniel Oh made an interior and exterior inspection of the premises on February 24, 2011

DEFINITION – MARKET VALUE: The following definition of market value is taken from Appraisal Institute's The Dictionary of Real Estate Appraisal, Fourth Edition, 2002:

The most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller, each acting prudently, knowledgeably and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

- a. buyer and seller are typically motivated;
- b. both parties are well informed or well advised and each acting in what he considers his own best interest;
- c. a reasonable time is allowed for exposure in the open market;
- d. payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and,
- e. the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

DESCRIPTION AND LOCATION OF REAL ESTATE APPRAISED: The subject property is a tenant occupied 3.974 acre campus improved with a 21,083 square foot two story school and a one story and mezzanine 8,730 square foot gymnasium. It is situated on the east side of Cedar Swamp Road, located in the City of Glen Cove in northern Nassau County, New York.

LIMITING CONDITIONS: This appraisal report is subject to the following limiting conditions:

1. No responsibility is assumed for legal matters. The legal description furnished is assumed to be correct, and the title is assumed to be good and marketable, free of liens or encroachments, except as may be noted in the report.
2. It is assumed that there are no hidden or unapparent conditions of the property, subsoil, or structures, which would render it more or less valuable. No responsibility is assumed for such conditions or for the engineering, which may be required to discover them.
3. Unless otherwise stated in the report, the existence of potentially hazardous material that may or may not be present on the property was not observed by the appraiser; specifically asbestos, urea-formaldehyde foam insulation, soil contamination, lead paint, or other toxic wastes. The appraiser, however, is not qualified to detect such substances. Thus, the value estimate reported herein reflects the total value of the property, as if unaffected by any contamination;
4. Unless stated otherwise in the report, the subject property is appraised free and clear of any encumbrances.
5. The valuation is based upon the stated uses and does not necessarily apply to any other use.
6. The value of the land and the value of the improvements, if any, may not be separated or considered independently. They are related to one another.
7. This appraisal is prepared for a specific client and purpose. It may not be used in advertising, news or sales media without the written consent of the appraiser.
8. The appraiser has been employed for the preparation of this report only. Specific arrangements must be made for additional reports, conferences, court appearances or testimony.
9. The information furnished by others is believed to be reliable. However, no warranty is given for its accuracy. Any income forecasts and operating estimates discussed in the report are based upon the subject's past history and market estimates. Should full disclosure of the subject's current income and expenses prove these estimates inaccurate, it may be necessary for this appraisal to be adjusted.
10. We have not made a specific compliance survey and analysis of this property to determine whether or not it is in conformity with the various detailed requirements of the Americans with Disabilities Act (ADA), which became effective January 26, 1992. It is possible that a compliance survey of the property could reveal that the property is not in compliance with one or more of the requirements of the act. If so, this fact could have a negative effect upon the value of the property.

LIMITING CONDITIONS: [CONTINUED]

11. This is a Summary Appraisal Report that is intended to comply with the reporting requirements set forth under Standards Rule 2-2(b) of the Uniform Standards of Professional Appraisal Practice. As such it presents only summary discussions of the data, reasoning and analysis that were used in the appraisal process to develop the appraiser's opinion of value. Supporting documentation is retained in the appraiser's files. The depth of discussion in this report is specific to the needs of the client and for the intended use stated herein. The appraiser is not responsible for the unauthorized use of the report.

INTEREST VALUED: Although the subject is tenant-occupied at this time, the City wishes to have the valuation predicated on turnover. Hence, the property rights appraised are those of the Fee Simple Estate defined in the Appraisal Institute's Dictionary of Real Estate Appraisal, Fourth Edition, 2002 as:

| | |
|------------------------------|---|
| FEE SIMPLE ESTATE | Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat. |
|------------------------------|---|

LEGAL IDENTIFICATION & SALES HISTORY: The subject is identified as:

| | | |
|-----------------|--|---------------------|
| Section: | 22 | |
| Block: | A | 1 |
| Lots: | 64, 65, 164, 207, 403, 709, and 809 | 54, 55, 56, and 154 |

We are not aware of any easements or encumbrances that would have a negative impact on the value of the subject property. Our research indicates that no transfer of the subject has taken place within the last three years.

APPRAISAL DEVELOPMENT AND REPORTING PROCESS: In preparing this appraisal the appraiser:

- ▶ inspected the subject site and improvements to evaluate its physical characteristics, access, topography, etc.;
- ▶ analyzed the neighborhood on both an area and local level;
- ▶ researched the assessor's records to determine the subject's zoning, land uses, any transfers of the property, ownership and recording dates;
- ▶ analyzed the highest and best use, taking into account its physical, legal, financial and most productive uses;
- ▶ estimated the contribution of the improvements using the Replacement Cost Concept; cost data has been obtained from the Marshall Valuation Service adjusted to this location and date;
- ▶ verified and inspected all comparable sales utilizing a sales reporting service and public deeds and records;
- ▶ gathered information on all comparable sales, rents and operating expenses, construction costs, accrued depreciation and capitalization and yield rates;
- ▶ prepared a **Summary Appraisal Report** (see Limiting Conditions, #11) in conformance with the requirements of USPAP; no departures from Standards 1 were invoked

VALUATION PROCESS

Professional appraisers have developed a systematic process using three classical approaches to estimate value - the Cost Approach, Sales Comparison Approach, and the Income Approach. They are all considered in every appraisal, but their use depends on the availability of supporting data and the nature of the appraisal problem

THE COST APPROACH – Sales of similar vacant parcels are first analyzed, compared and related to the land appraised via the Sales Comparison. Land value is estimated as if the site were vacant and available for its highest and best use. The estimated reproduction costs of the improvements are typically estimated utilizing a cost service such as Marshall Swift's Valuation Guide, which is adjusted to the date of the appraisal. For older buildings the results must then be adjusted for the impact of physical deterioration and functional or economic obsolescence which are then added to land value to produce a final estimate. This last step is the source of the greatest weakness in this approach since depreciation estimates are prone to be more subjective and often difficult to justify. As a result, this approach is most relied upon where the property has been recently constructed or is a special use improvement.

VALUATION PROCESS [continued]

THE SALES COMPARISON APPROACH In this approach the Substitutes are similar properties recently sold or offered for sale in the open market. After locating such sales, they are compared to the subject and differences in characteristics such as location, condition, marketability, utility and so on, are identified and adjusted for; again, based on the concept that an informed purchaser will pay no more for a property than for that of an existing property with similar features. Since this approach is based on historical data (preferably recent history), prevailing conditions are analyzed and applied to each sale to ensure the validity of this approach. This approach is most useful for types of real estate in which the critical characteristics are few and more readily identified; e.g. single family homes and single occupant commercial or industrial buildings, vacant land.

THE INCOME CAPITALIZATION APPROACH – This approach is based on the observed relationship between value and the "stream of benefits" by dividing the income by an appropriate capitalization rate, a rate which results from the competition for capital from alternative investments with similar risks. Income is translated to value using either of two basic techniques, the Ratio Method (Direct Capitalization) applied when property income is expected to be stable or increasing at a steady rate, or Discounted Cash Flow Analysis (Yield Capitalization) applied when income is expected to vary, for example, as leases expire and are renewed at new rents. This approach is often selected in the valuation of income producing properties, since it closely reflects the investment thinking of prudent and knowledgeable purchasers.

FINAL PROCEDURE: The cost approach was considered, but due to the age of the subject, the depreciation estimate is substantial reducing the reliability of this approach. School buildings are leased from time-to-time, but there is insufficient data to support a reliable conclusion. Thus, our final estimate of market value will rely on the indications of the Sales Comparison Approach with support provided by the Cost Approach.

LOCATION & MARKET DESCRIPTION

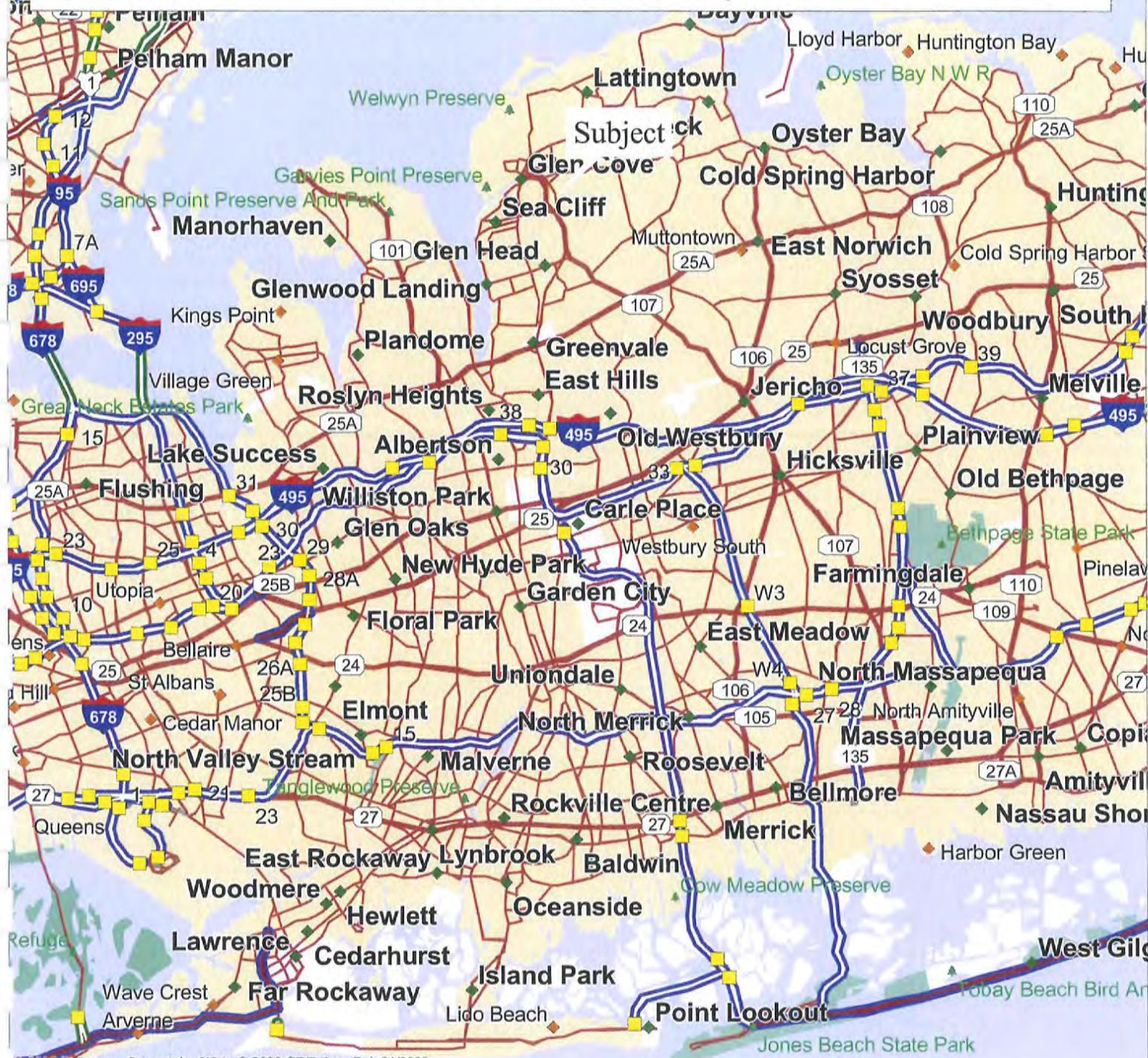
REGIONAL DATA – LONG ISLAND: Long Island lies on the Atlantic seaboard of the United States, at New York City, and extends some 120 miles to the east. It is no more than 30 miles in width, north to south. The total area is estimated at 1,197.9 square miles. To the north, between Long Island and Connecticut, is Long Island Sound; to the south is the Atlantic Ocean; to the east is Block Island Sound. It is divided into four counties. The two westernmost, Kings County and Queens County, are incorporated in the City of New York. Nassau County covers the mid-portion of the island and Suffolk County occupies the eastern half. At the western end of Long Island are a number of bridges and tunnels that provide access to the mainland and Manhattan.

POPULATION AND INCOME: After World War II over a million people migrated eastward from New York City. Nassau became the fastest growing county in the nation, transformed into a residential suburban community improved primarily with detached, one-family homes. In recent years, Nassau County's population has stabilized and is growing only gradually. According to the U.S. Census Bureau's 2009 estimate, the number of residents was 1,357,429, making Nassau one of the most populous suburban counties in the United States. Suffolk County is growing slowly; the U.S. Census Bureau estimates a population of 1,518,475, an annual growth of 7% over the decade. The median family income on Long Island is well above the national average. The statistics for both counties, as estimated by LIPA as of January 2009, are as follows:

| POPULATION | DENSITY | # H/HOLDS | AVG. SIZE | MED. FAM. INC. |
|------------|---------|-----------|-----------|----------------|
| 2,781,159 | 2,322 | 950,446 | 2.96 | \$101,309 |

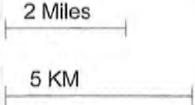
OUTLOOK: Long Island continues to offer location advantages. It is in close proximity to the urban markets of New York City and its extensive shoreline offers recreational and scenic amenities important to residential use and to tourism. The disadvantages of this region lie in its geography. The island's configuration creates congestion problems, which leads to a corollary increase in costs of transportation and delivery of services. Long Island may be one of the highest income areas in the United States, but it is also one of the most expensive in housing, cost of utilities and taxes.

Nassau County



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Mag 11.00
 Mon Apr 04 16:21 2011
 Scale 1:200,000 (at center)



- | | |
|-----------------------------|-------------------|
| Local Road | Small Town |
| Major Connector | Park/Reservation |
| State Route | Locale |
| Interstate/Limited Access | State Boundary |
| Interstate/Unlimited Access | Population Center |
| Toll Highway | Lake |
| US Highway | Land |
| Exit | Water |

LOCATION ANALYSIS [continued]

NASSAU COUNTY: With an area of 298 square miles, Nassau County occupies the mid-section of Long Island. It is bounded on the west by the Borough of Queens, on the east by Suffolk County, on the north by the Long Island Sound and on the south by the Atlantic Ocean. The north shore on Long Island Sound is highly irregular with many peninsulas jutting into the Sound. The terrain is rolling along the shore, sloping down gradually to a level plain in the middle of the county, then to a low-lying sandy and marshy shore along the bays of the Atlantic Ocean. Barrier beaches, some of which are parks, notably Jones Beach, separate the south shore from the ocean.

There are three townships: the Town of Oyster Bay, which occupies its eastern third, and the Towns of Hempstead and North Hempstead, which comprise the remainder; and two cities: Long Beach and Glen Cove. There are 66 Incorporated Villages within these towns.

LOCAL HIGHWAYS: The Long Island Expressway traverses the center of Nassau County, east to west, together with the Southern State and Northern State Parkways. Each is connected in Nassau County by several north/south highways, including the Cross Island Parkway, the Meadowbrook and Wantagh State Parkways, and the Seaford-Oyster Bay Expressway.

POPULATION: According to LIPA, Nassau is one of the most populous suburban counties in the U.S. Now near saturation, its population has stabilized. Its statistics, as of January 2009, are as follows:

| POPULATION | DENSITY | # H/HOLDS | AVG. SIZE | MED. FAM. INC. |
|------------|---------|-----------|-----------|----------------|
| 1,360,126 | 4,564 | 453,068 | 2.95 | \$106,412 |

COMMUNITY ANALYSIS: Located on the north shore of Nassau County, the City of Glen Cove is on the eastern shore of Hempstead Harbor, a body of water extending south of Long Island Sound. It is bounded on the north by Long Island Sound and on the east by the Incorporated Villages of Lattintown and Matinecock, and the unincorporated community of Locust Valley. It has a total area of roughly seven square miles, with an estimated population, as of January 1, 2009, of 27,654. It is administered under a city form of government.

The City of Glen Cove



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 Scale 1:43,750 (at center)
 5000 Feet
 1000 Meters

- | | |
|---|--|
|  Local Road |  Geographic Feature |
|  Major Connector |  Hospital |
|  State Route |  Park/Reservation |
|  Trail |  Locale |
|  Interstate/Limited Access |  Cemetery |
|  Railroad |  Population Center |
|  Point of Interest |  Lake |
|  Small Town |  Land |

COMMUNITY ANALYSIS: [continued] The primary access route is Glen Cove Road and its extension, the Glen Cove Arterial Highway, both four-lane, divided highways. These connect with Northern Boulevard, five miles south, and the Long Island Expressway, seven miles south. The Oyster Bay branch of the LIRR has two stations in Glen Cove.

SUBJECT NEIGHBORHOOD: The subject is located in the periphery of the Glen Cove local business district, which centers on Glen Street and School Street, and extends to the north and east along Brewster Street and Forest Avenue; and to the south along Cedar Swamp Road which is a continuation of Glen Street. Retail activity declined sharply in the 1950's; but in the 1980's the downtown area emerged as an office center with attendant retail services, such as Staples office supplies. Glen Cove has also attracted several assisted living quarters for senior citizens: Senior Quarters on School Street, the Mayfair on Glen Street, and the Sunrise on Forest Avenue.

High traffic volume along Forest Avenue/Brewster Street and Glen Street has attracted national franchises, such as Blockbuster Video, Taco Bell, Burger King, Wendy's, CVS, Walgreens, McDonald's and Dunkin' Donuts.

MARKET CONDITIONS – BEIGE BOOK, MARCH 2, 2011 – SECOND DISTRICT (NEW YORK): The Second District's economy appears to have expanded at a modest pace since the previous report. Business contacts in most industries report stable to improving conditions and express widespread optimism about the near-term outlook. Labor market conditions have been mixed but generally steady, on balance: There has been little or no net hiring in the financial and manufacturing sectors, but a slight pickup in some other sectors. Retail sales are characterized as relatively strong in early 2011, despite inclement weather, and consumer confidence has continued to improve. However, tourism activity has shown signs of slowing by more than the seasonal norm in early 2011.

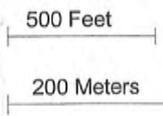
Commercial real estate markets remain fairly slack: The market for office space has been generally stable, while the market for industrial space has softened somewhat. Housing markets have been mostly stable, with scattered signs of improvement. Finally, bankers report strengthening demand for commercial loans and mortgages but weaker demand for home mortgage loans; they also indicate little change in credit standards and steady to lower delinquency rates.

Subject Neighborhood



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-  Local Road
-  Major Connector
-  State Route
-  Trail
-  Railroad
-  Population Center
-  Land
-  River/Canal

CONSTRUCTION AND REAL ESTATE: Housing markets across the District have been generally stable since the previous report, with pockets of mild improvement. An authority on New Jersey's housing industry reports that the market has been performing slightly better in early 2011, as the negative aftermath of last year's homebuyer tax credit appears to have worn off. While there is still a sizable supply of existing homes on the market--including a large number of distressed properties--the inventory of available new homes in northern New Jersey is reported to be very low. The residential real estate market in metropolitan Buffalo also appears to have recovered to more normal levels of activity after several months of sluggish performance.

There are signs of gradual improvement in Manhattan's apartment rental market: Rents continued to rise at a moderate pace, the inventory of available units is described as tight, and fewer landlords are reported to be offering concessions than last year. Conditions in Manhattan's co-op and condo market, on the other hand, appear to be holding steady: A major appraisal firm reports that prices are holding steady across the board and notes that, while contract activity fell noticeably in January, harsh weather is seen as the culprit, and transaction activity appears to be rebounding in February.

Commercial real estate markets generally remain slack--the market for office space has been mixed but mostly stable in recent weeks, while the industrial market has shown further signs of softening. In New York City, office leasing activity has remained fairly brisk, but this has been more than offset by additional space coming onto the market; as a result, vacancy rates edged up in January. Asking rents on Class A properties did edge up in January but were still down nearly 10 percent from a year earlier. Industrial markets showed further signs of softening across much of the District. Long Island's industrial vacancy rate rose to its highest level in more than a decade, and rents drifted down. In northern New Jersey, industrial vacancy rates held steady, but rents slipped to multi-year lows. Across upstate New York and in Fairfield County, vacancy rates and rents were little changed.

MARKET CONDITIONS: Jones Lang LaSalle announced the Long Island office market continued to experience a slight softening throughout 2010. With numerous leasing opportunities available, space users showed heavy interest in top-quality spaces throughout Long Island, helping to fuel a rise in availabilities among Class B properties.

MARKET CONDITIONS: [continued] Overall, Long Island's office market saw a slight increase in vacancy rates in the final quarter of the year, with a large drop in Class A vacancy rates offset by a significant boost in Class B vacancy rates. Overall vacancy rates increased slightly to 18.7 percent in the fourth quarter of 2010, a rise of 2.7 percent from overall vacancy rates of 18.2 percent in the fourth quarter of 2009. Class A vacancy rates dropped to 16.4 percent this quarter, a decrease of 13.7 percent from Class A vacancy rates of 19.0 percent the previous quarter. Class B vacancy rates rose to 20.7 percent during the same time period, an increase of 17.6 percent from Class B vacancy rates of 17.6 percent at year-end 2009.

Long Island eked out an increase in overall asking rental rates in the final quarter of the year. Overall rents grew to \$25.59 per square foot in the fourth quarter of 2010, an increase of 2.3 percent from overall rates of \$25.01 per square foot in the fourth quarter of 2009. Class A rents dropped to \$27.47 per square foot this quarter, a decrease of 3.1 percent from Class A rents of \$28.34 per square foot the previous quarter. Class B rents throughout Long Island increased to \$24.16 per square foot during the same time period, an increase of 8.3 percent from Class B rates of \$22.31 per square foot at year-end 2009.

Nassau County presented a mixed picture at year-end 2010 as the submarket saw a significant decrease in vacancy rates for Class A office space but recorded a large increase in vacancy rates for Class B space. The county's overall vacancy rate fell to 18.1 percent in the fourth quarter of 2010, a decrease of less than one percent from the overall vacancy rate of 18.2 percent in the fourth quarter of 2009. The submarket's Class A vacancy rate dropped to 16.6 percent this quarter, a decrease of 16.2 percent from the Class A vacancy rate of 19.8 percent the previous quarter. Nassau County's Class B vacancy rates increased to 19.4 percent during the same time period, rising 15.5 percent from Class B vacancy rates of 16.8 percent at year-end 2009.

Despite the decrease in vacancy rates for Nassau County's high-end buildings, average asking rental rates for Class A buildings dropped slightly to \$28.32 per square foot in the fourth quarter of 2010, falling 1.2 percent from Class A rents of \$28.67 per square foot one year earlier. The submarket's Class B buildings saw rates rise to \$26.06 per square foot this quarter, a 6.8 percent increase from Class B rents of \$24.40 per square foot the previous quarter.

LOCAL MARKET CONDITIONS: The Long Island retail market ended the third quarter of 2010 with a slightly decreased vacancy rate of 4.5 percent, compared to a vacancy rate of 4.6 percent at the end of the second quarter, 4.7 percent at the end of the first quarter, and 4.6 percent at the end of the fourth quarter 2009. The average quoted rental rate for available retail space was \$26.70 per square foot per year at the end of the third quarter of 2010 in the Long Island market area. This is a 1.1 percent increase from \$26.40 in the second quarter of 2010, but a 1.5 percent decrease from the third quarter of 2009.

On the North Shore of Nassau County, there were 426 residential sales in the fourth quarter, 21.8 percent below the 545 sales in the prior quarter. The decline in the number of sales is attributed to the expiration of the federal tax credit for homebuyers in April 2010. Despite the decline in the number of sales, the amount of time it took to sell a property increased to 127 days, from 125 days in the prior year quarter. The median sales price of a North Shore property was \$720,000 in the fourth quarter, down 9.4 percent from \$795,000 in the third quarter of the year. Average sales price saw the same decrease even though housing prices on individual properties were not rising. Average sales price was \$917,449, a 16.8 percent increase from \$785,287 in the prior year quarter.

PROPERTY DESCRIPTION – SITE

| | | | | |
|---|--|-------------|-----------|---------------|
| Site, Shape, Frontage, Area & Topography | <p>The site is irregular with 208.75' frontage on the east side of Cedar Swamp Road, to a depth of 615.96' on the southerly property line. The northerly property line runs east and north in four segments. The easterly lot line is 390.02'. The total area is given as 3.974 acres in the property survey. This area includes an area roughly 72' x 135' north of a chain link fence dividing the campus from a paved westerly extension of Roosevelt Street (a/k/a Kelly Street) on the north side of the campus. This data has been taken from the property survey; a reduced size copy is shown on the following page. The site rises to the east from the grade of Cedar Swamp Road to the grade of Washington Street. The sites for the surrounding dwellings all appear to be somewhat higher than the subject. The playing field at the rear of the property is generally level, and six feet or so below the home sites mentioned in a sort of bowl opened to the two buildings – the school facing Cedar Swamp Road and the Gymnasium.</p> | | | |
| Flood Zone: | <p>The subject site is not in a flood hazard area and is identified on Flood Hazard Boundary Map #36059C0126G revised Sept. 11, 2009.</p> | | | |
| Zoning: | <p>Zoning is under the jurisdiction of the City of Glen Cove. The 2.599 acre portion of the site fronting on Cedar Swamp Road is located in a B-2 Peripheral Commercial District, designed to accommodate a wide range of retail and commercial uses. The rear 1.375 acre is in the R-4 residential district restricted to one- and two-family dwellings. Schools, houses or worship, and similar uses are permitted in residential districts, subject to special permits issued by the City Board of Trustees. The required lot area for dwellings in the R-4 district is 6,500 square feet for a one-family home and 7,500 square feet for a two-family home. The city ordinance requires school sites to be at least five acres. The subject appears to be a legal pre-existing non-conforming use. The City issued the necessary permits for the gymnasium, constructed in 2004.</p> | | | |
| SEC. BLOCK | 22, A | 22, A | 22, A | 22, 1 |
| LOTS | 64, 65, 164, 709, 809 | 207 | 403 | 54-56 and 154 |
| FULL VALUE | \$473,440 | \$8,988,300 | \$479,300 | \$414,400 |
| ASSESSMENT | \$4,734 | \$89,883 | \$4,793 | \$4,141 |
| R.E. TAXES | The subject is City Property and therefore tax exempt | | | |

SKETCH/AREA TABLE ADDENDUM

Property Address E/O Cedar Swamp Road

City Glen Cove

County Kings

State New York

Zip

Borrower

Lender/Client City of Glen Cove

Appraiser Name David M. Bradley, MAI, CRE

Appr Address BRADLEY & COMPANY, APPRAISERS, INC



Subject Site

Beginning at a point of the Tract described by Metes and Bounds as follows:

THENCE South 84° 30' 0" East, a distance of 135.15 Feet;

THENCE South 4° 0' 0" West, a distance of 390.02 Feet;

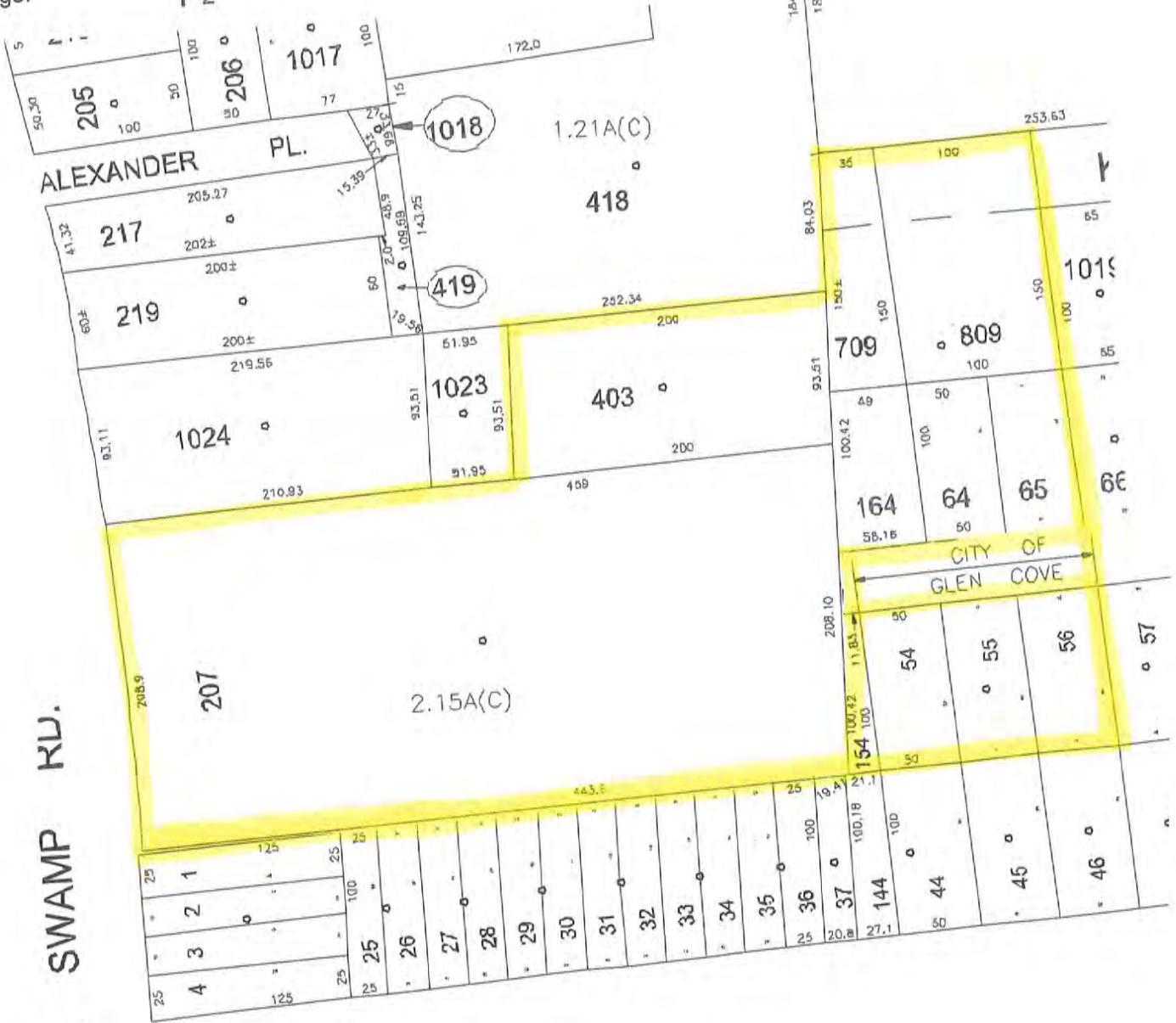
THENCE North 84° 30' 0" West, a distance of 172.00 Feet;

THENCE North 9° 24' 32" East, a distance of 390.80 Feet to point of beginning;

Said tract containing 1.37 acres (59876.79 sf) of land, more or less.

Perimeter = 1087.97 Feet

No significant error of closure.



CEDAR SWAMP RD.

FIRST

PROPERTY DESCRIPTION – IMPROVEMENTS

| | |
|------------------------------|---|
| School Building: | The school is a one and two-story brick building with a partly finished full cellar, erected circa 1930. There is a gross floor area of 13,217 square feet on the ground floor and 7,867 square feet on the second floor for a total above grade area of 21,083 square feet. The cellar is estimated to be 75% finished for an additional finished area of about 5,900 square feet. |
| Exterior Construction | <p>Foundation: Poured concrete</p> <p>Windows: Metal frame, double hung</p> <p>Frame: Masonry, steel, and wood</p> <p>Walls: Brick</p> <p>Roof: Slate</p> |

The school layout is as follows:

| | |
|----------------------|--|
| First Floor: | Main foyer, auditorium (converted to common area and offices), classrooms, two student lavatories, teachers lounge |
| Second Floor: | Classrooms, including two science labs, two student lavatories |
| Cellar: | Student lunchroom, computer room, student lockers, art room, maintenance office, boiler room |

The interior finish includes:

| | |
|------------------|---|
| Walls: | Masonry, sheetrock covering |
| Floors: | Terrazzo, resilient tile, hardwood, carpet |
| Ceilings: | Plaster, acoustic tile, sheetrock |
| Baths: | Tile floor and wainscoting to 6'6" |
| Other: | Original ceiling height is 12', dropped ceilings about 8' |

The school building is equipped as follows:

| | |
|-------------------|--|
| Utilities: | Heat is via a gas-fired steam system with peripheral radiators. Offices use window air-conditioning units; electrical service capacity estimated at 400 amps |
| Bathrooms: | Standard fixtures |
| Parking: | On-site |

SKETCH/AREA TABLE ADDENDUM

Property Address **27 Cedar Swamp Road**

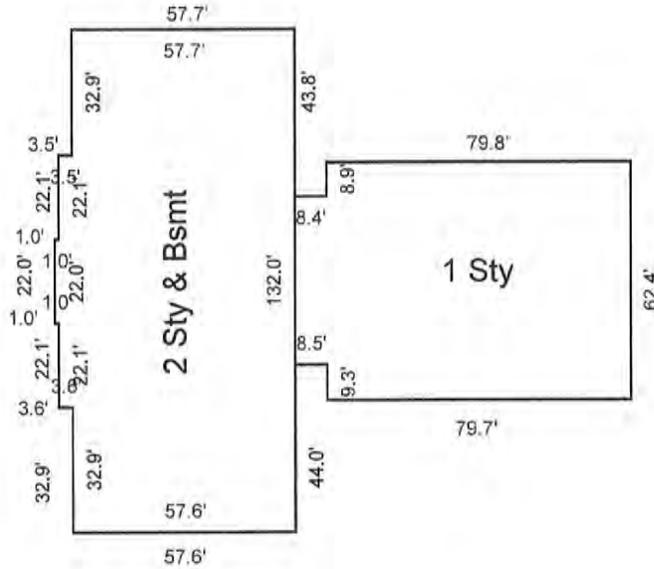
City **Glen Cove** County **Nassau** State **New York** Zip

borrower

ender/Client **City of Glen Cove**

Appraiser Name **David M. Bradley, MAI, CRE**

Appr Address **BRADLEY & COMPANY, APPRAISERS, INC**



AREA CALCULATIONS SUMMARY

| Code | Description | Net Size | Net Totals |
|--------------------------|--------------|------------------|--------------|
| GBA1 | First Floor | 13216.7 | 13216.7 |
| GBA2 | Second Floor | 7866.8 | 7866.8 |
| Net BUILDING Area | | (Rounded) | 21083 |

BUILDING AREA BREAKDOWN

| Breakdown | | Subtotals |
|---------------------|-------|------------------|
| First Floor | | |
| 1.0 x | 22.0 | 22.0 |
| 62.4 x | 79.7 | 4973.3 |
| 0.1 x | 53.1 | 5.3 |
| 8.4 x | 44.2 | 371.3 |
| 61.2 x | 66.2 | 4051.4 |
| 32.9 x | 57.6 | 1895.0 |
| 32.9 x | 57.7 | 1898.3 |
| Second Floor | | |
| 1.0 x | 22.0 | 22.0 |
| 57.6 x | 132.0 | 7603.2 |
| 3.6 x | 66.2 | 238.3 |
| 0.1 x | 32.9 | 3.3 |
| 11 Items | | (Rounded) |
| | | 21083 |

SCHOOL BUILDING [continued]

| | |
|-------------------------------------|--|
| Condition: | The school building is in good physical condition and has been well maintained. |
| Depreciation / Obsolescence: | This includes physical deterioration and/or items of deferred maintenance resulting from ordinary wear and tear; functional obsolescence resulting from deficiencies in the design, layout or construction; economic obsolescence resulting from a loss in value due to external factors arising off the property. |
| Depreciation | No major items of deferred maintenance were noted. The layout, building materials and systems no longer conform to market standards for school buildings, this results in functional depreciation. |
| Remaining Economic Life: | The remaining economic life of the school building is estimated at 20 years. |

GYMNASIUM

| | |
|------------------------------|---|
| Gymnasium | This is a one-story and mezzanine metal building, erected circa 2004. The ground floor has an area of 8,730 square feet. The mezzanine area is estimated at 1,400 square feet |
| Exterior Construction | Foundation: Poured concrete slab at grade Frame: Steel frame, full span Walls: Concrete block knee walls, steel above Roof: Steel |

The interior layout is as follows:

| | |
|---------------------|--|
| First Floor: | Entry foyer, two locker rooms, gymnasium |
| Mezzanine: | Offices, storage |

The interior finish includes:

| | |
|------------------|---|
| Walls: | Masonry, sheetrock partitions |
| Floors: | Terrazzo, resilient tile, hardwood, carpet |
| Ceilings: | Open in gym, steel deck is insulated, acoustic tile elsewhere |
| Baths: | Tile floor and wainscoting |

GYMNASIUM [continued]

This building is equipped as follows:

| | |
|-------------------|---|
| Utilities: | Two central HVAC units, heating is gas-fired; electrical service capacity estimated at 400 amps |
| Baths: | Standard fixtures |
| Parking: | On-site |

| | |
|-------------------------------------|---|
| Condition: | The gymnasium is in good physical condition and has been well maintained. |
| Depreciation | No major items of deferred maintenance were noted. No functional or economic obsolescence is noted. |
| Remaining Economic Life: | The gymnasium has an estimated 20-year remaining economic life. |
| Occupancy of Both Buildings: | Currently leased to Solomon Schechter Day School of Nassau County. Value predicated on turnover. |

HIGHEST AND BEST USE - The definition of highest and best use indicates that there are two types to consider - use of the land as if vacant, as well as property as improved. It is defined in the Appraisal Institute's Dictionary of Real Estate Appraisal, 10th Edition, 1992, P. 275 as "The reasonably probable and legal use of vacant land or an improved property, which is physically possible, appropriately supported, financially feasible, and that results in the highest value." The four criteria the highest and best use must meet are: 1) physical possibility, 2) legal permissibility, 3) financial feasibility, and 4) maximum profitability.

IF VACANT: The site is in a commercial zone on the highway frontage and a residential zone in the rear. The most likely development would be with commercial buildings facing Cedar Swamp Road and a residential subdivision in the rear. Our on-site inspection indicated that the surrounding uses were generally compatible.

AS IMPROVED: The school building had been subject to a long-term lease as a school and is suited to continued school use. Although the site is suited to redevelopment, there is no indication of interest in re-developing the property in the near term. Therefore, in my opinion, the highest and best use, as improved, is with continued use as a school.

SALES COMPARISON – RESIDENTIAL LAND VALUE

The following residential land sales have been considered in our analysis.

| | |
|--------------------------|--|
| Sale #1 | 6 Elsinore Avenue, Glen Cove |
| Legal: | Section: 31 Block: 33 Lot: 26 |
| Grantor/Grantee: | Walker, L. / Home Lines Realty |
| Liber/Page: | 12610 / 420 |
| Sale Date/Price: | March 30, 2010 / \$150,000 |
| Zoning: | The City of Glen Cove, R-4 Residential District |
| Size/Description: | 2,958 square foot regular site |
| Improvement: | 1,365 square foot residence |
| Comments: | The purchaser has renovated the house and is offering it for sale at \$279,999 |

| | |
|--------------------------|---|
| Sale #2 | 16 Madison Avenue, Glen Cove |
| Legal: | Section: 31 Block: F Lot: 180 |
| Grantor/Grantee: | Meade, M. (Estate) / 7601 Realty Co. |
| Liber/Page: | 12617 / 765 |
| Sale Date/Price: | May 27, 2010 / \$150,000 |
| Zoning: | The City of Glen Cove, R-4 Residential District |
| Size/Description: | 6,076 square foot irregular site |
| Improvement: | 936 square foot residence |
| Comments: | The house is still occupied |

| | |
|--------------------------|--|
| Sale #3 | 5 Andover Place, Glen Cove |
| Legal: | Section: 30 Block: 54 Lot: 4 |
| Grantor/Grantee: | Stein R. / Wheeler-Nichols, Y. |
| Liber/Page: | 12625 / 787 |
| Sale Date/Price: | June 8, 2010 / \$289,000 |
| Zoning: | The City of Glen Cove, R-3A Residential District |
| Size/Description: | 7,350 square foot irregular site |
| Improvement: | 1,075 square foot residence |
| Comments: | The house is still occupied |

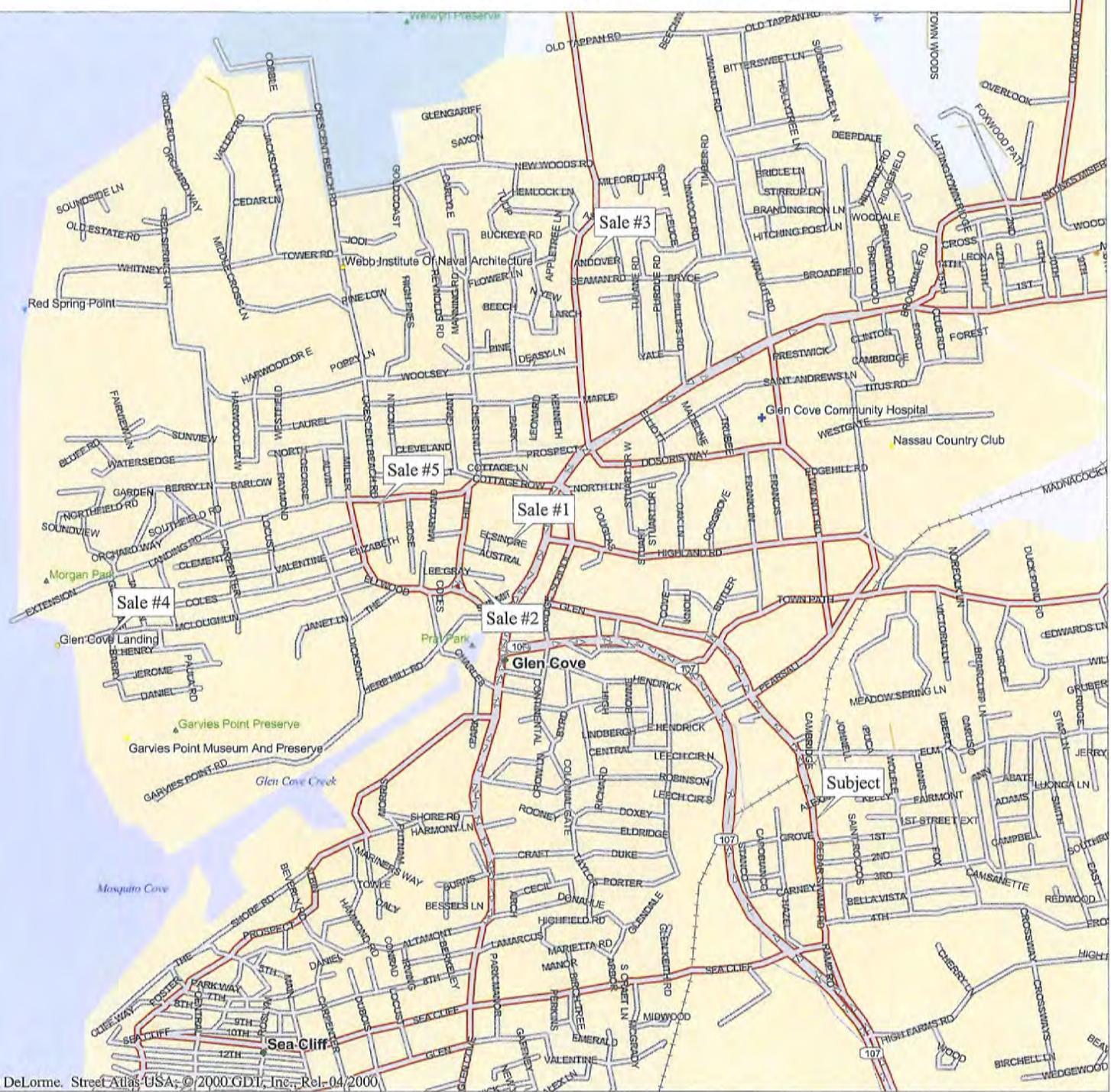
SALES COMPARISON – RESIDENTIAL LAND VALUE: [continued]

| | |
|--------------------------|--|
| Sale #4 | 22 McLoughlin Street, Glen Cove |
| Legal: | Section: 21 Block: 236 Lot: 1 |
| Grantor/Grantee: | Deane, H. (Estate) / Peng, S. et al |
| Liber/Page: | 12587 / 505 |
| Sale Date/Price: | January 13, 2010 / \$300,000 |
| Zoning: | The City of Glen Cove, R-3 Residential District |
| Size/Description: | 9,200 square foot irregular site improved with a 1,497 square foot residence |
| Comments: | Offering suggested that a buyer consider renovation |

| | |
|--------------------------|--|
| Sale #5 | 35 Landing Road, Glen Cove |
| Legal: | Section: 31 Block: E Lot: 101 |
| Grantor/Grantee: | Veroxie-Nyquist (Trust) / Carleo, R. and L. et al |
| Liber/Page: | 12590 / 690 |
| Sale Date/Price: | February 12, 2010 / \$260,200 |
| Zoning: | The City of Glen Cove, R-3A Residential District |
| Size/Description: | 7,500 square foot regular site improved with a 1,235 square foot residence |
| Comments: | The house has been renovated |

CORRELATION: Our analysis, as shown in the sale grid below, indicates that the residential-zoned portion of the site, if vacant and available, would be valued at \$600,000. This gives us: 6 lots @ \$100,000 = \$600,000. This is roughly \$435,000 per acre for the residential segment (including the area that would have to be taken up by extending the adjoining street network).

Residential Land Sales



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 500 Meters

- | | | | |
|--|--------------------|--|-------------------|
| | Local Road | | Hospital |
| | Major Connector | | Park/Reservation |
| | State Route | | Locale |
| | Trail | | Cemetery |
| | Railroad | | Population Center |
| | Point of Interest | | Lake |
| | Small Town | | Land |
| | Geographic Feature | | Water |

SALES COMPARISON – RESIDENTIAL LAND VALUE: [continued]

| Residential Land Value | | | | | | |
|------------------------|--------------------------------|--------------------------------|--------------------------------|---------------------------|-------------------------------------|-------------------------------|
| | Subject | Sale #1 | Sale #2 | Sale #3 | Sale #4 | Sale #5 |
| Address | 27 Cedar Swamp Glen Cove | 6 Elsinore Ave Glen Cove | 16 Madison Ave Glen Cove | 5 Andover Pl Glen Cove | 22 Mcloughlin St Glen Cove | 35 Landing Rd Glen Cove |
| Land Area | 59,895 | 2,958 | 6,076 | 7,350 | 9,200 | 7,500 |
| Building Area | | 1,365 | 936 | 1,075 | 1,497 | 1,235 |
| Age/Cond. | | 1903 | 1900 | 1950 | 1956 | 1923 |
| Imp. Contrib. \$/SF | | \$60 | \$60 | \$70 | \$60 | \$70 |
| Imp. Contrib. Total | | \$81,900 | \$56,160 | \$75,250 | \$89,820 | \$86,450 |
| Land Contrib. Total | | \$68,100 | \$93,840 | \$213,750 | \$210,180 | \$173,750 |
| Zoning | R-4 | R-4 | R-4 | R-3A | R-3 | R-3A |
| Sale Date | Feb-11 | Mar-10 | May-10 | Jun-10 | Jan-10 | Feb-10 |
| Sale Price | | \$150,000 | \$150,000 | \$289,000 | \$300,000 | \$260,200 |
| \$/SF, Land | | \$23 | \$15 | \$29 | \$23 | \$23 |
| Adjustments | | | | | | |
| Mkt Cond. Adj | -10% | -9% | -7% | -7% | -11% | -10% |
| Adj \$/SF | | \$21 | \$14 | \$27 | \$20 | \$21 |
| Location Adj | | 5% | 5% | 0% | 5% | 0% |
| Partitioning Adj | | -40% | -40% | -40% | -40% | -40% |
| Size Adj | | -20% | -15% | -15% | -15% | -15% |
| Total Adj % | | -55% | -50% | -55% | -50% | -55% |
| Adj \$/SF | | \$9 | \$7 | \$12 | \$10 | \$9 |

SALES COMPARISON – COMMERCIAL LAND VALUE

The following commercial land sales have been considered in our analysis.

| | |
|--------------------------|---|
| Sale #1 | 301 Jerusalem Avenue, Hempstead |
| Legal: | Section: 34 Block: 432 Lot: 15 |
| Grantor/Grantee: | CDBC, LLC / Park, J. and H. |
| Liber/Page: | 12664 / 143 |
| Sale Date/Price: | October 14, 2010 / \$2,300,000 |
| Zoning: | Town of Hempstead, Business |
| Size/Description: | 54,450 square foot site improved with a 10,080 square foot pharmacy, circa 1996 |
| Unit Price: | Estimated improvement contribution: \$85 per square foot; Land: \$27 per square foot |
| Comments: | Located on the north side of Jerusalem Avenue between Spencer Place and Carman Street. |

| | |
|--------------------------|---|
| Sale #2 | 80 Crossways Park Drive, Woodbury |
| Legal: | Section: 15 Block: 184 Lot: 6 |
| Grantor/Grantee: | Kailyn Realty / 80 Crossways |
| Liber/Page: | 12647 / 240 |
| Sale Date/Price: | September 1, 2010 / \$3,315,000 |
| Zoning: | Town of Oyster Bay, Light Industrial District |
| Size/Description: | 87,000 square foot site improved with a 24,327 square foot flex industrial building circa 1964 |
| Unit Price: | Estimated improvement contribution: \$12 per square foot. Attributed to land: \$35 per square foot |
| Comments: | Located on the east side of Crossways Park Drive in industrial park. |

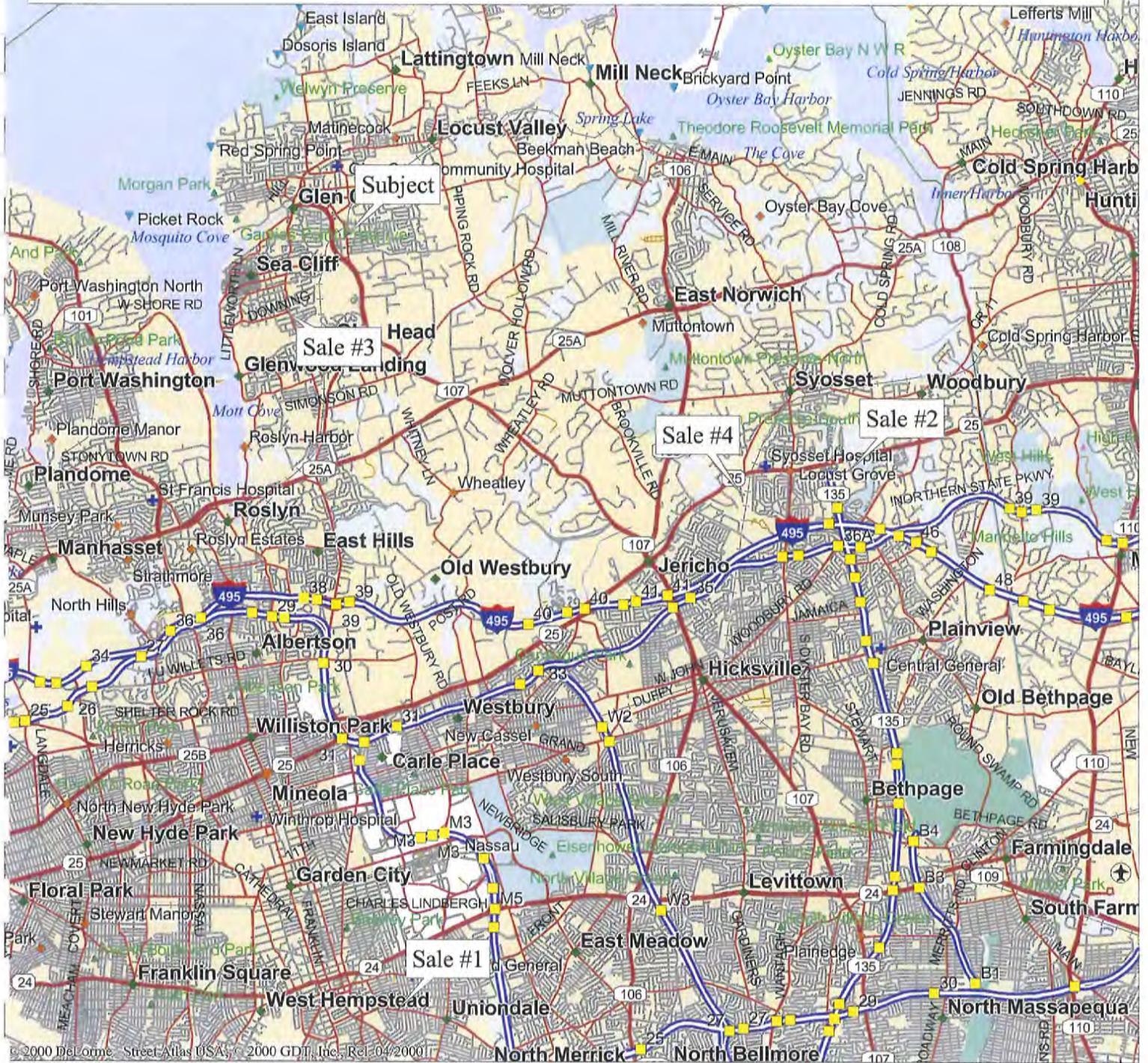
SALES COMPARISON – COMMERCIAL LAND VALUE: [continued]

| | |
|--------------------------|---|
| Sale #3 | 347 Glen Cove Avenue, Sea Cliff |
| Legal: | Section: 21 Block: 78 Lot: 23 |
| Grantor/Grantee: | 250 Glen Street Inc. / GCA Sea Cliff |
| Liber/Page: | 12611 / 898 |
| Sale Date/Price: | February 1, 2011 / \$2,350,000 |
| Zoning: | Village of Sea Cliff, Business zone |
| Size/Description: | 44,799 square foot site improved with a 12,500 square foot neighborhood shopping center, circa 1973 |
| Unit Price: | Estimated improvement contribution: \$25 per square foot Land: \$45 per square foot |
| Comments: | Located on the east side of Glen Cove Avenue, north of Downing Avenue. |

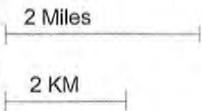
| | |
|--------------------------|---|
| Sale #4 | 200 Oak Drive, Syosset |
| Legal: | Section: 15 Block: G Lot: 34 |
| Grantor/Grantee: | KLS Regent / Oak Drive |
| Liber/Page: | 12677 / 613 |
| Sale Date/Price: | November 29, 2010 / \$2,525,000 |
| Zoning: | The Town of Oyster Bay, Light Industrial District |
| Size/Description: | 50,400 square foot site improved with a 19,876 square foot office building, circa 1975 |
| Unit Price: | Estimated improvement contribution: \$51 per square foot Land residual: \$30 per square foot |
| Comments: | Located on the west side of Oak Drive. |

Our analysis, see following grid, indicates that the commercial-zoned site, if vacant and available, would be valued at \$30 per square foot. This gives us 113,212 square feet @ \$30 = \$3,396,373 rounded to \$3,400,000

Commercial Land Sales



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- | | |
|---------------------------|--------------------|
| Local Road | Railroad |
| Major Connector | County Seat |
| State Route | Small Town |
| Walkway/Stairway | Summit |
| Trail | Geographic Feature |
| Interstate/Limited Access | Hospital |
| Exit | Park/Reservation |
| Utility/Pipe | Locale |

SALES COMPARISON – COMMERCIAL LAND VALUE: [continued]

| Commercial Land Value | | | | | |
|-----------------------|-------------|--------------------------------------|-------------------------------------|-----------------------------------|-----------------------|
| | Subject | Sale #1 | Sale #2 | Sale #3 | Sale #4 |
| Address | | 301 Jerusalem Ave Hempstead | 80 Crossways Park Dr Woodbury | 347 Glen Cove Ave Sea Cliff | 200 Oak Dr Syosset |
| Land Area | 113,212 | 54,450 | 87,000 | 44,799 | 50,400 |
| Building Area | | 10,080 | 24,327 | 12,500 | 19,826 |
| Age/Cond. | | 1996 | 1964 | 1973 | 1975 |
| Imp. Contrib. \$/SF | | \$85 | \$12 | \$25 | \$51 |
| Imp. Contrib. Total | | \$856,800 | \$291,924 | \$312,500 | \$1,011,126 |
| Land Contrib. Total | | \$1,443,200 | \$3,023,076 | \$2,037,500 | \$1,513,874 |
| Zoning | B-2 | Business | Lt. Industrial | Business | Lt. Industrial |
| Sale Date | Feb-11 | Oct-10 | Sep-10 | Feb-11 | Nov-10 |
| Sale Price | \$3,275,612 | \$2,300,000 | \$3,315,000 | \$2,350,000 | \$2,525,000 |
| \$/SF | | \$27 | \$35 | \$45 | \$30 |
| Market Cond. Adj. % | -10% | -4% | -5% | -1% | -2% |
| Adj \$/SF | | \$26 | \$33 | \$45 | \$29 |
| Location Adj % | | 0% | 0% | 0% | 0% |
| Size Adj % | | -10% | -5% | -10% | -10% |
| Total Adj % | | -10% | -5% | -10% | -10% |
| Adj \$/SF | \$29 | \$23 | \$31 | \$41 | \$26 |
| Cost Imp. New | | \$1,223,510 | \$1,467,551 | \$1,314,775 | \$3,614,438 |
| Effective Age (Years) | | 15 | 40 | 38 | 36 |
| Effective Age | | 30% | 80% | 76% | 72% |
| Current Cost Imp. | | \$856,457 | \$293,510 | \$315,546 | \$1,012,043 |
| Current Cost/SF | | \$85 | \$12 | \$25 | \$51 |
| Current Cost New | | \$367,053 | \$1,174,040 | \$999,229 | \$2,602,396 |
| Val Rate of Decrease | | \$24,470 | \$29,351 | \$26,296 | \$72,289 |
| % Yearly Loss in Val | | 2.00% | 2.00% | 2.00% | 2.00% |
| Land Contrib. Total | | \$1,443,543 | \$3,021,490 | \$2,034,454 | \$1,512,957 |
| Land Contrib./SF | | \$27 | \$35 | \$45 | \$30 |

Indicated Land Value:

Residential-zoned land: \$ 600,000
Commercial-zoned land: \$3,400,000
Total: \$4,000,000

COST APPROACH – IMPROVEMENTS

The estimated reproduction costs of the improvements, less accrued depreciation resulting from physical, functional or economic obsolescence, as of the date of the appraisal, are first analyzed. The final calculation is then added to land value to produce a final value estimate.

Accrued depreciation is defined as the difference between the reproduction or replacement cost new as of the date of the appraisal and the present contributory value of the improvements. There are three types of accrued depreciation: physical deterioration (and/or items of deferred maintenance resulting from ordinary wear and tear) functional obsolescence (resulting from deficiencies in the design, layout or construction that impairs utility) and external obsolescence (resulting from a loss in value due to external factors arising off the property).

In this case the cost is based on a replacement using current construction materials and techniques and not a reproduction which would duplicate building materials and methods used circa 1930.

The Marshall Valuation Service was used as the source for the cost data in our analysis, as shown below. The indicated land value is added to the estimated building contribution including an allowance for site improvements, namely the paved area around the building, to find the value using the cost approach.

COST APPROACH – IMPROVEMENTS [continued]

| | | | | | |
|----------------------------------|--------|---------------|-------------|-------------|------------|
| Construction Date: School | 1930 | | | | |
| Gymnasium | 2004 | | | | |
| Number of Stories | 2 | School | Cellar | Gymnasium | Mezzanine |
| School Building | 21,083 | Section 18 | Section 18 | Section 18 | Section 18 |
| Cellar, Finished | 5,900 | Page 10 | Page 11 | Page 25 | Page 25 |
| Gymnasium | 8,730 | Class C | Class C | Class S | Class S |
| Gymnasium Mezzanine | 1,400 | Good | Good | Good | Good |
| Physical Depreciation | | | | | |
| Effective Age | 15 | | | | |
| Economic Life Expectancy | 50 | | | | |
| Base Square Foot Cost | | \$143.62 | \$74.05 | \$123.41 | \$56.99 |
| SQUARE FOOT REFINEMENTS | | | | | |
| Heating, Cooling, Ventilation | | (\$14.25) | (\$14.25) | \$0.00 | \$0.00 |
| INDICATED COST | | \$129.37 | \$59.80 | \$123.41 | \$56.99 |
| HEIGHT AND SIZE REQUIREMENTS | | | | | |
| Number of Stories (Multiplier) | | 1 | 1 | 1 | 1 |
| Height per Story (Multiplier) | | 1 | 1 | 1 | 1 |
| Floor Area (Multiplier) | | 0.96 | 1 | 1 | 1 |
| REFINED SQUARE FOOT COST | | \$124.45 | \$59.80 | \$123.41 | \$56.99 |
| OTHER ADJUSTMENTS | | | | | |
| Current Cost Multiplier | | 1.02 | 1.02 | 1.02 | 1.02 |
| Local Multiplier | | 1.40 | 1.40 | 1.40 | 1.40 |
| FINAL SQUARE FOOT COST | | \$177.72 | \$85.39 | \$176.23 | \$81.38 |
| REPLACEMENT COST ESTIMATE | | | | | |
| Cost New Estimate | | \$3,746,876 | \$503,827 | \$1,538,483 | \$113,934 |
| Entrepreneurial Incentive | 0% | \$0 | \$0 | \$0 | \$0 |
| Replacement Cost New | | \$3,746,876 | \$503,827 | \$1,538,483 | \$113,934 |
| Less: Physical Depreciation | 35% | (\$1,311,406) | (\$176,339) | (\$307,697) | (\$22,787) |
| Functional Obsolescence | 40% | (\$1,498,750) | (\$70,536) | (\$123,079) | (\$9,115) |
| Economic Obsolescence | 10% | (\$374,688) | (\$50,383) | (\$153,848) | (\$11,393) |
| Depreciated Cost of Building | | \$562,031 | \$206,569 | \$953,860 | \$70,639 |
| Aggregated Cost New | | \$5,903,120 | | | |
| Less: Depreciation | | -\$4,110,021 | | | |
| Depreciated Improvements | | \$1,793,099 | | | |
| Depreciated Site Improvements | | \$5,000 | | | |
| Plus: Land Value | | \$4,180,000 | | | |
| TOTAL Value Indication | | \$5,798,099 | | | |
| TOTAL Value Indication - rounded | | \$5,800,000 | | | |

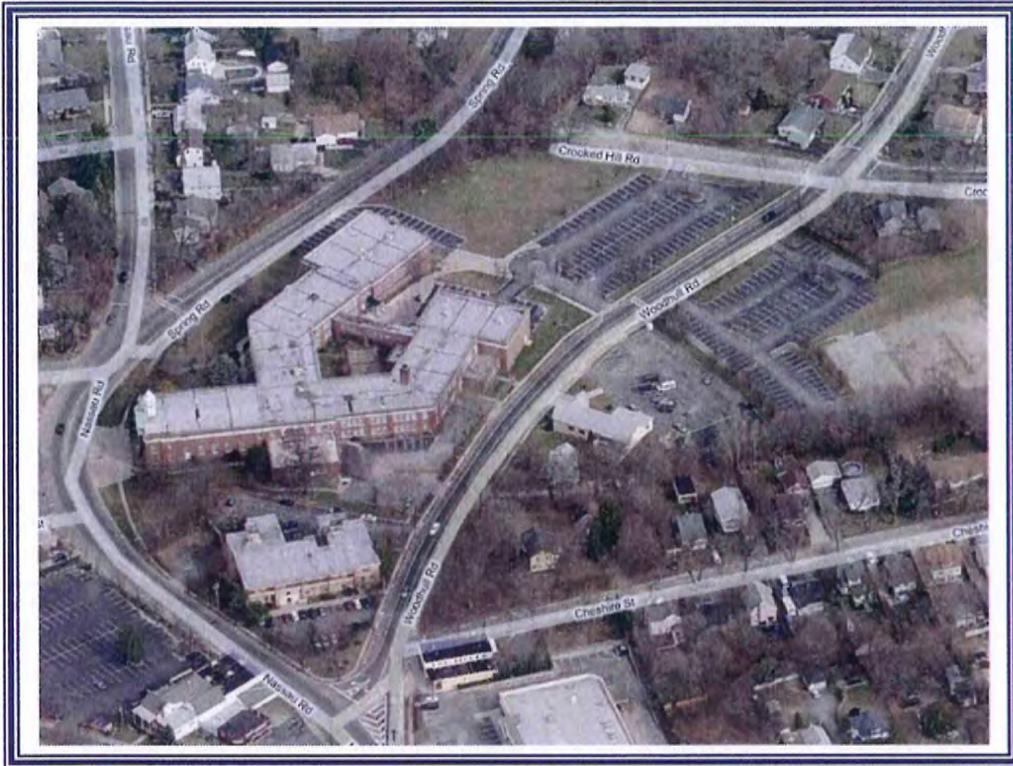
SALES COMPARISON

This approach provides an estimate of market value based on analyzing transactions of similar property in the subject market area. For purposes of this analysis, we have valued the subject on price per square foot, and have adjusted the sales for market conditions; age and condition; location; conditions of sale; building or unit size; loading; utility, zoning; etc.

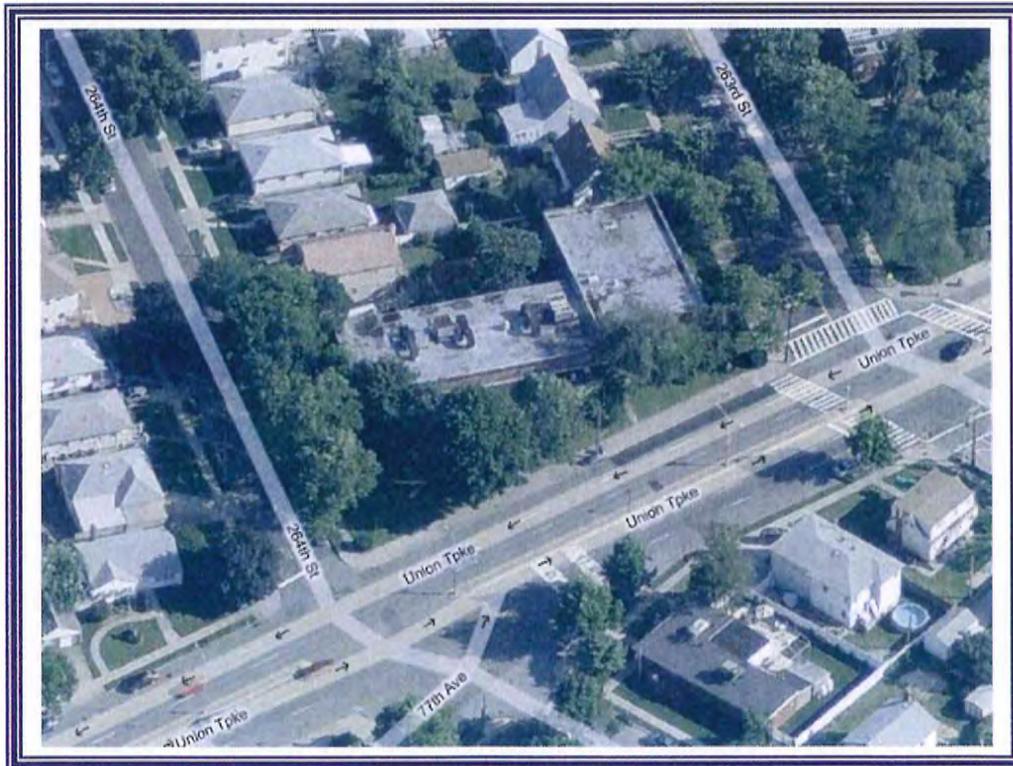
SALES COMPARISON: Sales of schools in suburban settings are rare. No sales were found in Nassau County. To arrive at an indication of value in this approach, I used sales in Suffolk and Queens, as follows.

| | |
|-------------------------|--|
| Sale #1 | Touro Law School, 300 Nassau Road, Huntington Station |
| Legal: | District: 400; Section: 99; Block: 1; Lot: 1 (School); 5 (parking lot) |
| Grantor/Grantee: | Touro College Law School / Good News International School |
| Liber/Page: | 12511 / 429 |
| Sale Date/Price: | June 27, 2007 / \$13,000,000 |
| Zoning: | Residential district (has special permit use) |
| Plot Size: | 11.1 acres total; site is divided, parking lot is 5.5 acres, school is on 5.6 acre lot |
| Improvement: | Two story former junior high school |
| Condition: | Average |
| Building Area: | 122,400 square feet |
| L:B Ratio: | 3.95 |
| Unit Price: | \$106 per square feet |
| Comments: | Buyer made renovations and occupied building as a private school. Asking price of \$9,000,000 in 2000. |

| | |
|---------------------------|--|
| Sale #2 | North Side School, 263-10 Union Turnpike, Floral Park, Queens |
| Legal: | Section 389; Block 8680; Lot 76 |
| Grantor / Grantee: | Temple Shalom / New York All Nations Church |
| Liber/Page: | Doc # 2009100600374001 |
| Sale Date: | September 30, 2009 |
| Sale Price: | \$3,950,000 |
| Zoning: | R2 |
| Plot Size: | 22,332 square feet |
| Improvement: | Two story, circa 1964 or 1959 18,000 square feet, school building |
| Unit Price: | \$219.44 per square foot |
| Comments: | Purchaser converted school to a health center. Class C. |



SALE #1



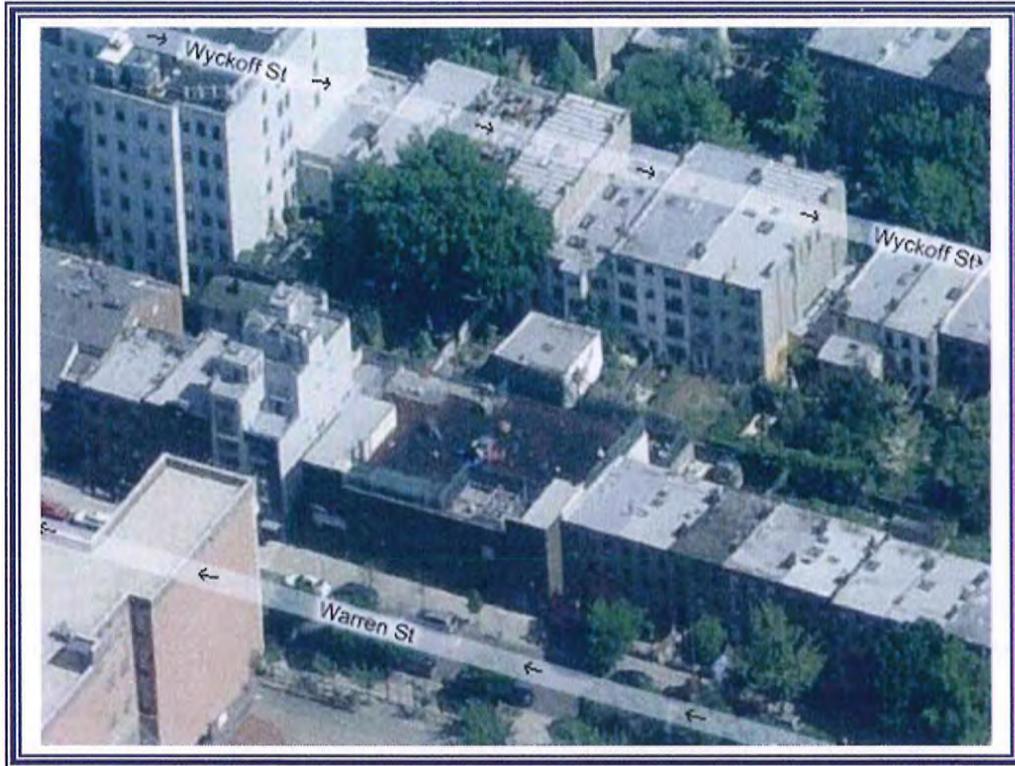
SALE #2



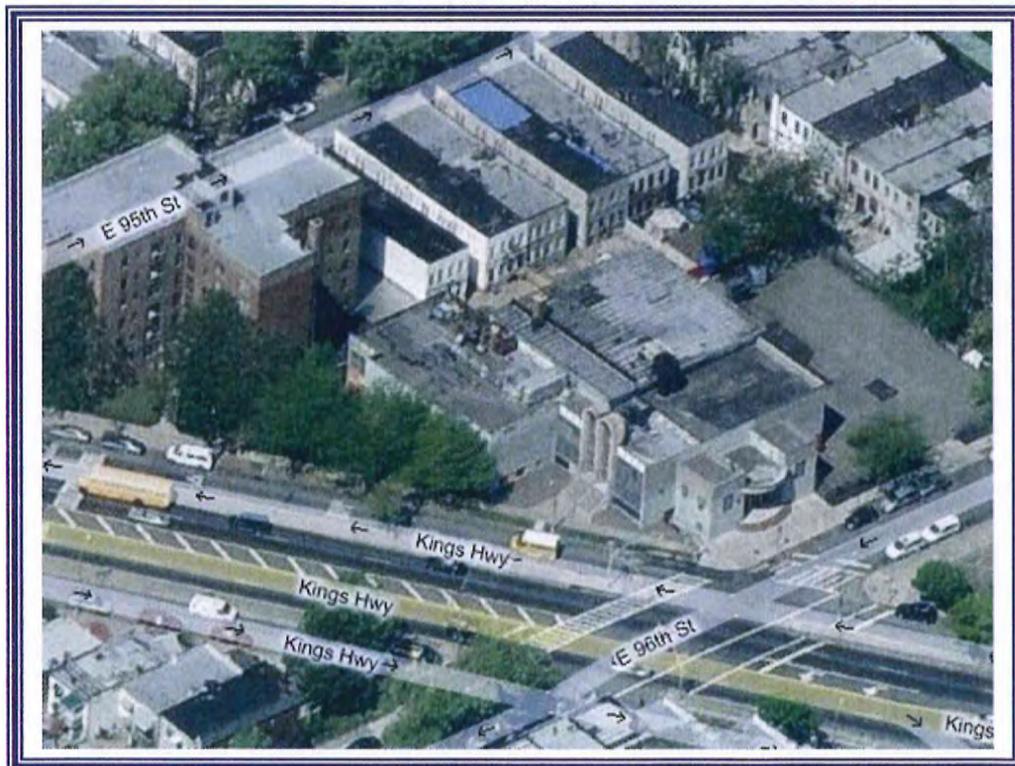
SALES COMPARISON [continued]

| | |
|---------------------------|---|
| Sale #3 | Warren Street Center for Children, 343 Warren Street, Brooklyn |
| Legal: | Section: 2 Block: 391 Lot: 56 |
| Grantor / Grantee: | 343 Warren Corp. / 343 Warren Associates |
| Liber/Page: | Doc # 2008071001490001 |
| Sale Date: | July 1, 2008 |
| Sale Price: | \$4,200,0000 |
| Zoning: | R6 |
| Plot Size: | 0.23 acres 10,000 square feet |
| Improvement: | Two story school building, roof top play area, no parking, to be used as religious health center. GBFA 18,648. Good condition W9 (educational) 1974 |
| Unit Price: | \$210.00 per square feet |
| Comments: | Class C |

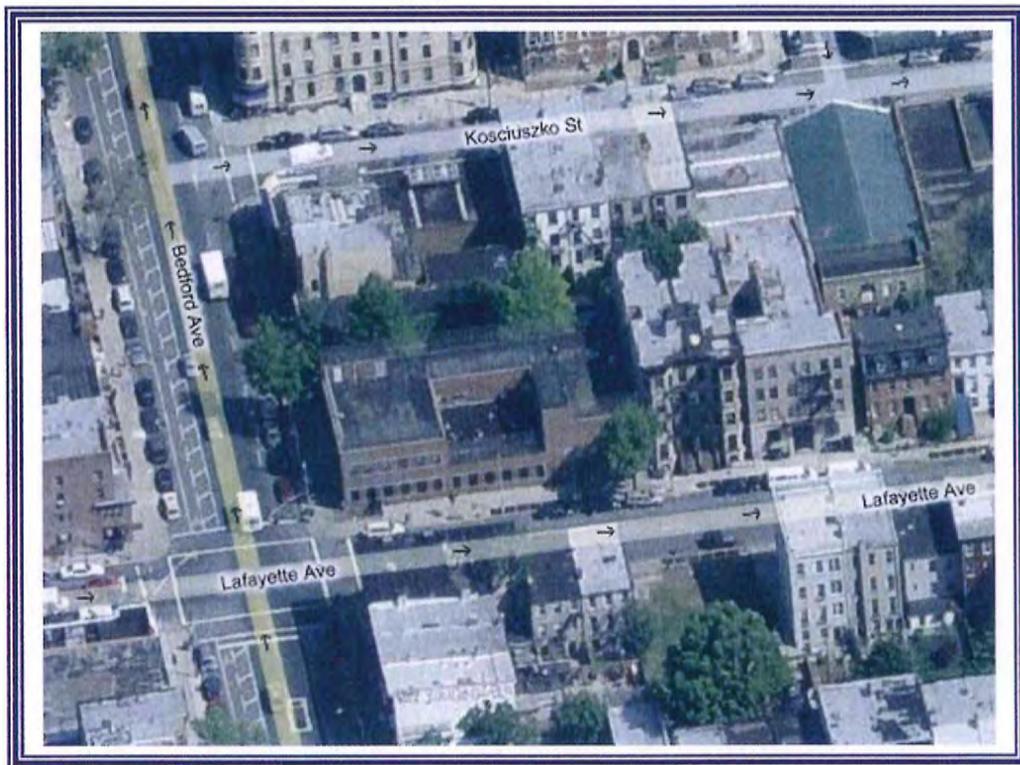
| | |
|---------------------------|--|
| Sale #4 | PS 219 Annex, 9517 Kings Highway, Brooklyn |
| Legal: | Section: 15 Block: 4650 Lot: 15 |
| Grantor / Grantee: | Bnai Israel Jewish Center / 17 Hwy LLC |
| Liber/Page: | 06030 p 1392; Doc #2008060301392001 |
| Sale Date: | April 30, 2008 |
| Sale Price: | \$3,950,000 |
| Zoning: | R6 |
| Plot Size: | 0.65 acres; 28,140 square feet |
| Improvement: | 21,000 square feet school, good on site parking W1, 1961 |
| Unit Price: | \$188.10 per square feet |
| Comments: | Buyer leased this building to the city as the PS 219 annex |



SALE #3



SALE #4



SALE #5

SALES COMPARISON [continued]

| | |
|---------------------------|--|
| Sale #5 | Alonzo A. Daughy Memorial School 1007 Bedford Ave, Brooklyn |
| Legal: | Section: 6 Block: 1783 Lot: 1 |
| Grantor / Grantee: | 1005 Bedford Holdings LLC / Yeshivas Bais LIMU |
| Liber/Page: | 2110 p 1240 doc #2008021101240001 |
| Sale Date: | February 6, 2008 |
| Sale Price: | \$3,900,000 |
| Zoning: | R6 |
| Plot Size: | 0.17 acres |
| Improvement: | 20,000 square feet Three story health center, ca 1972 |
| Unit Price: | \$195 per square feet |
| Comments: | Two story school, now a religious school |

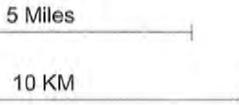
CORRELATION: Sales #1 to #5 are adjusted as shown in the grid that follows. Sale #6 does not appear to reflect any contribution from the buildings. After adjustment the final unit values range from \$122 to \$189 per square foot of building area. In my opinion, the subject would be valued at \$170 per square foot of building area. This gives us: 31,213 square feet @ \$170 = \$5,306,210; rounded to - VALUE INDICATION, SALES COMPARISON - \$5,300,000.

Sales Comparison



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 Scale 1:300,000 (at center)



- | | | | |
|--|-----------------------------|--|---------------------------|
| | Local Road | | Rest Area with facilities |
| | Major Connector | | Exit |
| | State Route | | County Seat |
| | Rest Area | | Small Town |
| | Interstate/Limited Access | | Large City |
| | Interstate/Unlimited Access | | Park/Reservation |
| | Toll Highway | | Mega City |
| | US Highway | | Locale |

SALE COMPARISON GRID

| | Subject | Sale #1 | Sale #2 | Sale #3 | Sale #4 | Sale #5 |
|----------------------|--------------------------------|---------------------------------|----------------------------------|-------------------------------|----------------------------|----------------------------------|
| Sale | Solomon Schecter | Touro College | North Side School | Warren St Center for Children | PS 219 | Alonzo A. Daughy Memorial School |
| Address | 27 Cedar Swamp Rd Glen Cove | 300 Nassau Rd Huntington Sta | 263-10 Union Tpke Floral Park | 343 Warren St Brooklyn | 9517 Kings Hwy Brooklyn | 1007 Bedford Ave Brooklyn |
| County | Nassau | Suffolk | Queens | Brooklyn | Brooklyn | Brooklyn |
| Sale Price | | \$13,000,000 | \$3,950,000 | \$4,200,000 | \$3,950,000 | \$3,900,000 |
| Sale Date | Feb-11 | Jun-07 | Sep-09 | Jul-08 | Apr-08 | Feb-08 |
| \$ per SF | | \$106 | \$219 | \$225 | \$141 | \$195 |
| Mkt Trend Adj | | -30% | -14% | -26% | -28% | -30% |
| Mkt Adj \$/ SF | | \$74 | \$189 | \$166 | \$101 | \$136 |
| Land Area | 173,107 | 483,516 | 22,332 | 10,000 | 28,140 | 7,405 |
| Building Area | 31,213 | 122,400 | 18,000 | 18,648 | 28,000 | 20,000 |
| L/B Ratio | 5.55 | 3.95 | 1.24 | 0.54 | 1.01 | 0.37 |
| Location | Central | Neighborhood | Thoroughfare | Bus Distr | Commercial | Commercial |
| Height | 2 sty | 2 Sty | 1, 2 sty | 3 sty | 2 sty | 3 sty |
| Condition | Good | Avg | Good | Good | Good | Good |
| Age | 1930, 2004 | 1960 | 1959 | 1974 | 1961 | 1972 |
| Parking | Yes | Yes | Yes | No | Yes | No |
| % Adjustments | | | | | | |
| Age/Cond. Adj | | 10% | -10% | 0% | 20% | 5% |
| Location Adj | | 10% | 5% | 20% | 10% | 20% |
| Size Adj | | 60% | -5% | -5% | 0% | 0% |
| L/B Ratio Adj | | 5% | 10% | 15% | 15% | 20% |
| Total Adj | | 70% | 0% | 30% | 45% | 45% |
| Adj % to \$/SF | | \$52 | \$0 | \$50 | \$46 | \$61 |
| Adj \$ per SF | | \$126 | \$189 | \$215 | \$147 | \$142 |
| Selected \$/SF | \$190 | | | | | |
| Indicated Value | \$5,930,470 | | | | | |
| Rounded Value | \$5,930,000 | | | | | |

FINAL RECONCILIATION AND CONCLUSION OF VALUE

The reconciliation must weigh the quality and reliability of the data analyzed before reaching a final value conclusion relative to the leased fee interest in the subject property, a 21,083 square foot school building and an 8,730 square foot one-story and mezzanine gymnasium, situated on a 3.974 acre site in the City of Glen Cove, on the North Shore of Nassau County. It is currently tenant occupied and in use as a school. The approaches to value utilized in this appraisal indicate the following estimates:

| | |
|-------------------------|----------------|
| COST APPROACH | \$5,800,000 |
| SALES COMPARISON | \$5,930,000 |
| INCOME APPROACH | Not Applicable |

SALES COMPARISON APPROACH: In the case of the subject, five sales of school properties were selected in our final analysis, and in our opinion, the quantity and quality of this data is such as to permit reliance on this indication.

THE COST APPROACH: The subject is a specialized use in good condition. In addition, there was sufficient land and cost data available to support the utilization of this Approach. It has therefore been relied upon in our final valuation of the property.

INCOME CAPITALIZATION APPROACH: There is insufficient market data to permit the application of the Income Capitalization Approach.

SUMMATION: In the presence of a sufficient number of sales for a useful Sales Comparison and with support from the Cost Approach most weight in our final analysis would be placed upon the indications of the Sales Comparison.

After consideration of the location, the nature of the improvements, market conditions and other factors, it is our opinion that the market value of the subject property in Fee Simple, as if unaffected by contamination, As Is, as of February 24, 2011 is as follows:

FIVE MILLION NINE HUNDRED THOUSAND DOLLARS [\$5,900,000]

CERTIFICATION

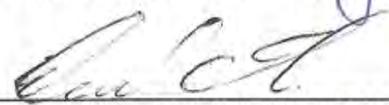
The undersigned does hereby certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- I have no present or prospective interest in the property that is the subject of this appraisal, and no personal interest with respect to the parties involved.
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed and this reported has been prepared in conformity with the Uniform Standards of Professional Appraisal Practice.
- David Bradley and Dan Oh have made a personal inspection of the property that is the subject of this report on February 24, 2011.
- Sky Tsou provided significant real property appraisal assistance to the persons signing this certification.
- The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics & Standards of Professional Appraisal Practice of the Appraisal Institute, which include the uniform Standards of Professional Appraisal Practice.
- The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
- As of the date of this report, David Bradley has completed the continuing education program of the Appraisal Institute.

DATE: 4 April 2011


David M. Bradley, MAI, SRA, NYS CGREA #3007

DATE: 4 April 2011


Dan Oh; NYS CGREA# NYS CGREA #47827

Based upon this data, and as of March , 2011, it is our opinion that the market value, As Is, in Fee Simple, of the school building located at 27 CEDAR SWAMP ROAD, GLEN COVE, NEW YORK, is:

\$5,900,000

DAVID M. BRADLEY, MAI, SRA

- E-MAIL: DMBRADLEY30@GMAIL.COM

EDUCATION:

MASSACHUSETTS INSTITUTE OF TECHNOLOGY - BACHELOR OF SCIENCE
ADELPHI UNIVERSITY - MASTERS, BUSINESS ADMINISTRATION

EXPERIENCE:

REAL ESTATE APPRAISER & CONSULTANT 1973 to Present

Appraised a wide variety of commercial, industrial and residential properties located throughout metropolitan New York and suburban Counties. Appraising and consulting experience includes the following:

- Advised municipalities on impact of real estate values of proposed master plans and zoning ordinances.
- Prepared re-use and capital plans for University campuses.
- Estimated capital requirements and potential revenue for development of residential subdivisions, suburban shopping centers, re-use of industrial loft buildings, conversion of rental projects to condominiums, development of a 433-acre island in Peconic Bay, and the re-use of the Montauk Air Force Base.
- Appraised waterfront developments both residential and commercial such as marinas, motels and restaurants.
- Appraised railroad lines and utility rights-of-way.
- Qualified as an expert witness before the Supreme Court, State of New York, Kings, Bronx, Nassau, Suffolk and Ulster Counties, U.S. Bankruptcy Court, Eastern District, U.S. Tax Court, Southern District.

Aerospace Engineer Prior to 1973

- Worked as engineer and manager in Aerospace industry.

INSTRUCTOR AND LECTURER:

- National and International Instructor in income property and residential appraising for the Appraisal Institute
- Adjunct Professor, New York University Graduate School of Real Estate

PUBLICATIONS:

- Contributor to The Appraisal of Real Estate, Eleventh Edition, Appraisal Institute, 1996 and author of four articles appearing in The Appraisal Journal of the Appraisal Institute:

RECOGNITIONS, AWARDS AND CERTIFICATIONS:

- 2009, Lifetime Achievement Award, Appraisal Institute, Long Island Chapter
- 1990 Armstrong Award for the article judged the most significant contribution to real estate valuation literature published in The Appraisal Journal
- Appraisal Institute instructor, Institute courses and seminars, throughout the U.S., in Czech Republic and Korea
- Certified NYS General Real Estate Appraiser: #46 -3007
- NYS Approved Instructor, General & Residential Real Estate Appraisal ID# 1-49
- Certified Instructor for Appraisal Foundation Standards Courses ID#10310

AFFILIATIONS:

MEMBER, APPRAISAL INSTITUTE
PAST PRESIDENT, APPRAISAL INSTITUTE, LONG ISLAND CHAPTER
PAST DIRECTOR, EDUCATION CHAIRMAN, APPRAISAL INSTITUTE, NEW YORK CITY CHAPTER
CHAIRMAN, PROFESSIONAL PRACTICE COMMITTEE, APPRAISAL INSTITUTE, LONG ISLAND CHAPTER
PAST REGIONAL MEMBER, APPRAISAL INSTITUTE ETHICS ADMINISTRATION DIVISION

DANIEL OH

- E-mail: dan@ciotta-appraisals.com
- NYSCGREA: #48000047827

EDUCATION:

State University of New York at Albany –Bachelor of Arts

American Real Estate School, Certification in General Real Estate Appraising

Realty Institute, Certification in Residential Real Estate Appraising

EXPERIENCE:

REAL ESTATE APPRAISER 2007 to Present

Appraised commercial and a variety of residential properties throughout Long Island's and the five Boroughs of New York City Appraising experience includes the following:

- Inspection and appraisal of high end residential properties throughout Manhattan and on Long Island.
- Composition of thorough and concise reviews of single-family, multi-family and mixed use properties.
- Appraised multi unit income producing properties.
- Performed feasibility analysis for new condominium projects.
- Bulk sellout analysis for new construction condominium building.
- Identified and re-valued misrepresented collateral risks.
- Reviewed 1 to 4 family appraisals.
- Met with County property owners to defend or adjust values.
- Identified and revalued home values when necessary.

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 Fairfield County bank
 First Republic Bank
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 HSBC Mortgage Corp.
 Hudson City Savings Bank
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 Manhattan Mortgage Company
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 MidLantic Bank, N.A.
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 Nations Bank
 New York Community Bankcorp
 Queens County Savings Bank
 Ridgewood Savings Bank
 Royal Bank of Canada
 Safra National Bank
 State Bank of Long Island
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 The Bank of New York
 Webster Bank

GOVERNMENTS, AGENCIES, ETC.

Fed. Deposit Insurance Corp. (FDIC)
 General Serv. Admin., Boston, Ma.
 City of Glen Cove; Inc. Villages of
 Bayville, Brookville, Centre Island,
 East Hills, Great Neck, Lattingtown,
 Muttontown, North Hills, Roslyn

GOVERNMENTS, AGENCIES, [CONT'D]

IRS, District Counsel
 Nassau County Dept. of Assessment
 N.Y. State Dept. of Transportation
 Metropolitan Trans. Authority
 The Nature Conservancy
 NYC Housing Preservation and Dev.
 NYC Law Department
 Resolution Trust Corp. (RTC)
 Schools: Bellmore Merrick CHSD
 Berkeley Schools, Five Towns College
 Friends World College, Great Neck
 Long Island University
 New York Chiropractic College
 N.Y Institute of Technology
 Oyster Bay, East Norwich
 Polytechnic Institute
 Sewanhaka CHSD
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 Jerry Winter



the orchard

a Glen Cove Revitalization Neighborhood

in partnership with the New York State Department of State



Prepared for: New York State Brownfield Opportunity Area
Step 2 Nomination Study
City of Glen Cove Community Development Agency

Prepared by:

 *Engineering, Surveying and Landscape Architecture, P.C.*

September 2012

The Orchard
Brownfield Opportunity Area
A Glen Cove Revitalization Neighborhood
In partnership with the New York State Department of State

Report Prepared for:

The City of Glen Cove
Community Development Agency
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Glen Cove, New York 11542

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September 2012



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1.0

Project Description and Boundary

1.1 Lead Project Sponsors

This Brownfield Opportunity Area Step 2 Nomination Study is sponsored by the City of Glen Cove, working in conjunction with the Glen Cove Community Development Agency. As part of the planning process for this project, the Community Development Agency established a steering committee composed of key stakeholders including planners, local businesspeople, community service providers, and CDA/ City staff. The Community Development Agency also conducted outreach to neighborhood residents, business owners, religious and civic leaders, and property owners.

1.2 Project Overview and Description

In an effort to respond to changing dynamics affecting its commercial and housing sectors, the City of Glen Cove has taken an active approach to land use planning throughout the City, and is supporting redevelopment projects in several strategic locations. Recent planning activity has included the adoption of an updated Master Plan, the Downtown Gateway Revitalization Plan, the Cedar Swamp Road Corridor Study, and the adoption of new citywide zoning. The City has leveraged considerable public investments in these redevelopment efforts, including a major traffic calming and streetscaping project in 2010 along Cedar Swamp Road, the eastern boundary of this study area. As a continuation of these planning and revitalization efforts, the City is focusing attention on the revitalization of one of its historic residential neighborhoods, known as The Orchard, and the industrial area along Sea Cliff Avenue in this Brownfield Opportunity Area (BOA) Step 2 Nomination Study.

The purpose of this BOA Step 2 Nomination Study is to facilitate the creation of a locally driven revitalization plan to improve a neighborhood that is affected by multiple brownfield sites, as well as other blighting influences, and to develop a coordinated suite of strategies and projects to effect the overall revitalization of the study area and facilitate the redevelopment of its strategic

sites. This effort is intended to stimulate economic development, facilitate community revitalization, identify and support the development of needed public amenities and infrastructure improvements (particularly with regard to circulation, parking, and stormwater infrastructure), and redevelop strategic sites that will serve as catalysts for wider revitalization. Given the study area's proximity to two LIRR stations, the plan will have a strong focus on potential transit-oriented development strategies. The plan will also seek to capitalize on and maintain connections to the Orchard's unique historic contribution to the City, and return the area's large vacant Superfund sites along Sea Cliff Avenue to productive use. This Step 2 report assesses a variety of issues/conditions, including land use, natural resources, brownfields, transportation networks, and economic and market trends and concludes with recommendations for future uses or actions.

1.3 Brownfield Opportunity Area Boundary Description and Justification

The BOA Study Area consists of the area bounded by Cedar Swamp Road, the LIRR right-of-way, and the southern property line of the industrial parcels on Sea Cliff Avenue. This area generally encompasses the area between the Sea Cliff and Glen Street LIRR stations, which includes the industrial area along Sea Cliff Avenue and the residential and mixed-use Orchard neighborhood. The project area is generally located along the southern border of the City of Glen Cove, and is adjacent to one of the City's major gateways (Cedar Swamp Road). Several of the subject industrial properties include land area within the neighboring Glen Head community (an unincorporated portion of the Town of Oyster Bay.) Figure 1, Study Area Context Map, shows the location of the proposed BOA within the City and its relation within the larger regional context.

As shown on Figure 2, the Study Area is comprised of two locally recognized and distinct neighborhoods, The Orchard and the Sea Cliff Avenue industrial area, which are bound together and yet somewhat isolated from the rest of the City to the North, East, and West by major transportation corridors, including the LIRR right-of-way and Cedar Swamp Road. The Southern boundary of the subject area is just over the City limits, and is provided by an abrupt transition from industrial zoning to a privately owned golf course. The Study Area is capped by NYSDEC Superfund sites at its north and south ends, including a former manufactured gas plant on the north end of the Orchard and the Photocircuits, Pall, and Pass and Seymour sites on Sea Cliff Avenue.

The Orchard neighborhood is a historic and commonly recognized neighborhood within Glen Cove that is affected by a former manufactured gas plant Superfund site, as well as illegal and substandard housing conditions, and a shortage of public amenities. The adjacent industrial area along Sea Cliff Avenue, bounded by the LIRR and the City border, suffers from a legacy of environmental contamination and large-scale vacancy from several previous industrial users such as Photocircuits, Pass & Seymour, and Pall Corporation. These now-vacant sites were formerly a hub of employment for the City, and made significant contributions to the regional economy. The total land area within the BOA consists of approximately 105 acres. Within the BOA, there are a total of approximately 27 sites that have been identified as potential

brownfields. This includes the aforementioned four Superfund sites associated with the large-scale abandoned industrial users, as well as smaller properties that may present potential contamination concerns based upon their current or historic use, identified spills, or presence of leaking underground storage tanks. The sites that have been identified as potential brownfields total approximately 40.5 acres, accounting for more than a third of the study area.

1.4 Community Vision, Goals and Objectives

The City of Glen Cove, as part of its public outreach component, conducted a visioning session where participants were asked to provide input on the vision of the Orchard BOA. The public participation program asked local residents and property owners what they would like to see in the Orchard 20 years from now. The public was then asked to provide more specific commentary on three subject areas: Community Design and Land Use; Streetscape and Landscape; and Transportation and Circulation. The full extent of the comments from the first public workshop are contained in Appendix 4.3 of this report. The community's vision for this area, as revealed through existing City policy expressed in its Master Plan, conditions identified in a blight study conducted in 2002, and input from the public during the community engagement activities undertaken as part of this effort has been distilled into the paragraph below:

The Orchard will be an attractive, walkable, vibrant neighborhood with improved linkages to the rest of the City of Glen Cove. New development will be consistent with the established character of the neighborhood and highlight the area's unique historic and natural settings, while pursuing needed public amenities and infrastructure improvements. Opportunities for enhancing the City's tax base and employment that are compatible with and supportive of the City's existing businesses will be pursued.

The following implementation goals were identified through this project's public engagement process:

- Enhance parking resources to accommodate multiple needs within the Orchard, Glen Street Train Station and the Cedar Swamp Road commercial district.
- Encourage transit oriented development opportunities in the Orchard neighborhood that take advantage of the existing Glen Street station.
- Enhance quality of life in the Orchard by continuing building code enforcement, enhancing pedestrian circulation, and incorporation of a street tree planting/landscaping/beautification program.
- Incorporate green infrastructure elements to address stormwater issues, and create a new open space element by enhancing the existing stream west of the Glen Cove Arterial Highway.
- Expand the availability of recreational resources/open spaces to serve residents of the Orchard.

- Facilitate reinvestment in the Orchard neighborhood's housing stock and public spaces to reduce blighting influences.
- Enhance the attractiveness of the Orchard as residential neighborhood, while maintaining connections to its distinct sense of history and place and its urban scale.
- Enhance pedestrian connections between the Orchard neighborhood and a reinvigorated Sea Cliff commercial area.
- Address the accessibility and circulation issues at the Glen Cove Daycare facility, either by relocating the facility or creating new, safer pedestrian and vehicular access from the Orchard and /or Sea Cliff Avenue.
- Encourage new commercial investment in the industrial area along Sea Cliff Avenue that will enhance employment opportunities and fiscal conditions, while avoiding competition with existing businesses.
- Improve transportation and circulation at the Sea Cliff Avenue/ Cedar Swamp Road gateway intersection, particularly as it relates to commercial redevelopment opportunities.
- Expand the study area to include the Coles School, a vacant City-owned building with significant potential to offer community support services and recreation opportunities.

2.0

Community Participation Plan

2.1 Community Participation Plan

The Community Participation Plan for the Orchard Brownfield Opportunity Area describes the methods and techniques that were used to engage the community throughout the course of the development of this Step 2 Nomination Study and would be expected to continue as the project progresses through the BOA program. The Community Participation Plan is a guide to involving the community in the planning process, which may be expanded as new methods are identified. Some elements of the Plan may change as the planning process unfolds. The following methods were incorporated in the planning process to gather input and provide updates on the status of the Nomination:

- Steering Committee Meetings
- Public Information/Visioning Meetings
- Stakeholder Interviews
- Website Development
- E-mail contact

2.1.1 Steering Committee Meetings

Purpose: The project Steering Committee has been charged with directing the overall vision of the Nomination and its recommendations. The purpose of the Steering Committee meetings were to present, discuss, and receive direction on project specifics, as well as to discuss and resolve comments resulting from review of project documents, advisory agency review, and coordination with other agencies. The Steering Committee served as the primary group guiding the preparation of the Nomination, functioning as the lead in its detailed development. Besides the CDA, the Steering Committee has been the lead working entity on this project.

Membership: The Steering Committee is made up of key stakeholders including planners, residents, community service providers, local business owners, and CDA/ City staff. Members include:

- Maureen Basdavanos, Deputy Mayor
- James Britz, Vice President, Long Island Housing Partnership
- Patricia Bourne, Kimmel Housing Foundation, Glen Cove IDA Board member, Glen Cove resident
- Guy Calo, Sea Cliff Avenue business owner
- Curtis Cravens, Department of State
- Graham Long, Certified Planner, Glen Cove CDA Board Member, local business operator
- Kelly Morris, Executive Director, Glen Cove CDA/ IDA
- Erin Reilley, Grant Administrator, Glen Cove CDA
- Richard Summa, City of Glen Cove Building Department Director

Public Participation: While not publicly noticed, Steering Committee meetings have been open to the public.

Notification Method: E-mail from Erin Reilley CDA or VHB staff member.

Schedule: Five meetings were included in the original schedule for this project. At the time of the writing of this report, four meetings had been held, with fifth meeting anticipated in the Fall of 2012. The meetings were held on March 5, May 21, June 22, and August 29, 2012, at Glen Cove City Hall

2.1.2 *Public Information/Visioning Workshops*

Purpose: The purpose of the Public Information Workshops were to present the draft BOA to the general public and receive feedback from advisory agencies, local officials, and citizens via a visioning session and a design session.

Membership: General public.

Public Participation: Meetings were advertised to the public in advance, and open to all participants.

Notification Method: The Glen Cove CDA posted announcements on the City website (<http://www.glencove-li.com/>), and in the local newspaper (Glen Cove Record Pilot). In addition, invitations to the public meetings were sent via certified mail to all property owners within the study area, and approximately 200 flyers (with information in English and Spanish) were distributed in the Study Area to residents and businesses. Invitations to the second public meeting were also sent via e-mail to the community contacts list that was generated at the first public meeting. In an effort to create a recognizable icon that will create continuity through all phases of the revitalization effort, VHB created a logo for the City, a variation of which marks all outreach materials for the Orchard BOA:



Schedule: Two public meetings were held during this Step 2 Nomination Study: a community visioning workshop on June 27, 2012, and a community design workshop on September 10, 2012.

A. Community Visioning Workshop

The first public workshop was held at 6:30pm on June 27, 2012 in Council Chambers at City Hall and was attended by approximately 40 members of the public. The first goal of the visioning workshop was to educate the community regarding the potential benefits of this project. Due to varying levels of planning expertise and interest amongst the participants, the process required an educational component to ensure an accurate understanding, and to elicit broader and more effective involvement in the planning process. The second goal was to identify the desired direction, goals, and objectives of the community for the Study Area, establish a framework for the project vision and policies, and solicit detailed local knowledge of the area from local residents and business owners to enhance the baseline existing conditions analysis.

In order to provide a framework for informed discussion, the first half of the meeting included a general explanation of the BOA program and brownfields and a presentation of baseline existing conditions analysis and mapping for the study area. The second half of the meeting consisted of a visioning/public input session that encouraged attendees to express their vision for the community in 20 years and identify particular strengths, challenges and opportunities for the neighborhood. In order to foster interactive dialogue, the visioning sessions used three breakout tables focused around a different theme or element: Community Design/Land Use; Streetscape and Landscape; and Transportation and Circulation. At the conclusion of the session, which allowed for participants to rotate through each break out table, the attendees regrouped as a whole and the key issues that were identified through the discussions at each thematic table were summarized and presented. Key issues of concern identified by the public included a lack of safe play space for neighborhood children, inadequate parking availability, quality of life concerns stemming from overcrowded residential conditions, flooding, service limitations of the Oyster Bay Branch LIRR, the opportunities provided by the nearby vacant Coles School, and pedestrian safety and access. (The public presentation materials and summary of the break-out session public input is included in the Appendix 4.2 and 4.3.)

B. Community Design Workshop

After the public input from the first community workshop was integrated into the baseline assessment to solidify the understanding of existing conditions, the market realities related to commercial/industrial redevelopment and transit-oriented development were further researched, and a vision statement was drafted, a second community workshop was held. This Community Design Workshop was held at 6:30pm on September 10, 2012 and was organized around opportunities and recommendations in four areas: Transit-Oriented Development; Neighborhood Stabilization and Green Infrastructure; Transportation Enhancements; and Conceptual Development Designs.

2.1.3 Stakeholder Interviews

Purpose: The purpose of the stakeholder interview element was to gather information from City staff, regionally significant organizations, government agencies, employers, community service providers, property owners, and other stakeholders in an effort to gain insight into desired goals for the project sites as well as the identification of any constraints that may affect reuse potential.

Membership: The following stakeholders were contacted for in-person or phone interviews:

- **Richard Summa, Glen Cove Building Department Director**
- **Lt. Thomas Fitzpatrick, Glen Cove Police Department**
- **Darcy Belyea, Glen Cove Parks and Recreation Department Director**
- **Anthony Tripp, Glen Cove Fire Department**
- **William Archambault, Glen Cove Public Works Director**
- **Barbara and Frank Minnicozzi, Orchard Neighborhood residential property owners and landlords**
- **Jeff Schneider, Sea Cliff Avenue business owner/ operator, August Thompson Corp.**
- **Joan Harrison, Local Historian**
- **Alberto Munera, Executive Director, La Fuerza Unida**
- **Father Nash, Saint Patrick's Church**
- **Father Elias, Saint Rocco's Church**
- **Mary Stanco, President, Glen Cove Chamber of Commerce**
- **Celita Buni, Executive Director, Glen Cove Day Care**
- **Louis Maccarone, Sea Cliff Avenue business owner operator, Maccarone Plumbing**

Public Participation: Not applicable.

Notification Method: E-mail from Camille Byrne, Glen Cove CDA, with coordination from VHB staff.

Schedule: Interviews with representatives of the City's various service departments including the Building, Recreation, Police and Fire Department were held on October 25, 2011. Additional correspondence from the City's DPW was received on January 27, 2012. Phone interviews with subject area stakeholders were conducted between January 19, 2012 and January 30, 2012. Follow-up outreach calls were made on June 18, 2012 and September 21, 2012. Information collected from these interviews is included in Appendix 4.1.

2.1.4 Website Development and Email Contact

Purpose: The City developed a BOA-dedicated page on the City of Glen Cove website at the onset of the project, with assistance from VHB. (<http://glencove-li.us/index.php/project-updates/55-brownfield-opportunity-area>.) The webpage has been expanded on an ongoing basis to include meeting dates, work products, maps, GIS data and functionality and other relevant resources. Throughout the public engagement process, the City has also maintained an email contact list of all participants that is continually updated and will continue to be used as a public notification resource for project-related announcements and activities.

2.2 Techniques to Enlist Partners

2.2.1 Partners

As detailed in the Public Participation Plan above, the City enlisted a Steering Committee to direct the overall vision of the plan and its recommendations. The Steering Committee is the primary group guiding the preparation of the plan, functioning as the lead in its detailed development. This group is made up of key stakeholders including planners, community service providers, and CDA/ City staff that are identified above. In addition to the Steering Committee representatives, the City initiated outreach to a number of other key stakeholders in the neighborhood, including property owners, business owners, a representative from the Chamber of Commerce, church leaders, and a representative from a local non-profit social service organization. The City also conducted outreach to outside agencies or government that could be affected by or involved in proposals for the Orchard BOA, including the Town of Oyster Bay, the NYS Department of Environmental Conservation, the Metropolitan Transportation Authority, and NYS Department of State.

2.2.2 Consultation Methods and Techniques

A variety of consultation techniques have and will be used throughout the planning process to inform project partners, local residents, and interested stakeholders and to gather their feedback regarding the planning effort.

Examples of consultation methods that have or will be utilized include:

- One-on-one meetings between CDA staff and BOA property owners and stakeholders
- Phone conversations between CDA staff and BOA property owners and stakeholders
- Meetings between CDA staff and interested organizations, such as Chamber of Commerce
- In-person and conference calls between CDA, consultant team, and DOS
- Presentations to interested groups / organizations
- Stakeholder meetings with consultant team

Steering Committee Meetings

The City identified government, business and resident representatives to serve as the BOA Steering Committee:

- Maureen Basdavanos, Deputy Mayor
- James Britz, Vice President, Long Island Housing Partnership
- Patricia Bourne, Kimmel Housing Foundation, Glen Cove IDA Board member, Glen Cove resident
- Guy Calo, Sea Cliff Avenue business owner

- Curtis Cravens, Department of State
- Graham Long, certified Planner, Glen Cove CDA Board Member, local business operator
- Kelly Morris, Executive Director, Glen Cove CDA/ IDA
- Erin Reilley, Grant Administrator, Glen Cove CDA
- Richard Summa, City of Glen Cove Building Department Director

At the first Steering Committee meeting, held on March 5 2012, members were provided with an introduction to the BOA initiative, an outline of proposed goals, copies of deliverables drafted to date, and an opportunity to ask questions.

The second meeting, held on May 21, 2012, included a presentation of preliminary findings associated with the BOA. Demographic, property inventory and marketing information provided the group with a basic understanding of the target area and focus areas for potential development. Much of the ensuing discussion centered on the findings of the market/economic analysis, including concerns regarding competition for other operators in Glen Cove in relation to potential large-scale retail, concepts for addressing parking needs and auto-related uses along Cedar Swamp Road, and preliminary planning evaluations of strategic sites. The remainder of the meeting was devoted to a discussion of the format for the first Public Workshop.

The third meeting was held on June 22, 2012 and focused on reviewing and editing the proposed PowerPoint presentation for the first Public Workshop. The Steering Committee, as well as the Mayor reviewed the entire presentation. The format for the first public meeting and the public outreach component were also reviewed.

The fourth meeting was held on August 29, 2012. The meeting had several objectives including review and refinement of the proposed vision statement, consideration of the ideas generated from the Community Visioning Workshop, discussion of priority implementation goals for the BOA, identification of the key strategic sites, and potential implementation strategies for a Step 3 application. The Steering Committee also discussed the framework for the upcoming Community Design Workshop.

The minutes from each of the Steering Committee meetings are compiled in Appendix 4.4..

Public Workshops

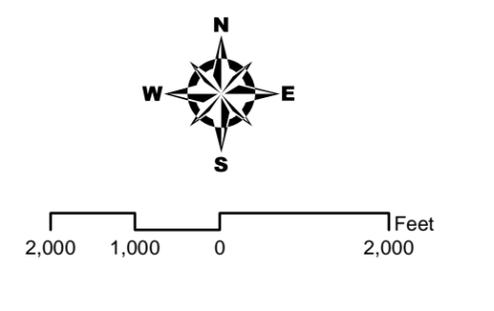
The first scheduled Public Workshop was held at Glen Cove City Hall on June 27, 2012. The meeting focused on introducing the BOA concept to the public, including target area property information – location, conditions, and preliminary market findings. The attendees were asked to consider a vision for the area and were encouraged to provide ongoing feedback throughout the process. The second Public Workshop was held on September 10, 2012 and was devoted to assessing opportunities and recommendations in four key areas: Transit-Oriented Development; Neighborhood Stabilization and Green Infrastructure; Transportation Enhancements; and Conceptual Development Designs. The content and results of the Public Workshops are described above in Section 2.1.2.



Legend

-  Brownfield Opportunity Area (BOA)
-  Municipal Boundary

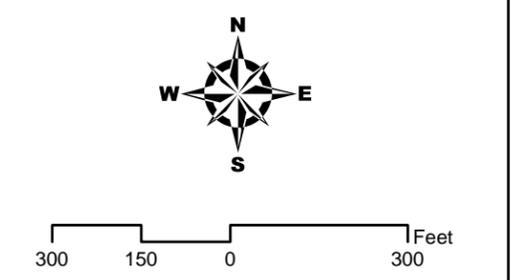
Figure 1
***The Orchard
 Brownfield Opportunity Area
 Preliminary
 Study Area Context Map***





- Legend**
- Brownfield Opportunity Area (BOA)
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - Railroad

Figure 2
***The Orchard
 Brownfield Opportunity Area
 Study Area Boundary***



Base Map Source: 2007 Glen Cove Orthophotography Imagery

3.0

Existing Conditions

3.1 Community and Regional Setting

The City of Glen Cove is located on the North Shore of Long Island in Nassau County. As reported by the 2010 Census, the City had a population of 26,964 and a total land area of approximately 6.655 square miles or 4,259 acres. Nassau County was one of the nation's first suburban communities, with its extensive growth after WWII serving as the prototype for the pattern of suburbanization that occurred across the nation in the latter half of the 20th century. Like the County, Glen Cove is a largely built-up, mature suburb. It has a distinct downtown center and commercial district, surrounded by a variety of primarily residential neighborhoods. Glen Cove also has a rich history, dating from initial purchase of the land from local Matinecock Indians in the 1600's, which contributes to its unique character. The mills that were established along the harbor and Glen Cove Creek soon after European settlement started the area's economic development as an industrial area. Over the years, shipping and other industries joined the mill activity and steamboat connections to New York City were established. With improved access to New York City, Glen Cove became a resort community and magnet for wealthy New York residents building summer homes and estates. Many of the immigrant laborers who came to build and service these estates or work in local industries settled in Glen Cove. This history helped create one of the most ethnically diverse communities on Long Island. This theme of diversity and immigration is still reflected in the Orchard neighborhood, which was settled by some of the City's earliest Italian immigrants. A number of these families planted fruit trees in the yards, producing the neighborhood's moniker. In recent decades, newer immigrants from Latin America have made the Orchard home.

Among the large local industries that historically drew laborers to Glen Cove were those on Sea Cliff Avenue, such as Photocircuits Corporation, which was one of the nation's first printed circuit board manufacturers. Photocircuits employed over 800 people at the time of its closure and bankruptcy in 2007, leaving behind a large section of the City's prime commercial real estate vacant and suffering from groundwater contamination.

The Orchard Neighborhood BOA is generally located along the southern border of the City of Glen Cove and consists of the area bounded by Cedar Swamp Road, the LIRR right-of-way, and

the southern property line of the industrial parcels on Sea Cliff Avenue. (Given property line configurations, a small part of the southern portion of the Orchard BOA is in the Town of Oyster Bay.) This area generally encompasses the area between the Sea Cliff and Glen Street LIRR stations, which includes the industrial area along Sea Cliff Avenue and the residential and mixed-use Orchard neighborhood, and is adjacent to one of the City's major gateways.

This area encompasses Census Blocks 3003-3012 within Census Tract 5172. These Census Blocks had a total reported population of 825 persons in 2010.¹ The 2000 Census reported 663 persons living within this area (Census 2000 Blocks 2005-2015). This represents a growth of approximately 24% over the decade. Income and employment data collected through the US Census' American Community Survey (ACS) indicates that median household income this block group was \$46,750 in 2010. This is substantially lower than the median household income for the City (\$73,624) and County (\$93,613) as a whole. The median gross rent in 2010 accounted for 50% of household income, indicating that approximately ½ of the Block Group's renter households are severely rent-burdened. In addition, over 30% of families within the Block Group have incomes below the poverty level. This is substantially higher than the family rate for the City as whole (approximately 10%.) The most common reported types of employment for the local population were building/grounds cleaning and maintenance occupations (21.5%), transportation and material moving occupations (19.4%), and production operations (11.2%) The unemployment rate is not reported at the Block Group level, but the unemployment rate for the larger Census Tract at the time of the 2010 Census stood at 5.6%.²

3.2 Physical and Environmental Inventory

The following sequence of narrative and maps presents the existing conditions in the Study Area for the following resource categories: Land Use and Zoning; Building Inventory; Parks and Open Space; Natural Resources and Environmental Features; Historic or Archeologically Significant Areas; Infrastructure; Brownfield Sites; Transportation Systems; Economic and Market Conditions; and Land Ownership.

3.2.1 Existing Land Use and Zoning

Figure 3 depicts land uses in the Study Area. The general pattern consists of single-family, two-family and multifamily residential use in the core of the Orchard neighborhood, with commercial activity along Cedar Swamp Road and the southern end of Hazel Street, and industrial activity along Sea Cliff Avenue. The Study Area also includes some commercial recreation facilities and a child day care center. In total, residential land uses account for approximately 9 acres, commercial land uses account for approximately 18 acres, industrial/former industrial parcels account for approximately 36 acres, community services account for 5 acres, and recreation and entertainment uses account for approximately 10 acres. It should be noted that the



¹ US Census Bureau, Census 2010.

² US Census Bureau, ACS 2006-2010 (5-Year Estimates); Social Explorer.

recreation/entertainment land use category includes primarily commercial recreation facilities, such as a fitness center and tennis training center. There are no designated parks or open space resources within the area. Of the total BOA area, over 21 acres or approximately 20% of the land area consists of parcels that are existing Superfund sites.

The current zoning designations are indicated on Figure 4, Existing Zoning. Residential districts include the R-4 – 6,500 – 7,500 square foot One and Two Family Residence District, a small area of R-3 – Quarter Acre Residential District, and the recently adopted – RIO-ON Orchard Neighborhood Redevelopment Incentive Overlay district. The R-3 District permits single-family homes, while the R-4 permits both single- and two-family homes. The RIO-ON overlay permits additional use flexibility and allows townhouses, multifamily and mixed-use developments provided they meet defined criteria. The RIO-ON was created specifically to incentivize redevelopment in the Orchard neighborhood, while providing contemporary setback and open space requirements to ensure new development enhances the character of the neighborhood. Density increases, up to a maximum residential density of 35 units per acre, are permitted in this district in exchange for provision of public amenities such as recreational facilities, streetscape improvements, structured parking out of substantial public view, and high-performance buildings meeting LEED Gold certification requirements. The principles, density and design standards are consistent with transit-oriented development (TOD) design concepts.

The only commercial zoning is a B-2 – Peripheral Commercial District along Cedar Swamp Road and Grove Street. The B-2 is intended to provide opportunities auto-oriented uses or uses that require larger parcels that may not be appropriate in the downtown. It permits a wide range of retail stores, services, and offices, the remainder of the BOA is zoned within I-1 and I-2 Light Industrial Districts. Both of these districts permit the same types of light industrial activity, with the I-1 having a minimum lot area of 20,000 square feet and the L-2 requiring a minimum lot area of 1 acre.

The area is not subject to any other special development controls (e.g., historic districts) or economic development designations.

3.2.2 Building Inventory

As indicated on the Building Inventory figure, the largest buildings in the BOA tend to be located in the industrial areas along Sea Cliff Avenue and the southern portion of Hazel Street and the commercial corridor along Cedar Swamp Road. The commercial buildings along Cedar Swamp Road are currently active with business such as car dealerships, a funeral home, a market and a fitness center. The Hazel Street buildings also contain active commercial uses. The former bowling alley building at the end of Carney Street has been demolished and is being redeveloped as a multifamily residential project. The buildings in the interior of the Orchard neighborhood are generally small one-, two- or multifamily residences. As described below under Strategic Sites, the key buildings within the Study Area in terms of redevelopment are the large vacant buildings along Sea Cliff Avenue. Given that the typical quarter-mile TOD area of influence extends to the north beyond the boundaries of the Study Area, it is conceivable that other properties outside of the Study Area could also be developed in accordance with TOD principles.

The key Sea Cliff Avenue buildings are abandoned industrial compounds, consisting of manufacturing buildings, assorted additions, and accessory buildings. The sites are generally deteriorating, with overgrown vegetation, debris, broken pavement, and abandoned storage drums in evidence. The large-scale vacancies and deteriorating property conditions combine to exert a blighting influence on the surroundings.

The buildings at 30 Sea Cliff Avenue (Pall Corp. site) have a total floor area of approximately 72,306 square feet. The former Photocircuits property at 31 Sea Cliff Avenue across the street to the south includes two large building groupings. The buildings closer to the street consist of approximately 95,093 square feet, while the rear buildings total approximately 76,142 square feet. The adjacent properties at 45 Sea Cliff Avenue (former Pass & Seymour site) similarly have several large vacant buildings. The buildings towards the street frontage total approximately 102,145 square feet. The rear building is approximately 53,578 square feet. The former Pall Corp. and Pass & Seymour properties at 30 and 45 Sea Cliff Avenue are in private ownership. As described below in Section 3.2.9, the ownership status of the former Photocircuits site at 31 Sea Cliff Avenue is unclear. The Nassau County IDA may have an ownership interest in the property. Given their scale and condition, prior usage, and environmental contamination history, it is likely that these building would be demolished rather than reused for redevelopment.

3.2.3 Parks and Open Space

As indicated on Figure 6, Parks and Open Space, there are no public parks or recreation facilities within the study area. The closest public recreation resource is the somewhat worn Pascucci Soccer Field owned by the City of Glen Cove adjacent to the Glen Street LIRR station in the northern portion of the study area. Another City-owned facility, Dennis Brian Murray Park, is located adjacent to the study area, but is effectively separated from the BOA by the LIRR right-of-way and the Glen Cove Arterial Highway. As a result, there is a relative dearth of accessible parks or open space to serve Orchard residents. This concern has been highlighted by the City's Parks Department, and was echoed by the public during the community engagement sessions. During the public outreach, members of the community indicated a need for at least a playground for children. The City's Recreation Director suggested that there was also a need in the community for an indoor sports complex.

3.2.4 Natural Resources and Environmental Features

Figure 7 identifies significant natural resources and environmental features. With the exception of wooded land along the LIRR and Glen Cove Arterial Highway corridors, the Study Area is a densely built-up community and contains a heavy proportion of impervious surfaces. The Study Area does include a stream corridor (Cedar Swamp Creek) and associated wetlands in the area to the west of the Glen Cove Arterial Highway. In terms of topography, these wetland/watercourse resources occupy the low point of the Study area. The land rises to the east, somewhat sharply in places adjacent to the Glen Cove Arterial Highway, reaching a high point in the center of the

residential Orchard neighborhood. There is another noteworthy grade change from the area near the northern end of Hazel Street down to the Glen Street Station.

As part of the background analysis for the Orchard BOA, a tree survey was prepared to provide a current conditions report on the fruit trees that were planted by the original inhabitants of the Orchard Neighborhood, and which led to the naming of the neighborhood (see Figure 7). The tree survey yielded more specific results for trees that could be surveyed from the public right of way and less specific details on trees that were deeper in the lots using visual information from the public right of way and aerial photography. As indicated on Table 1, there were approximately 67 trees that could be located within the public right-of-way, some of these were apple trees. In addition to the trees observed in the right of way, Table 2 identifies 14 separate areas where the survey team could not reach to get specific results, but where there was sufficient information to identify approximately 350 additional trees in a number of different species, including black cherry.

3.2.5 Historic or Archeologically Significant Areas

As illustrated on Figure 8, Historic and Archeologically Sensitive areas, both LIRR stations are included on the National Register of Historic Places. Large portions of Glen Cove, including a portion of the Study Area are within an archaeologically sensitive area. However, the extent of the previous development and disturbance within the Study Area limits the likely sensitivity of individual sites and the likelihood of finding significant intact and undisturbed resources.

3.2.6 Infrastructure

Figure 9, Infrastructure, identifies existing sewer and drainage lines, as well as manholes, catch basins and outfalls. Sewer pipes (operated and maintained by the Nassau County Department of Public Works) are present within all of the roadways within the BOA. However, the stormwater drainage system is more limited, with no drainage infrastructure present north of Carney Street within the heart of the residential Orchard neighborhood. As reported by many respondents at the Public Workshop, the infrastructure limitations, in combination with the grade changes to the south and west of the Orchard core and debris management issues contributes to regular localized flooding at the western end of Carney Street and along Sea Cliff Avenue proximate to the existing stream crossing. Water supply is provided by the Glen Cove Water Department. As indicated by the City's Director of Public Works, there are no known issues with providing water or sewer service to the BOA.

3.2.7 Brownfield, Abandoned and Vacant Sites

As part of this Nomination Study, an inventory of potential Brownfields within the Orchard BOA was conducted. Properties contained in this inventory are identified as "potential Brownfields" since current environmental conditions are not entirely known and inclusion is based solely on

Table 1 - Tree Survey (Trees Directly Surveyed)

| Map I.D. | Species | | DBH (inches) | Approximate Height (ft) | Map I.D. | Species | | DBH (inches) | Approximate Height (ft) |
|----------|-------------------|--------------------------------|--------------|-------------------------|----------|----------------|----------------------------|--------------|-------------------------|
| | Common Name | Scientific Name | | | | Common Name | Scientific Name | | |
| 1 | AMERICAN BASSWOOD | <i>Tilia americana</i> | 8 | 25 | 35 | BLUE SPRUCE | <i>Picea pungens</i> | 10 | 25 |
| 2 | JAPANESE MAPLE | <i>Acer palmatum</i> | 6 | 15 | 36 | BLUE SPRUCE | <i>Picea pungens</i> | 10 | 25 |
| 3 | AMERICAN BASSWOOD | <i>Tilia americana</i> | 24 | 70 | 37 | RED MAPLE | <i>Acer rubrum</i> | 16 | 60 |
| 4 | JAPANESE MAPLE | <i>Acer palmatum</i> | 8 | 25 | 38 | RED MAPLE | <i>Acer rubrum</i> | 16 | 60 |
| 5 | JAPANESE MAPLE | <i>Acer palmatum</i> | 8 | 25 | 39 | WHITE PINE | <i>Pinus strobus</i> | 12 | 35 |
| 6 | JAPANESE MAPLE | <i>Acer palmatum</i> | 6 | 25 | 40 | WHITE PINE | <i>Pinus strobus</i> | 12 | 35 |
| 7 | JAPANESE MAPLE | <i>Acer palmatum</i> | 2 | 25 | 41 | BLUE SPRUCE | <i>Picea pungens</i> | 12 | 70 |
| 8 | CRAB APPLE | <i>Malus sp.</i> | 3 | 25 | 42 | BLUE SPRUCE | <i>Picea pungens</i> | 14 | 70 |
| 9 | CRAB APPLE | <i>Malus sp.</i> | 7 | 30 | 43 | JAPANESE MAPLE | <i>Acer palmatum</i> | 12 | 55 |
| 10 | CRAB APPLE | <i>Malus sp.</i> | 7 | 30 | 44 | CRAB APPLE | <i>Malus sp.</i> | 6 | 35 |
| 11 | CRAB APPLE | <i>Malus sp.</i> | 5 | 30 | 45 | CRAB APPLE | <i>Malus sp.</i> | 6 | 35 |
| 12 | CRAB APPLE | <i>Malus sp.</i> | 14 | 65 | 46 | CRAB APPLE | <i>Malus sp.</i> | 5 | 35 |
| 13 | CRAB APPLE | <i>Malus sp.</i> | 3 | 20 | 47 | CRAB APPLE | <i>Malus sp.</i> | 6 | 35 |
| 14 | CRAB APPLE | <i>Malus sp.</i> | 4 | 20 | 48 | CRAB APPLE | <i>Malus sp.</i> | 5 | 35 |
| 15 | TULIP POPLAR | <i>Liriodendron tulipifera</i> | 18 | 70 | 49 | NORWAY SPRUCE | <i>Picea abies</i> | 10 | 55 |
| 16 | CRAB APPLE | <i>Malus sp.</i> | 2 | 20 | 50 | NORWAY SPRUCE | <i>Picea abies</i> | 10 | 55 |
| 17 | CRAB APPLE | <i>Malus sp.</i> | 2 | 20 | 51 | NORWAY SPRUCE | <i>Picea abies</i> | 2 | 55 |
| 18 | CRAB APPLE | <i>Malus sp.</i> | 3 | 20 | 52 | JAPANESE MAPLE | <i>Acer palmatum</i> | 12 | 60 |
| 19 | SILVER MAPLE | <i>Acer saccharinum</i> | 26 | 75 | 53 | SUGAR MAPLE | <i>Acer saccharum</i> | 10 | 60 |
| 20 | HONEY LOCUST | <i>Gleditsia triacanthos</i> | 30 | 75 | 54 | SUGAR MAPLE | <i>Acer saccharum</i> | 12 | 60 |
| 21 | HONEY LOCUST | <i>Gleditsia triacanthos</i> | 26 | 75 | 55 | SUGAR MAPLE | <i>Acer saccharum</i> | 16 | 60 |
| 22 | SILK TREE | <i>Albizia julibrissin</i> | 14 | 30 | 56 | SUGAR MAPLE | <i>Acer saccharum</i> | 8 | 55 |
| 23 | SUGAR MAPLE | <i>Acer saccharum</i> | 20 | 70 | 57 | SUGAR MAPLE | <i>Acer saccharum</i> | 12 | 60 |
| 24 | SUGAR MAPLE | <i>Acer saccharum</i> | 20 | 70 | 58 | NORWAY SPRUCE | <i>Picea abies</i> | 12 | 60 |
| 25 | SUGAR MAPLE | <i>Acer saccharum</i> | 16 | 70 | 59 | NORWAY SPRUCE | <i>Picea abies</i> | 10 | 60 |
| 26 | SUGAR MAPLE | <i>Acer saccharum</i> | 16 | 70 | 60 | SUGAR MAPLE | <i>Acer saccharum</i> | 16 | 60 |
| 27 | BLACK LOCUST | <i>Robinia pseudoacacia</i> | 14 | 30 | 61 | SUGAR MAPLE | <i>Acer saccharum</i> | 10 | 60 |
| 28 | BLACK LOCUST | <i>Robinia pseudoacacia</i> | 16 | 50 | 62 | SUGAR MAPLE | <i>Acer saccharum</i> | 14 | 60 |
| 29 | BLACK LOCUST | <i>Robinia pseudoacacia</i> | 8 | 20 | 63 | TREE OF HEAVEN | <i>Ailanthus altissima</i> | 6 | 60 |
| 30 | BLACK LOCUST | <i>Robinia pseudoacacia</i> | 12 | 50 | 64 | SUGAR MAPLE | <i>Acer saccharum</i> | 0 | 0 |
| 31 | BLACK LOCUST | <i>Robinia pseudoacacia</i> | 12 | 50 | 65 | SUGAR MAPLE | <i>Acer saccharum</i> | 0 | 0 |
| 32 | BLACK LOCUST | <i>Robinia pseudoacacia</i> | 14 | 50 | 66 | SUGAR MAPLE | <i>Acer saccharum</i> | 0 | 0 |
| 33 | BLUE SPRUCE | <i>Picea pungens</i> | 12 | 60 | 67 | SILVER MAPLE | <i>Acer saccharinum</i> | 14 | 60 |
| 34 | SILVER MAPLE | <i>Acer saccharinum</i> | 26 | 60 | | | | | |

Table 2 - Tree Survey (Trees Indirectly Surveyed)

| Estimated Area I.D. | Approximate Number of Trees | Species Composition | DBH Range | Average Height (ft) |
|----------------------------|------------------------------------|--|------------------|----------------------------|
| 1 | 30 | Black Cherry, Sugar Maple, Box Elder, Honey Locust | 2 to 28 | 75 |
| 2 | 40 | Sugar Maple, Black Locust | 12 to 24 | 75 |
| 3 | 12 | Black Locust | 18 to 22 | 70 |
| 4 | 6 | White Cedar, Black Locust, Red Maple | 8 to 14 | 60 |
| 5 | 12 | Northern Catalpa, Box Elder, Red Oak | 6 to 16 | 65 |
| 6 | 6 | Tree of Heaven, American Basswood, Sugar Maple | 12 to 18 | 65 |
| 7 | 15 | Sugar Maple | 6 to 16 | 65 |
| 8 | 25 | Box Elder, Sugar Maple, Northern Catalpa | 8 to 16 | 65 |
| 9 | 30 | Sugar Maple | 2 to 16 | 40 |
| 10 | 60 | Sugar Maple, Black Locust, Box Elder | 2 to 26 | 70 |
| 11 | 30 | Sugar Maple, White Pine | 6 to 16 | 65 |
| 12 | 8 | Sugar Maple | 8 to 12 | 55 |
| 13 | 80 | Box Elder, Black Locust | 6 to 20 | 60 |
| 14 | 5 | Sugar Maple, Black Locust, Blue Spruce | 12 to 18 | 60 |

publicly available information reviewed during this inventory process. The database was developed by utilizing available public information, including federal and state environmental databases, New York State Department of Environmental Conservation (NYSDEC) on-line records, Sanborn Fire Insurance Maps, and municipal information. Additional assessments of prioritized Sites may occur based on several factors including but not limited to existing environmental conditions, owner cooperation, and availability of funding. This inventory is meant to be a work-in-progress and will be updated as property-specific information becomes available from property owners.

As a first step, an environmental database search for potential Brownfields within the BOA utilizing FirstSearch™ Technology Corporation on-line database was requested. This database contains both state and federal listings of environmentally regulated properties. The FirstSearch™ report served as the initial inventory of properties known or suspected of having documented contamination within The Orchard BOA. The FirstSearch™ report contained numerous spill listings, the majority of which were considered to be insignificant releases of small quantities. These types of releases would not by themselves indicate a property is a potential Brownfield and therefore properties with spill listings were only incorporated into the GIS database if it was included in another database listing (such as a UST, LUST, or State site) related to the spill incident.

An online search of NYSDEC's website (<http://www.dec.ny.gov>) for properties in Glen Cove on the Site Remediation or Spills Database was conducted, in addition to identifying land uses of concern such as dry cleaners and auto body/auto repair identified through other planning research and investigation activities being conducted concurrently with the Brownfields inventory. Sanborn Fire Insurance Maps (Sanborn Maps) dated 1908 through 1972 for The Orchard BOA which were provided through the FirstSearch™ database request were also reviewed. Relevant information contained in the Sanborn Maps was also added to the GIS database.

The inventory identified numerous potential Brownfields in the initial Orchard BOA search radii. After evaluation and consolidation, a total of 27 potential Brownfields have been identified in The Orchard BOA. This includes the aforementioned four Superfund sites associated with the large-scale abandoned industrial users, as well as smaller properties that may present potential contamination concerns based upon their current or historic use, identified spills, or presence of leaking underground storage tanks. The sites that have been identified as potential brownfields total approximately 40.5 acres, accounting for more than a third of the study area.

As the Nomination Study progressed, several areas were identified as potential strategic sites for redevelopment. A more in depth review of currently available information for those areas was also conducted and the results are summarized below.

- **Manufactured Gas Plant/Glen Street Station Area**

This area is characterized by the historical presence of the Standard Oil Company, the MGP Site, and numerous automobile service and repair businesses. Historical maps show the presence of oil and gasoline tanks at various properties in the area. On line, and First Search summary

information indicates that some of the properties have no further action (NFA) recommended, however, the potential exists for petroleum related contamination to exist in this area.

- **200 Carney Street Vicinity**

Environmental research revealed that the former bowling alley area has had an industrial and commercial history. Available information indicates that a transformer spill at the former bowling alley site required NFA and a LUST Site abutting the former bowling alley has been closed. Sanborn Map reviews identified a junkyard abutting the former bowling alley Site to the north that operated from approximately 1915 through 1931. The potential exists for contamination to exist in the vicinity of the former bowling alley Site due to the historical junk yard and LUST site noted as abutting the property, however, NSYDEC indicates that the release on the former bowling alley Site, specifically, required NFA.

- **Glen Cove Child Day Care / Head Start Facility**

While no properties were identified for this area via FirstSearch™ and the Sanborn Maps did not include coverage of this area, the upgradient groundwater contamination associated with Pall Corporation, Photocircuits, and Pass & Seymour may represent an environmental concern to the site. The site hosts several wells which formerly provided a large portion of the City's water supply, but which were closed due to groundwater contamination.

- **Sea Cliff Avenue – North Side (Pall Corp.)**

The historical use of this property by various industrial tenants has resulted in contamination of surface and subsurface soil, and groundwater. Though several contaminants are present at the Site, the contaminants driving remedial actions appear to be related to Chlorinated Volatile Organic Compounds (CVOCs). The presence of CVOCs in soil and groundwater at this, and other upgradient sites, has resulted in a concern for contact with on-Site contaminated soils and a concern for contaminated vapor intrusion into on-Site buildings. Contaminated groundwater migration has reportedly caused/contributed to the closure of a downgradient well field on Carney Street. Information pertaining to the Site on the NYSDEC website indicates that the potential for exposure to soil vapor intrusion into structures on or near the Site will be evaluated and addressed as appropriate. The Site is listed as Active.

- **Sea Cliff Avenue – South Side (Photocircuits, Pass & Seymour)**

The historical use of the properties along Sea Cliff Avenue in the Study Area has included various industrial and commercial entities. These uses have resulted in contamination of surface and subsurface soil, and groundwater. The most significant contamination currently investigated and reported on involves the Photocircuits and Pass & Seymour properties. Investigations for other properties along Sea Cliff Avenue were not identified. Though several contaminants are present at the Photocircuits and Pass & Seymour Sites, the contaminants driving remedial actions appear to be related to CVOCs. The presence of CVOCs in soil and groundwater at these sites has resulted in a concern for contact with on-Site contaminated soils and a concern for contaminated vapor intrusion into on-Site buildings. Contaminated groundwater migration has reportedly caused/contributed to the closure of a downgradient well field on Carney Street. Remediation scenarios are being evaluated and the Sites are considered Active.

The complete Brownfield Inventory is included in Appendix 4.5. A summary of these potential Brownfields is provided in the Orchards Potential Brownfield Sites table at the end of this section. Figure 10, Potential Brownfield Inventory, identifies sites that are listed on the Environmental FirstSearch Databases (which include various listings such as the EPA's spill database, the EPA's list of potential Superfund sites, registered hazardous waste generators, and underground storage tanks).

3.2.8 Strategic Sites

As indicated on the Building Inventory figure, the largest buildings and sites are concentrated along the Sea Cliff Avenue industrial corridor. These represent a large proportion of Glen Cove's prime industrial real estate, and as large vacant parcels next to an arterial highway, have significant redevelopment potential. They present the greatest capacity to accommodate large development programs and the associated economic development potential. As a former industrial area, there is already significant infrastructure in place to support redevelopment. A number of these parcels are also potentially under public ownership or have partial interest by a public agency (Nassau County IDA), which increases the likelihood for cooperation and owner willingness to redevelop the sites in a manner consistent with the community vision. This area also has good public transit access, with the Sea Cliff LIRR station and various bus lines within close proximity, which were historically used by the employees who worked at these sites. The Child Day Care Head Start facility has also been identified as a strategic site because it serves a valuable community need, but occupies a site that is not pedestrian accessible to many of its constituents. The only entrance is a vehicular access from the southbound Glen Cove Arterial Highway. As a result, some families from the Orchard are required to make lengthy and unsafe trips with strollers that take them along the highway in order to make drop-offs and pick-ups. The current location is also directly adjacent to several Superfund sites. A relocation of the day care use to a more accessible site would also allow for assembling the parcel with the adjacent industrial properties for remediation and redevelopment. In aggregate, these strategic sites consist of approximately 26 acres of land.

Given the use, size of lots, and density of development within the residential Orchard neighborhood, the strategic sites are far more limited. The City of Glen Cove owns a lot on Capobianco Street, which may afford the potential for redevelopment as a park or other amenity use that would improve quality of life in a dense neighborhood that is currently underserved by parks and open space. The northern end of Hazel Street has also been identified as a strategic site. There is a grade change between the end of the street and the Glen Street LIRR Station to the north. The creation of an effective pedestrian connection through this area would have the potential to increase accessibility to the station from the neighborhood, increasing value for existing residents and enhancing the attractiveness of the neighborhood for transit-oriented development.

3.2.9 Land Ownership

The bulk of the land within the BOA is in private ownership. Public property owners include the City of Glen Cove and the Nassau County Industrial Development Agency. City of Glen Cove property includes a residential lot on Capobianco Street (approximately 0.13 acres), and the Day Care parcel to the west of Glen Cove Arterial Highway (approximately 2.8 acres). The Nassau County Industrial Development Agency owns or has an interest in a number of the parcels associated with the industrial property at 31 and 45 Sea Cliff Avenue (former Photocircuits sites). While the IDA is identified as the property owner on the assessment roll because it was party to an agreement that was defaulted on by Photocircuits. The IDA also owns the property at the south end of Hazel Street, which has been recently redeveloped as the Men on the Move storage facility. This property had formerly been a Photocircuits site that was also affected by environmental contamination. It was remediated and redeveloped with the assistance of the Glen Cove IDA, successfully returning a long-term brownfield to productive use. This significant achievement is indicative of the City's focus and commitment to redeveloping brownfield sites and represents a positive step for the Study Area. The Hazel Street parcel consists of approximately 2.4 acres. The Sea Cliff Avenue properties total approximately 23 acres.

There are a substantial number of private property owners within the residential Orchard neighborhood that own multiple lots. This contributes to the apparent heavy proportion of absentee owners in the neighborhood, and the perception that the neighborhood is suffering from disinvestment and inadequate maintenance. However, this condition also potentially provides opportunities for more efficient lot assemblage and more streamlined coordination of public and private revitalization efforts. Figure 12, Multiple Lot Owners Map identifies properties that appear to be part of groupings owned by individual owners. The following table identifies property information for all lots within the residential portion of the Orchard.

The City of Glen Cove maintains a landlord registry, which is intended to inventory and regulate rental units in the community. The registry currently indicates that there are 33 rental units in the area. However, based on Code Enforcement activity and neighborhood observation, it is likely that there are rental units within the neighborhood that are not yet accounted for on the registry or which represent illegal conversions.

3.2.10 Traffic, Transit, and Circulation

Existing Conditions

The study area is connected to the regional roadway network by Cedar Swamp Road and Sea Cliff Avenue and is bisected by Glen Cove Arterial Highway (NYS 107), a 4-lane, limited-access, State highway. The Study Area is also served by the Oyster Bay line of the Long Island Rail Road (LIRR) at its Glen Street and Sea Cliff stations, which are approximately 0.5 miles or less from any point in the Study Area. The #27 bus provides bus service through the study area. The following is a description of the roadways, sidewalks and intersections in the study area:

Glen Cove Arterial Highway: Glen Cove Arterial Highway (NYS Route 107) is a north-south, 4-lane, limited-access, State arterial highway which connects Northern Boulevard with the heart of Downtown Glen Cove. There is no access provided to the local roadways system in the study area and the roadway is elevated over Sea Cliff Avenue. The pavement is in fair condition; there are no sidewalks, no parking and adequate signing along the corridor. In its present condition, the roadway effectively serves as a conduit of traffic passing over the study area. However, this section of Glen Cove Arterial Highway forms a barrier to pedestrian traffic between the eastern and western portions of the study area. The Glen Cove Child Day Care is located on the west side of the highway, with access provided only via a right-turn in/right-turn out driveway on the highway. There is no convenient access from the residential neighborhood to the east and pedestrians are observed walking on the shoulder of Glen Cove Arterial Highway with their children in strollers to get to/ from the Center while cars pass them at high rates of speed.

Cedar Swamp Road: Cedar Swamp Road is a north-south, 4-lane, arterial Nassau County highway which connects NYS 107 with the heart of Downtown Glen Cove, and provides the eastern border of the study area. In 2010, a major traffic calming and pedestrian safety project on Cedar Swamp Road adjacent to the Orchard was implemented cooperatively by Nassau County and Glen Cove. Except for the absence of sidewalks along the southernmost portion of the road, the roadway pavement, curbs, sidewalk, drainage signing and striping along Cedar Swamp Road are all in excellent condition and comply with the applicable standards. Visual observations of peak-hour traffic operating conditions indicate that the corridor would benefit from improvements to the intersection of Sea Cliff Avenue and Cedar Swamp Road, including lengthening the northbound left-turn lane and improving the turning radii (especially the southbound right turn – the N27 bus runs along Cedar Swamp Road and Sea Cliff Avenue.) The sidewalks provide a comfortable and accessible environment to walk along the corridor to the Glen Cove LIRR station, which is located on Cedar Swamp Road at the north end of the study area. Signalized pedestrian crossings of Cedar Swamp Road are provided at Sea Cliff Avenue, 4th Street, Carney Street and Grove Street. On-street parking is provided along portions of either side of the roadway and, where provided, was observed to be fully utilized. Any increase in the intensity of development along Cedar Swamp Road should be accompanied with the provision of additional parking, including a small amount of additional parking to address any potential existing supply shortfalls.

Sea Cliff Avenue: Sea Cliff Avenue is an east-west, two-lane, minor-arterial, Nassau County roadway connecting Cedar Swamp Road with Prospect Avenue. The roadway appears to have been recently repaved and the surface is in good condition. There is a curb with an approximately 4.5-foot wide sidewalk along the north side of the road. The sidewalk does not comply with Americans with Disabilities Act Guidelines (ADAG) and is in need of replacement (under current statues, the abutting property owner is responsible). There is a curb but no sidewalk on the south side of the road. If improved, the sidewalk on the north side of the road would provide a comfortable and accessible environment to walk along the corridor to the Sea Cliff LIRR station, which is located on Sea Cliff Avenue at the west end of the study area. The number 27 bus runs along Sea Cliff Avenue and both of the bus shelters inspected needed significant repairs (replacement of the glass back panel). Except for its intersections with Prospect Avenue in neighboring Sea Cliff, Glen Cove Avenue and Cedar Swamp Road, all of the intersections along Sea Cliff Avenue are unsignalized (There is also a signal crossing of the railroad). There are no marked crosswalks across Sea Cliff Avenue in the study area. The roadway pitches down to the Cedar Swamp Creek from either end of the study area and there is some, although limited, drainage provided on the street. Future development along the corridor should include additional drainage, a sidewalk along the south side of the road, marked crosswalks at strategic locations and the replacement of the sidewalk along the north side of the road. There is currently no parking along Sea Cliff Avenue and little or no demand for parking. Future development along the corridor should provide adequate parking to accommodate demand, this could include widening sections of Sea Cliff Avenue to add on-street parking and activate the street. Current signing and pavement markings are suitable to accommodate current traffic volumes.

Hazel Street: Hazel Street is a north-south, 2-lane, local City Street. It runs up through the middle of the Orchard neighborhood from Sea Cliff Avenue. The southern portion of the street is commercially developed. The pavement appears to be in fair to poor condition and may need to be replaced. There are poor sightlines around the bend in the Hazel Street near Sea Cliff Avenue due to a fence along the abutting property. There are no sidewalks (except for the southernmost 200 feet), few curbs and little drainage along this section of Hazel Street, which is a reflection of its commercial nature. On-street parking occurs in a haphazard manner and few signs restricting parking are present. The upper (northern) portions of Hazel Street (above Carney Street) are residentially developed in nature and have curbs and sidewalks on either side, although many of the sidewalks are aging and will need to be repaired soon. The pavement condition along these portions of Hazel Street is also poor. On-street parking is permitted along both sides of the street and is in very high demand. Because the street, like most of the others in the residential component of the study area, is only 24 feet wide, parking on both sides of the street limits travel along the street to one direction at a time. Any future development along the street should be required to provide adequate on-site parking consistent with the new standards provided in the RIO-ON district. There is limited drainage and deteriorating signage along Hazel Street which the City should also seek to improve concurrent with any development proposals.

Carney Street: Carney Street is an east-west, 2-lane, local City street. It runs up from the floor of the Cedar Swamp Creek Valley to Cedar Swamp Road and has a very steep grade at its west end. The pavement is currently in good condition and there is adequate drainage provided on the east end of the street but none on the west end. A curb and sidewalk is provided along the north side

of the street which is in fair condition and appears to be ADAG-compliant. The south side of the street is generally curbed but has no sidewalk. Accessibility to the Glen Street LIRR station by foot from Carney Street is relatively good (sidewalks in fair to good condition and moderate grades along the sidewalk system), while to the Sea Cliff Station it is less so, due primarily to the lack of sidewalks and commercial activity on Hazel Street. Parking is permitted on both sides of the west end of the roadway but only on the north side of the east end of the roadways, due to width constraints, and appears to be in relatively high demand. Development along the street is predominantly residential and any future development should include adequate on-site parking.

Grove Street: Grove Street is an east-west, 2-lane, local City Street. It runs up from the floor of the Cedar Swamp Creek Valley to Cedar Swamp Road and has a very steep grade at its west end. The pavement is currently in fair condition and both sides of the street are provided with curb and sidewalks, which generally comply with ADAG standards and are in fair condition. Consequently, accessibility to the Glen Street LIRR station by foot from Grove Street is relatively good with sidewalks of moderate grade and in fair to good condition. However, the street has practically no drainage. Parking is permitted on both sides of the west end of the roadway but only on the north side of the east end of the roadways, due to width constraints, and appears to be in relatively high demand. Development along the street (except at its easternmost end) is predominantly residential and any future development should include adequate on-site parking.

Willow Street: Willow Street is an east-west, 2-lane, local City Street. It runs up from the floor of the Cedar Swamp Creek Valley to Hazel Street and has a very steep grade at its west end. The pavement is currently in fair condition and both sides of the street are provided with curb and sidewalks, east of Capobianco Street while a curb and sidewalk is only provided on the north side of the street west of Capobianco Street (only a curb is provided on the south side. ADAG-compliant curb ramps are absent at the intersection of Willow Street and Capobianco Street. Otherwise, accessibility to the Glen Street LIRR station by foot from Willow Street is relatively good with sidewalks of moderate grade and in fair to good condition. However, the street has practically no drainage, except at its very west end and the majority of stormwater runoff from the neighborhood ends up at this low point. Parking is permitted on both sides of the street. Development along the street is predominantly residential and any future development should include adequate on-site parking.

Capobianco Street: Capobianco Street is a north-south, 2-lane, local City Street. It runs a short distance from Willow Street to Grove Street. The pavement is currently in poor condition and both sides of the street are provided with curb and sidewalks, which are in fair to poor condition but generally ADAG compliant. No drainage is provided on the street and rainfall runs down to Willow Street. Parking is permitted on both sides of the street. Development along the street is residential and any future development should include adequate on-site parking.

Stanco Street: Stanco Street is a north-south, 2-lane, local City Street. It runs a short distance from Willow Street to Grove Street. The pavement is currently in fair condition and both sides of the street are provided with curb and sidewalks, which are in fair condition but generally not ADAG compliant. No drainage is provided on the street except at its south end, where it intersects with Willow Street, and rainfall runs down onto Stanco Street from Grove Street.

Parking is permitted on both sides of the street. Development along the street is residential and any future development should include adequate on-site parking.

Figure 14, Transportation Systems, identifies traffic signals, bus stops, and railroad facilities within the Study Area. The area is served by two stations (Sea Cliff and Glen Street) of the Oyster Bay Line of the LIRR. There are 17 trains per day on weekdays to and from Penn Station, with a transfer required in Jamaica. On weekends and holidays, there are 10 trains per day to and from Jamaica. Both stations are reasonably accessible by foot, however, sidewalk improvements are required to upgrade accessibility to the Sea Cliff station and there is a steep grade change and property restrictions between the neighborhood and the Glen Street station, requiring pedestrians to walk out to Cedar Swamp Road to get to the station. Bus service is provided along Cedar Swamp Road and Sea Cliff Avenue by the Nassau Inter County Express (NICE) # 27 bus, which connects Glen Cove with Hempstead. The bus shelters on Sea Cliff Avenue are in need of repair.

Parking in the area is in short supply, as many of residences and businesses in the area have no or inadequate on-site parking. As a result, there is a significant amount of on-street parking, which can lead to difficulties negotiating the area's narrow streets.

To summarize, the two primary streets providing access to the neighborhood, Cedar Swamp Road and Sea Cliff Avenue are in relatively good condition to serve vehicular traffic, as they have recently been resurfaced. Cedar Swamp Road also serves pedestrian traffic well. Neither road is particularly well suited to accommodate bicycle traffic. Pedestrian and vehicular access to the Glen Cove Child Day Care is extremely limited, and presents safety concerns. In general, the neighborhoods internal residential streets are old and while some portions of the roadway surfaces have been well maintained over time, the majority of the neighborhood's transportation infrastructure (sidewalks, drainage, and in some cases signing) is definitely showing its age. The available parking supply is limited in the neighborhood, and is in high demand by a number of users. Planned approval of any future development should seek to upgrade the neighborhoods infrastructure, not adversely impact parking and not dramatically increase the level of traffic activity on the narrow streets. Due to its proximity to the Glen Street station, with a reasonable investment in streetscape improvements, this neighborhood could be a very accessible transit-oriented community.

Future Issues and Opportunities

As indicated in the Economic and Market Trends Analysis in Section 3.4 and the Strategic Sites assessment, there are opportunities for redevelopment along Sea Cliff Avenue and near the Glen Street station in the north end of the Study Area. Potential scenarios could include:

- Transit Oriented Development (TOD) – typically high density residential with neighborhood-oriented commercial space on the ground floor;
- Light Industrial or Manufacturing – Essentially bringing back uses to the properties on Sea Cliff Avenue which would be very similar in operation to those that previously existing on those properties; and,
- Big Box Retail – redeveloping the vacant former light-industrial properties along Sea Cliff Avenue with big box-type retail.

Big Box retail typically generates substantially more traffic than either TOD or light industrial development, especially in the PM and on Saturday, when big box retail would generate 5 times as much traffic per acre. To a certain extent, the impact of this additional retail traffic could be negated if it had a local target market only (e.g., a supermarket) and not a regional market. If the properties along Sea Cliff Avenue were redeveloped for light industrial use, they would be expected to generate slightly more traffic than a TOD, unless the density of the TOD was very high (13 units per acre or higher with 10% of the units having ground floor retail). The least amount of traffic would be generated in the AM peak hour. Additional trips expected to be generated on the existing roadway system are calculated to vary from as few as 65 vph for low density (5 units/acre) TOD, to 210 vph for light industrial or TOD at 12 units per acre, to as many as 1500 additional peak-hour trips for 500 ksf of big box retail on 35 acres at a 0.35 FAR.

The impact of the additional residential or light industrial trips to the surrounding roadway network would be relatively modest by virtue of the relatively low level of traffic added and the fact that much of the subject property is already developed and redevelopment scenarios could have a comparable trip generation potential. However, many of the streets in the northeast quadrant of the intersection of Cedar Swamp Road and Sea Cliff Avenue are narrow and any more than a modest increase in traffic may require the removal of on-street parking or the designation of one-way streets to avoid internal congestion in the neighborhood.

For big box retail (and to a lesser extent the light industrial) the potential impacts of the additional traffic would be minimal north of Sea Cliff Avenue and 4th St/ Frost Pond Road by virtue of the fact that if the big-box retail's customers did not shop at the big box store located on Sea Cliff Avenue, they would travel along these same roads to and from their homes in the north to the nearest comparable Big Box store. In the case of light industrial use, if there were no facility on Sea Cliff Avenue, Glen Cove residents residing north of the area would likely alternate by driving past the area to work elsewhere. Thus, traffic analysis needs to focus on the intersections from Sea Cliff Avenue and Frost Pond Road south. A review of the Carney Street Apartments and Glen Isle traffic studies (prepared within the past few years for the applicants of those developments), revealed potential traffic concerns at the following intersections:

- Glen Cove Road and Glen Head Road (Congestion and Safety)
- Bryant Avenue and Wittes lane at Northern Boulevard in Roslyn (Safety);
- Glen Cove Road and Northern Boulevard (Congestion and Safety); and
- Glen Cove Road and Back Road/Mary Lane (Congestion, PM only).

Observations conducted during the peak AM and PM highway hours revealed lengthy queues on northbound Glen Cove Road (1,000 feet AM) and southbound Glen Cove Road (2700 feet PM) approaching Northern Boulevard. In addition, lengthy AM queues were observed on southbound Glen Cove Road at Glen Head Road (1200 feet) and on southbound Cedar Swamp Road at Northern Boulevard (approximately 1000 feet).

Any major increase in traffic through these intersections would require consideration of corresponding improvements and coordination/approval with the local jurisdictional agencies (New York State Department of Transportation, Town of Oyster Bay and Village of Roslyn).

As part of this nomination study, a visual account was made of the intersections of Cedar Swamp Road with Sea Cliff Avenue and Glen Cove Arterial Highway. Visual observations of peak-hour traffic conditions (both AM and PM) at these indications revealed reasonably acceptable performance (estimated at LOS C-D threshold). Queues of 275 feet (from Hazel Street to Cedar Swamp Road) were observed in the PM peak hour on Sea Cliff Avenue and queues longer than the available storage (180 feet) were observed in the PM in the northbound left-turn lane from Cedar Swamp Road to Sea Cliff Avenue. It was also noted that the turning radii are very tight at that intersection and the # 27 bus has difficulty making the turn from Cedar Swamp Road to Sea Cliff Avenue.

Based on field observations and a review of the available data, it is expected that additional traffic generated by TOD development or light industrial redevelopment of the properties along Sea Cliff Avenue would likely be able to be accommodated on the area roadway system without any major traffic impacts. Relatively simple improvements to accommodate this traffic could be lengthening the northbound left-turn lane on Cedar Swamp Road at Sea Cliff Avenue and improving the turning radii at the intersection, as shown on Figure 19.

Because big box retail could generate several times as much traffic as TOD or light-industrial development, major roadway improvements would be required to accommodate this additional traffic. Consideration was given to creating an exit off of the Glen Cove Arterial Highway directly to Sea Cliff Avenue to support the redevelopment of the Sea Cliff Avenue Strategic Sites. The creation of such an access is complicated by the proximity of the intersection of the Glen Cove Arterial Highway with Cedar Swamp Road (less than 600 feet) and the impact the additional traffic would have at that intersection. Initial investigations indicate that it may be reasonably easy to add a northbound exit ramp from Glen Cove Road/Glen Cove Arterial Highway to Sea Cliff Avenue opposite Hazel Street, although a narrow strip of property may need to be acquired and the buffer of trees between the Glen Cove Arterial Highway and the adjoining property would be eliminated. To provide additional capacity at the Cedar Swamp Road intersection, the northbound lane leading to this off-ramp would be developed before the Cedar Swamp Road intersection (see Figure 19).

Developing a southbound access from Sea Cliff Avenue to the Glen Cove Arterial Highway would require the creation of a fourth approach to the intersection of the Glen Cove Arterial Highway with Cedar Swamp Road. Additional capacity could be added to the southbound Cedar Swamp Road approach to the intersection, if necessary, by widening that approach to provide a third lane.

While it less likely that ramps connecting Sea Cliff Avenue to and from the north on the Glen Cove Arterial Highway (Ramps C and D in Figure 19) would be needed, they could probably be added more easily than the ramps to and from the south (although ROW acquisitions may also be required).

For the big-box retail alternative, it may also be necessary to add a third approach lane on Sea Cliff Avenue at Cedar Swamp Road, to accommodate the additional traffic. This would require the acquisition of the animal care facility located on the south side of Sea Cliff Avenue at that location.

An alternative to creating a grade-separated interchange at Sea Cliff Avenue would be to extend Carney Street to intersect with the Glen Cove Arterial Highway. This would require DOT approval and would require the construction of a new traffic signal on the Glen Cove Arterial Highway, along with pedestrian signal indications, crosswalks and sidewalks. If Carney Street is not extended to the Glen Cove Arterial Highway, a pedestrian bridge could be constructed to connect the eastern and western portions of the study area.

It is recommended that if the redevelopment of the subject area is to be advanced further, detailed traffic counts and intersection capacity analyses be conducted at the following locations:

- Cedar Swamp Road with Grove Street;
- Cedar Swamp Road with Carney Street (data already available);
- Cedar Swamp Road with Sea Cliff Avenue;
- Cedar Swamp Road with Glen Cove Arterial Highway;
- Sea Cliff Avenue with Hazel Street (data already available); and
- Sea Cliff Avenue with Glen Cove Avenue.

Budget Estimates

At a cost of \$50/linear foot to repair a sidewalk and \$75/linear foot to install a new sidewalk, it is estimated that it would cost approximately \$700,000 to replace all existing sidewalk in the study area (excluding sidewalk on Cedar Swamp Road) and to install new sidewalks where they do not currently exist. It is noted that much of the sidewalk in the study area was, based on visual observation, determined to be in fair condition and would not need to be repaired immediately. In addition, for most of the streets in the study area, there is no immediate need to have sidewalks on both sides of the street. It is estimated that the most immediate sidewalk needs (construct a new sidewalk on one side of Hazel Street south of Carney Street, repair sidewalks on Sea Cliff Avenue, Stanco Street and Capobianco Street and the North End of Hazel Street) would cost approximately \$250,000. The responsibility for maintaining and repairing sidewalks on City streets falls to the City of Glen Cove while the responsibility for maintaining and repairing sidewalks on County streets falls to the abutting property owner.

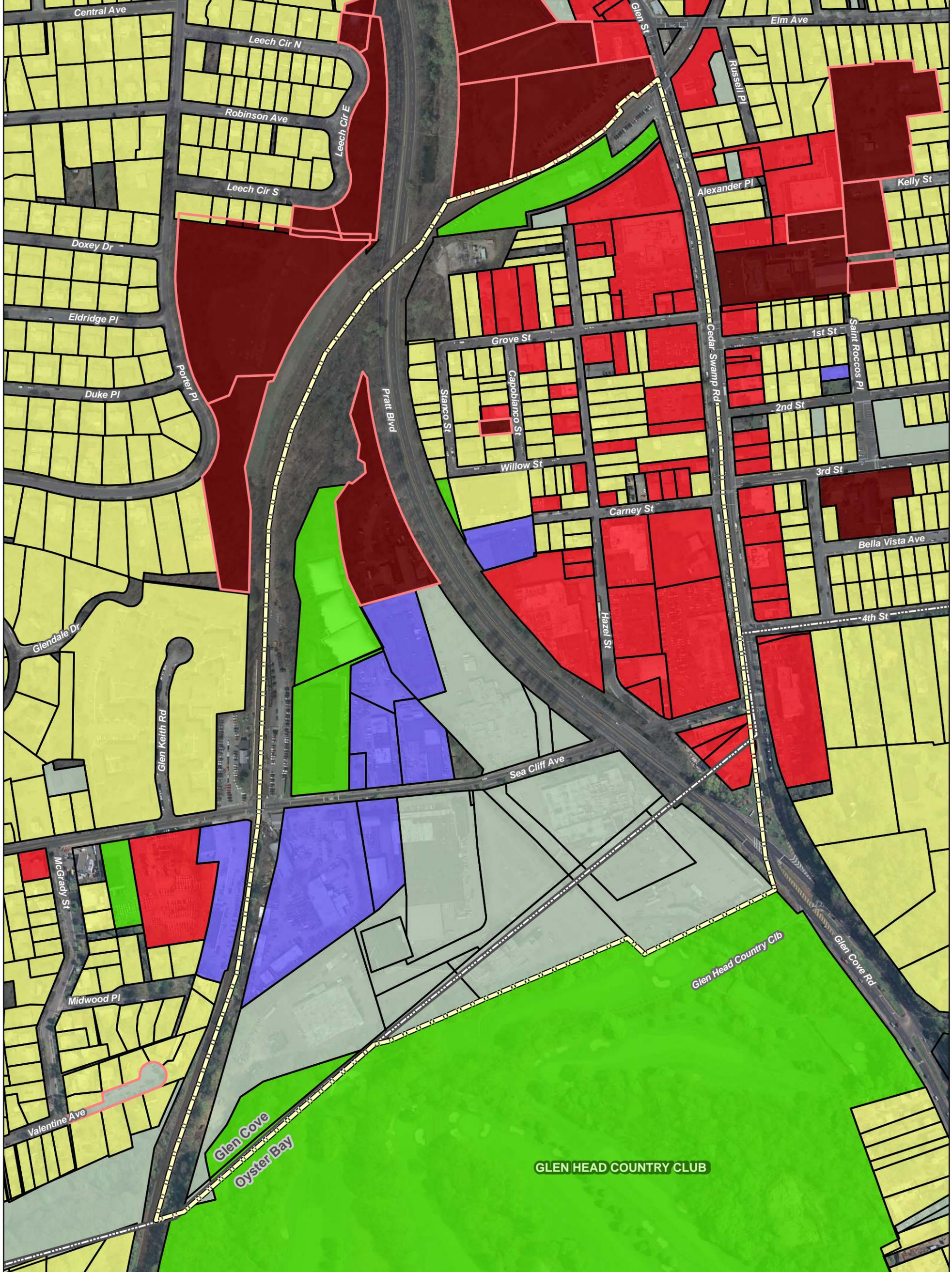
At a cost of \$30/linear foot to mill and overlay one 12-foot wide lane of a street, it is estimated that it would cost approximately \$250,000 to resurface all streets in the study area, which currently are in fair or poor condition. It is noted that many of the roadways in the study area were, based on visual observation, determined to be in fair condition and would not need to be repaired. It is estimated that the most immediate pavement needs (primarily Hazel Street, Capobianco Street) would cost approximately \$75,000 to repair.

Calculating the cost of installing drainage required to replace deteriorating system components or to supplement the existing system is not possible as inspection of existing subsurface conditions was not part of the scope of this work. However, since much of the residential neighborhood in the study area does not have in-street drainage and because not many catch basins were seen on Sea Cliff Avenue, it is expected that any drainage improvements would be more expensive than the pavement and sidewalk costs combined.

At a cost of \$250/linear foot, it is estimated that it would cost \$50,000 to extend the northbound left-turn lane on Cedar Swamp Road at Sea Cliff Avenue. It is further estimated that it would cost approximately \$15,000 to improve the turning radius at the northwest corner of this intersection and \$100,000 to improve the turning radius at the southwest corner of the intersection (because relocation of a traffic signal pole and a utility pole would be required). These costs do not account for the cost of Right-of-Way acquisition.

It is estimated that it would cost over \$1,000,000 to create a diamond interchange on NYS 107 to connect to Sea Cliff Avenue (if approval could be obtained from the New York State Department of Transportation). Just connecting Sea Cliff Avenue to and from the south on NY Route 107 would be estimated to cost roughly \$700,000, excluding any right-of-way acquisition costs.

The cost of extending Carney Street to intersect with The Glen Cove Arterial Highway (if approved by NYS DOT) is estimated at \$500,000. A new pedestrian bridge over The Glen Cove Arterial Highway at Carney Street would have a similar cost.

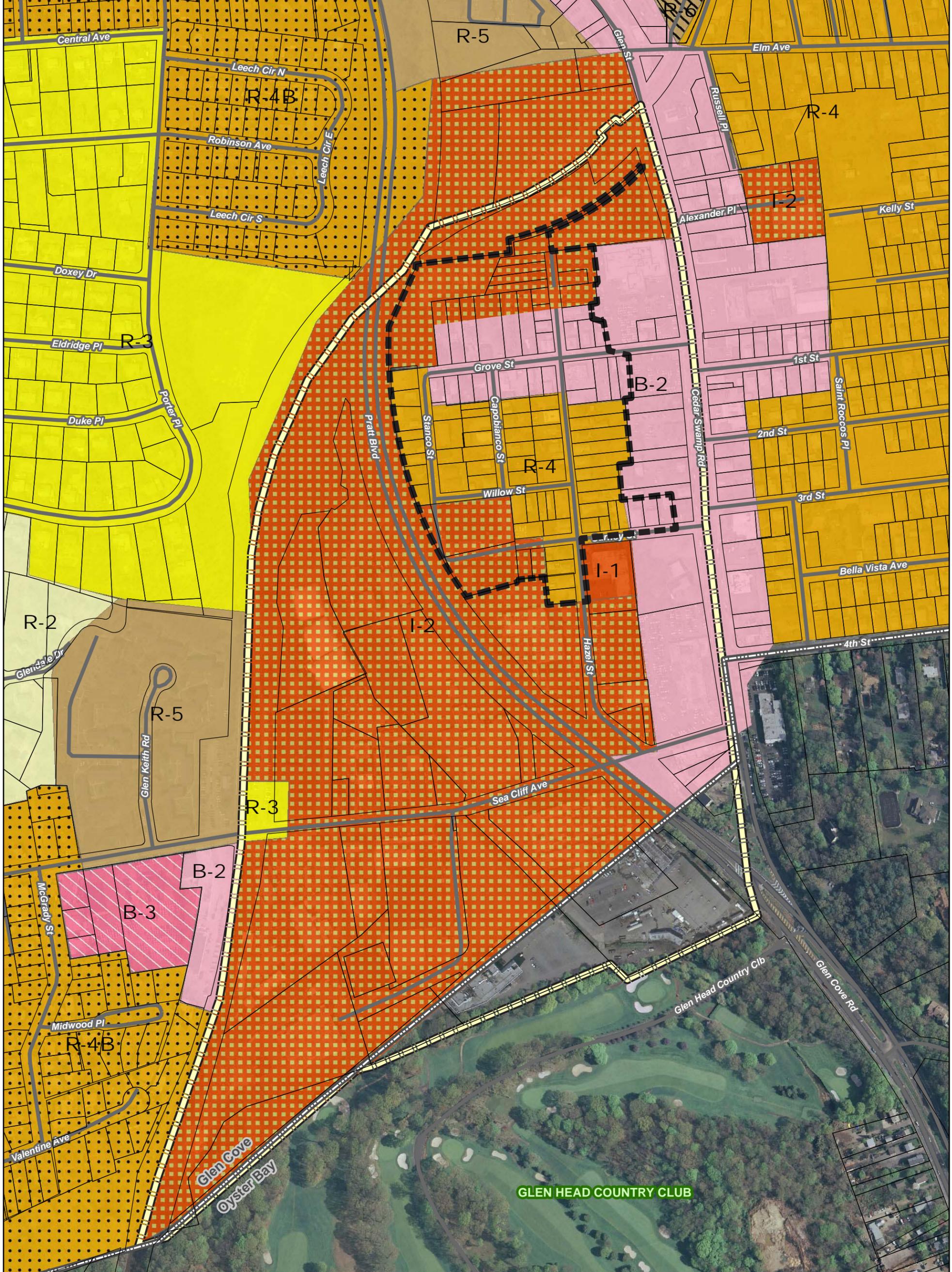


Legend

| | |
|---|-----------------------------------|
| RESIDENTIAL | BROWNFIELD OPPORTUNITY AREA (BOA) |
| COMMERCIAL | CITY OWNED PARCELS |
| COMMUNITY SERVICES | MUNICIPAL BOUNDARY |
| INDUSTRIAL | |
| PUBLIC SERVICES | |
| AGRICULTURE | |
| RECREATION AND ENTERTAINMENT | |
| WILD, CONSERVATION LANDS AND PUBLIC PARKS | |
| VACANT | |

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 3
The Orchard
Brownfields Opportunity Area
Preliminary
Existing Land Use Map

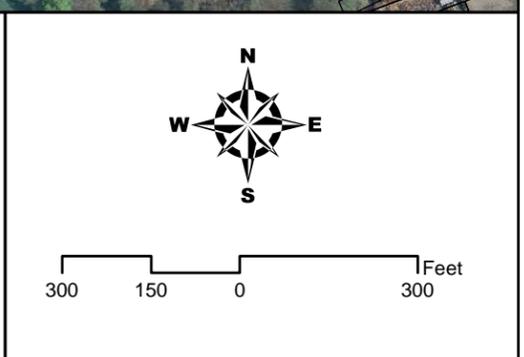


Legend

| | |
|--|------------------|
| R - 2 - Half-Acre Residence District | RIO - ON Overlay |
| R - 3 - Quarter-Acre Residence District | |
| R - 3A - 6,500 Sq Ft Single Family Residence District | |
| R - 4 - 6,500 - 7,500 Sq Ft One & Two Family Residence District | |
| R - 4B - 6,500 - 7,500 Sq Ft One & Two Family Residence District | |
| R - 5 - Garden Apartment - Office District | |
| R - 6 - Residence - Office District | |
| B - 2 - Peripheral Commercial District | |
| B - 3 - Quarter-Area Residence District | |
| I - 1 - Light Industrial District | |
| I - 2 - Light Industrial District | |
| Municipal Boundary | |
| Brownfield Opportunity Area (BOA) | |

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 4
The Orchard
Brownfield Opportunity Area
Preliminary
Existing Zoning Map





Legend

-  Buildings
-  Approximate Assessor Parcel Boundary
-  Brownfield Opportunity Area (BOA)
-  Municipal Boundary

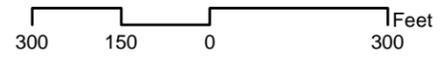
Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 5

The Orchard Brownfield Opportunity Area Preliminary Building Inventory Map



W N E
S



300 150 0 300 Feet

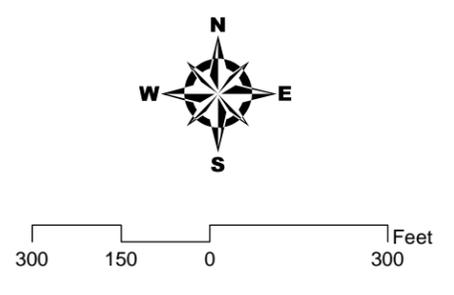


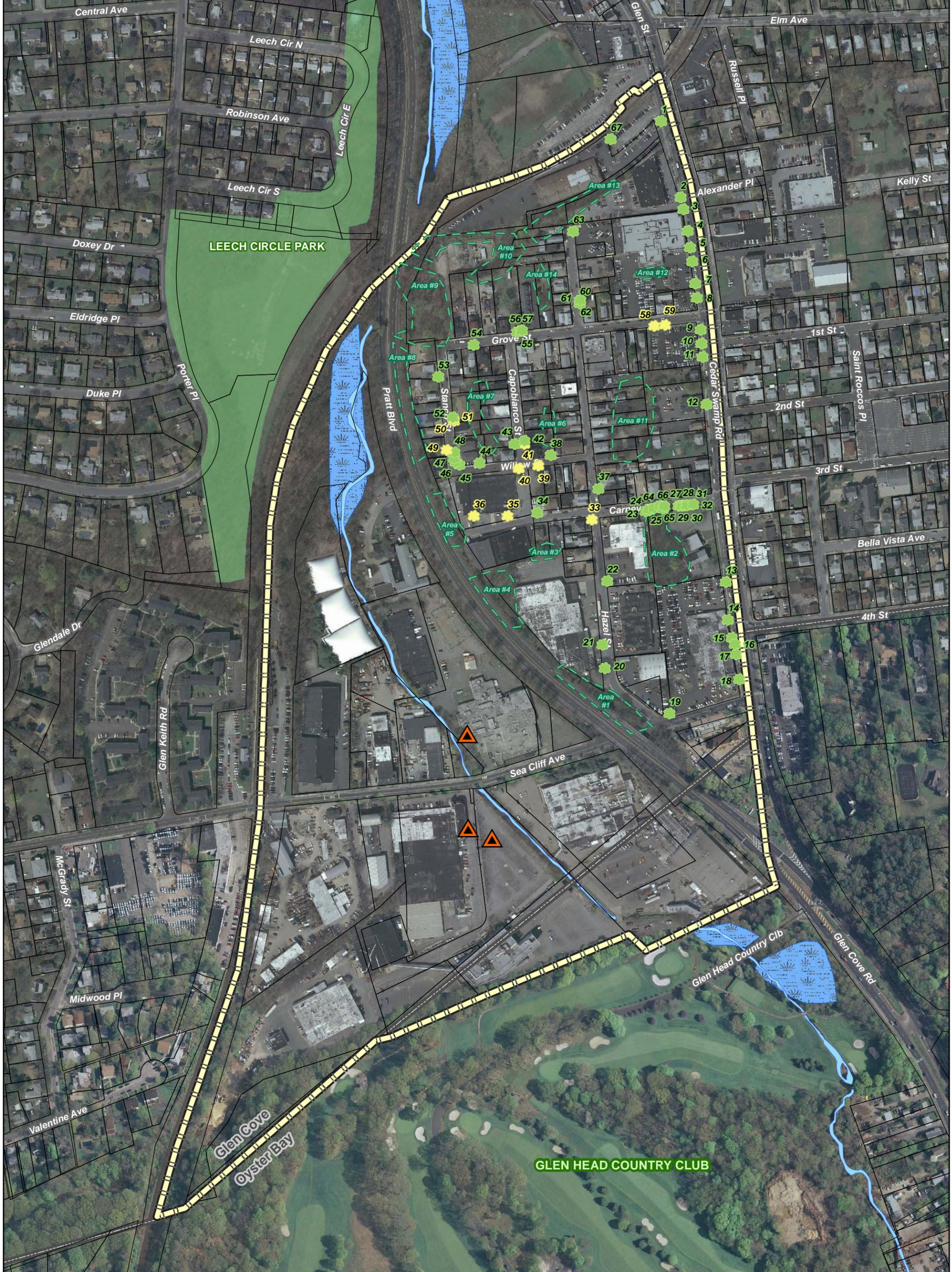
- Legend**
- Park/Open Space
 - Golf Course
 - Approximate Assessor Parcel Boundary
 - Brownfield Opportunity Area (BOA)
 - Municipal Boundary
 - Private Recreation

Base Map Source: 2007 Glen Cove Othophotography Imagery

Figure 6

***The Orchard
Brownfield Opportunity Area
Preliminary
Parks & Open Space Map***





Legend

- Hazardous Sites
- 100 - Year Floodway**
- Open Water
- Wetlands
- Parks
- Approximate Assessor Parcel Boundary
- Brownfield Opportunity Area (BOA)
- Municipal Boundary

Survey Trees
includes trees that could be surveyed from Public rights of way

- Deciduous
- Evergreen

** None in mapped area
Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 7
The Orchard
Brownfield Opportunity Area
Preliminary
Natural Resources, Environmental
Features and Tree Survey

W N E S

300 150 0 150 300 Feet



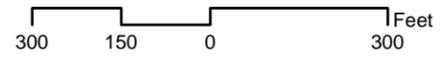
Legend

-  National Register Listed Historic Property
-  Archeologically Sensitive Areas
-  Brownfield Opportunity Area (BOA)
-  Approximate Assessor Parcel Boundary
-  Railroad
-  Municipal Boundary

Figure 8
The Orchard
Brownfield Opportunity Area
Preliminary
Historic & Potential Archeologically
Sensitive Areas



W N E S



300 150 0 300 Feet

Base Map Source: 2007 Glen Cove Orthophotography Imagery



Legend

- Drainage Catch Basins
- Drainage Manholes
- Drainage Outfalls
- Sewer Manholes
- Drainage Pipes
- Natural Drainage
- Sewer Pipes CWDB
- Stream Corridors
- Approximate Assessor Parcel Boundary
- Brownfield Opportunity Area (BOA)
- Municipal Boundary

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 9
The Orchard
Brownfield Opportunity Area
Preliminary
Infrastructure Map

300 150 0 300 Feet



- Legend**
- Brownfield Opportunity Area (BOA)
 - Potential Brownfield Inventory Property
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
- FirstSearch Database**
- CERCLIS
 - ERNS
 - LUST
 - UST
 - STATE
 - RCRACOR
 - RCRAGEN
 - RCRATSD
 - OTHER

Figure 10
The Orchard
Brownfields Opportunity Area
Preliminary
Potential Brownfield Inventory Map
Based on Environmental FirstSearch Databases

300 150 0 300 Feet



- Legend**
-  Brownfield Opportunity Area (BOA)
 -  Approximate Assessor Parcel Boundary
 -  Municipal Boundary
 -  Railroad
 -  Strategic Sites
 -  Strategic Area

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 11
The Orchard
Brownfield Opportunity Area
Strategic Sites



300 150 0 300 Feet

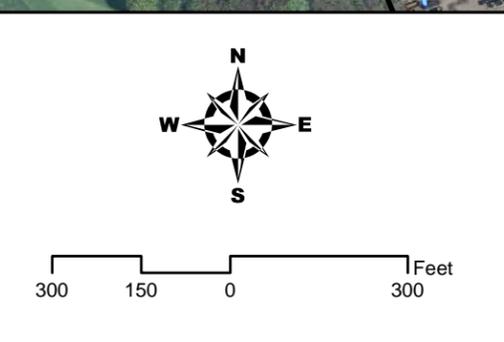


Legend

| | | |
|---------------------|-----------------------------------|--------------------|
| Multiple Lot Owners | MACCARONE | MUNICIPAL BOUNDARY |
| ABBONDANDOLO | MINICOZZI | |
| ANZALONE | PANTAZAKOS | |
| BENCIVENI | PETULLA | |
| COCCHIOLA | RENALDO | |
| CURCIO | SEKELSKY | |
| DELUCA | TORNICCHIO | |
| DIGIOVANNI | VILLATORO | |
| GALANTE | VILLELLA | |
| GALLO | BROWNFIELD OPPORTUNITY AREA (BOA) | |
| GRELLA | | |

Figure 12

***The Orchard
Brownfield Opportunity Area
Preliminary
Multiple Lot Owners Map***



Base Map Source: 2007 Glen Cove Orthophotography Imagery



Legend

-  MUNICIPAL BOUNDARY
-  BROWNFIELD OPPORTUNITY AREA (BOA)
- 149 TAX LOT NUMBER
-  BLOCK NUMBER

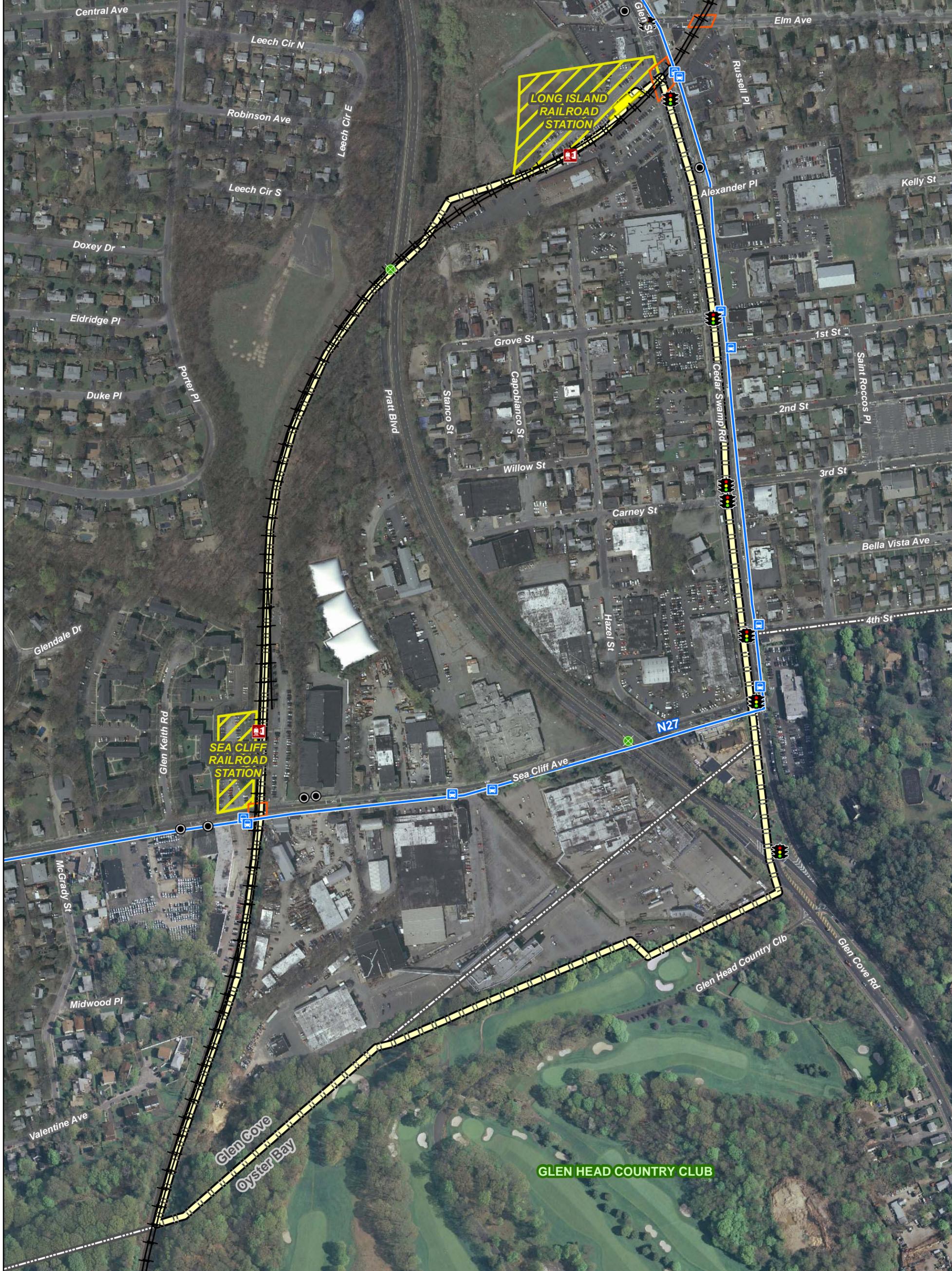
Figure 13

***The Orchard
Brownfield Opportunity Area
Preliminary
Tax Map***



150 0 Feet

Base Map Source: 2007 Glen Cove Orthophotography Imagery



| Legend | |
|--------|-----------------------------------|
| | Bus Stops |
| | Bus Routes |
| | County Traffic Signs |
| | Signal Intersect |
| | Bridges |
| | Railroad Stations |
| | Railroad Crossings |
| | Railroad Buildings |
| | Brownfield Opportunity Area (BOA) |
| | Municipal Boundary |

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 14
The Orchard
Brownfield Opportunity Area
Preliminary
Transportation Systems Map

3.3 Planning Context

The City of Glen Cove has taken an active approach to land use planning throughout the City. Recent planning activity includes the establishment of new zoning districts (including the RIO-ON Orchard Neighborhood Redevelopment Incentive Overlay), adoption of an updated Master Plan for the City of Glen Cove in 2009, a Downtown Gateway Revitalization Plan, and the Cedar Swamp Road Corridor Study, as well as public investments for a new ferry terminal, esplanade, and environmental cleanups along the Glen Cove Creek. In addition to these more recent plans/studies, the City has several urban renewal plans for specific neighborhoods that were prepared in previous decades, including the Orchard. The plans that include proposals directly related to the study area are discussed below.

Master Plan for the City of Glen Cove

The principal policy document that guides development and planning within the City is the 2009 Master Plan. The Master Plan is intended to provide a comprehensive look at the entire City, guide future growth, and shape or preserve the character of the city's neighborhoods over a 10-year period. The document is organized around goals and objectives in four topic areas: Neighborhoods; Connections; Downtown; and Waterfront, Parks and Natural Resources. While the Master Plan is a broad document that addresses various issues throughout the City, it also focuses on Areas of Change and Areas of Stability. For Areas of Stability, the plan focus is primarily on community preservation to ensure that infill development is consistent with the existing pattern. Areas of change are locations the plan has identified as providing opportunities to accommodate growth and support other community objectives. The Orchard neighborhood is one of the identified Areas of Change. The key recommendations from the Master Plan related to the Orchard neighborhood are summarized below.

The proposed land use plan for the Orchard states that efforts should be made to “Reinforce residential character, [and] provide incentives for targeted new residential development.” The plan also suggests preservation of the City's existing light industrial pockets, including along Sea Cliff Avenue and within the Orchard neighborhood, by maintaining industrial zoning to keep some non-service employment opportunities within the city.

The Neighborhoods discussion notes that some city neighborhoods, including the Orchard exhibit a distressed character:

On the other end of the housing spectrum from the estates are older residential neighborhoods that are struggling with issues of overcrowding and illegal uses. These areas could benefit from better maintenance, management and reinvestment, which are stymied by a high rate of absentee landlordism. In the older neighborhoods and more densely populated parts of town like the Landing and the Orchard, the City has increased its code enforcement activity in response to illegal subdivision of homes and overcrowding issues. Unfortunately, some areas of Glen Cove are defined by their distressed housing stock. (page 46.)

One of the supporting Neighborhood policies is to “accommodate a diverse population by providing a variety of housing options, in terms of type, affordability and tenancy.” (page 51.) The plan suggests that these new housing types should be focused in the Areas of Change and that revised zoning regulations could encourage targeted residential development that could strengthen existing neighborhoods, such as the Orchard.

For example, if the Orchard neighborhood was rezoned from a Business to Residential classification (excluding Carney Street, Cedar Swamp Road and Hazel Street), it would ensure a consistent residential character. In addition, in specific neighborhoods, it may be strategic to create a ‘Residential Improvement Overlay District’ to encourage redevelopment through higher density and provide further density incentive for homeownership model. (page 53.)

The Plan also emphasizes in its Connections policies that the Orchard should be a focus for public investment and attention:

Provide additional public investment to the streetscape in distressed neighborhoods. A few neighborhoods and areas are struggling with a number of issues. Sidewalk repair and other streetscape improvements would be a revitalization tool. Public investment would encourage private investment in neighborhoods that have distressed housing inventory. The Orchard neighborhood should be the top priority that should be coordinated with housing reinvestment and stricter enforcement.

The Master Plan also notes challenges related to overcrowding and illegal uses in the Orchard and identifies several strategies to address these conditions.

4. Develop creative strategies to address issues of overcrowding and illegal uses in struggling neighborhoods.

Review existing zoning and consider reductions in the density and dimensional standards currently permitted. In some areas, it is appropriate to no longer allow the conversion of single-family homes to multi-family units. Where lot sizes are small to begin with, similarly, a reduction in allowable density should be considered where current dimensional standards would allow multiple stories in contrast with an actual development pattern that is primarily one to two stories. Nonetheless, incentive zoning (allowing increased density) should be utilized on specific sites in a distressed neighborhood, like the Orchard. While many properties will be rehabilitated over time, the greater density will encourage new development on strategic sites where more significant development is appropriate. (One example is the bowling alley site located at 200 Carney Street.)

Provide grants or low-interest loans for home improvements. Potential County, State or private loans (e.g., bank loans in connection with the Community Reinvestment Act) can be very effective when properly advertised and administered in helping homeowners to improve their appearance. Preference is typically given to projects that impact street-facing facades, like painting and porch repairs. Programs to improve the energy-efficiency of homes should also be considered, as they can lower the overall cost of operating the property.

Provide carrots and sticks to bring nonconforming properties into compliance with City requirements. Consistent with State law, non-conforming uses are allowed to continue, and mandated amortization of non-conforming uses is confined to only high nuisance uses, such as pornography, and even then under prescribed circumstances.

However, nonconforming uses, which include the division of single-family homes into multiple units, can generate substantial impacts on neighborhoods, especially when repeated on a large scale. These properties should be held to strict zoning standards and should be required to receive special permits for any expansion or modifications as a way to encourage their eventual conversion back to conforming status. Properties that are nonconforming in terms of dimensional standards, like setbacks or building height, generally pose lesser problems and, in fact, are very prevalent in many of the older areas. More flexibility should be provided for these properties so that a disincentive to investing in older areas is not created.

In addition to such “sticks,” incentive zoning that allows for some sort of increased density (above the legal minimum) or other benefit should be considered. Because multiple units provide a financial reward to the property owner, a program that allows the owner to replace lower-quality units with higher-quality (but fewer) units that can match or exceed current rental income should be investigated.

Another potential incentive would be to provide an amnesty period, including discounts on fees for building permits or other charges, to encourage owners to bring their properties into conformance.

Consider licensing of rental units, allowing for regular inspections and ability to withhold or withdraw a Certificate of occupancy. A program requiring a valid rental license should be studied from planning, practical and legal perspectives. Issuance of a permit would require an inspection to certify that the property conforms to relevant standards. The cost of the inspection could be rolled into the permit cost, limiting the actual cost to the City. In addition, the licensing program would provide an additional enforcement tool, as a permit could be revoked for violations of the relevant standards.

Improve the regulatory capacity of the City to deal with illegal units and other enforcement issues. The illegal conversion of existing residences into multiple dwelling units is a significant concern. Potential secondary adverse impacts caused by residential overcrowding (single-family or two-family residential structures being utilized as multi-family residences; and / or units being occupied by more than one family) include, but are not limited, to the following:

- Poor exterior maintenance of structures
- Inoperative vehicles
- Commercial vehicles
- Overgrown yards
- Accumulation of trash and debris
- Improper storage of garbage
- Construction without permits.

The Mayor and Council have determined that the use and occupancy of illegal residential apartments are detrimental to the general health, safety and welfare of Glen Cove. The City has established a hotline to report violations and has stepped up enforcement activities. The full range of enforcement tools should be available. Financial penalties should be focused on the landlord as the one profiting from the situation, and not the tenant. In order to increase the severity of the penalty for repeated Building Code violations, the City might want to explore whether it is possible to charge the property owner with a misdemeanor, for example in connection with the same code violations three times within a two-year period. A housing task force should be created to monitor illegal housing, and to determine how to provide appropriate affordable housing opportunities.

Address absentee landlord issues. *Sometimes a property may fall into violation because the landlord does not live within the property's local area, and is less likely to be aware of poor building and / or property conditions. For this reason, the City should consider requiring absentee landlords to register each property they own in Glen Cove and name a local agent who could be notified of violations of the City's nuisance and building codes. The objective of the registry would be to establish a formal mechanism to ensure out-of-area landlords are held accountable for the condition of their properties. (pages 56-60.)*

Orchard Neighborhood Revitalization Plan

In 2002, the Glen Cove CDA initiated a study to determine whether the Orchard neighborhood qualified as a blighted area in accordance with the provisions of Article 15 of the General Municipal Law. The study focused on the area west of Cedar Swamp Road, north of Sea Cliff Avenue, east of Glen Cove Arterial Highway and south of the LIRR right-of-way. The study evaluated a number of factors including obsolete and dilapidated structures, sanitary facilities and fire or safety protection, illegal uses, maintenance levels, underutilization, excessive population, obsolete utilities, parking and circulation challenges, and impractical street conditions and patterns. The study concluded that there was sufficient evidence of blight to declare the area as a "substandard or insanitary area."

A subsequent revitalization study drafted in 2003 identified a number of goals and objectives for revitalizing the neighborhood, including, among others:

- *Achieve a vibrant and viable neighborhood for safe and healthful living including adequate living space as well as on-site recreational area and vegetated "green" spaces.*
- *To promote and enforce minimum sanitary and safety standards*
- *To eliminate existing illegal uses and conversions*
- *To encourage reinvestment in real property through the replacement of substandard or obsolete buildings and land uses*
- *To provide amenity businesses to support the safe and healthful residential occupancy of the neighborhood while enhancing the reliance on pedestrianism*
- *To provide opportunity for neighborhood recreation and open space through the establishment of a neighborhood park, community center, and/or recreational programs*
- *To continue and enhance existing opportunities for senior housing.*

- *To continue and enhance existing affordable rental and affordable home ownership opportunities.*
- *To encourage interaction between the residential/nonresidential uses in terms of employment opportunities.*
- *To eliminate deficiencies in road network infrastructure*
- *To eliminate obstructions to access by emergency services by mandating off-street parking and providing shared parking in order to eliminate on-street congestion*
- *To enhance access to the LIRR and provide a unique interface between Orchard residences and the rail station.*
- *To continue and enhance the human scale built environment, and to promote the introduction of Orchard specific architectural details.*

A proposed land use plan, generally divided into three areas, was prepared to support these goals. The land use plan suggested allowing a greater variety of residential housing types at higher densities in the core of the neighborhood; commercial retail, service and office along Cedar Swamp Road and at the bowling alley site; and heavy commercial/light industrial in the southern portion of the Orchard. The residential core zoning would permit single-family, two-family, townhouse, and planned residential development and include dimensional regulations designed to be appropriate for the compact lots in the neighborhood. The commercial and industrial land use categories were generally designed to reflect the types of uses and densities already permitted in the underlying zoning.

The plan also recommended adoption of supporting zoning amendments, which would include incentives coupled with architectural design standards and landscape criteria to encourage reinvestment and ensure that new development meets the land use plan goals, is of good quality, and reflects architectural styles of the neighborhood and/or region. The plan also recommended that the zoning be revised to require that one- and two-family homes that receive funds from the City be subject to a legal mechanism that requires the owner to occupy the structure. Non-residential districts were also suggested to be revised to include requirements for buffering and landscape screening to improve their relationship to nearby residential properties.

Other implementation recommendations included concentrated building department enforcement and condemnation and acquisition by the City of lots that pose immediate danger or that are not brought up to Code standards within a reasonable time period; issuance of RFPs for redevelopment of any lot(s) the City acquires; use of alternative paving materials in specific locations to slow traffic, decrease impervious surface and provide a unique neighborhood look; installation of sidewalks, curbs and street trees on both sides of the streets throughout the entire neighborhood; creation of an emergency access connection at the north end of Hazel Street; negotiation with the NYSDOT to grant access to the bowling alley site directly from Glen Cove Arterial Highway; creation of a program to provide maintenance assistance to elderly residents; and consider mechanism to provide property tax incentives to businesses that employ local residents (such as NYS Empire Zone designation.)

Adjacent Area Studies

The Downtown Gateway Revitalization Plan and Cedar Swamp Road Corridor Study are focused on areas directly adjacent to the Orchard neighborhood. The Downtown Gateway Revitalization Plan is intended to promote the downtown as a central business district and enhance its connection to the City's waterfront, and the larger region. Issues addressed in the report include accessibility, roadway improvements, density, and economic development conditions and strategies. Although focused primarily on the downtown core and a primary waterfront gateway, the Plan also acknowledges secondary downtown gateways at the Cedar Swamp Road/Pearsall Avenue and North Lane/Brewster Street intersections. The recommendations include, among others: redeveloping the gateway areas with enhanced landscaping, additional street furniture, lighting, and other streetscape design features; the creation of public plazas to serve as hubs of activity; the development of building design guidelines and the encouragement of property owners to include appropriate decorative elements and façade enhancements; the encouragement of active ground floor uses and additional moderately priced residential development in the downtown core; and the revision of parking standards to incorporate shared parking concepts and a fee-in-lieu program for projects in the vicinity of public parking garages.

The Cedar Swamp Road Corridor Study was focused on generating strategies to improve pedestrian connectivity, traffic circulation, and economic vibrancy along the gateway corridor and improve the corridor's "sense of place". Recommended roadway improvements included landscaped medians; new pedestrian-scale street lighting and energy efficient LED traffic lights; new curbing, sidewalks, ADA compliant crosswalks and storm drains; textured sidewalks and curbs; and installation of street furniture that is consistent with the design of downtown amenities. This Study resulted in a major traffic calming and pedestrian safety project on Cedar Swamp Road adjacent to the Orchard, implemented cooperatively by Nassau County and Glen Cove.

3.4 Economic and Market Trend Analysis

3.4.1 TOD Case Study Background

RESGroup compared the area around the Glen Street Station under consideration for Transit Oriented Development (“TOD”) in the Orchard BOA, to three other TOD locations in the New York metropolitan area. These three TOD case studies were selected with representatives of the City of Glen Cove, based on selection criteria identified in this analysis, with the intention of guiding future development in Glen Cove.

3.4.1.1 What is a TOD?

TOD has been described in a variety of ways over the last several years since the concept of increasing density near transit nodes has been recognized as a way to reduce suburban sprawl. This approach to planning minimizes greenhouse gas emissions while providing pleasant places for people to work, live, and play. For the purpose of this analysis, a TOD is defined as follows:

A mixed-use development within walking distance – or approximately a half mile – of transit stations. It is typically of a higher density than development in the surrounding area and it strives to achieve most, or all of the following performance goals:

- *Increase mass transit usage to areas with high density development and opportunities for employment, education, entertainment, recreation, shopping, and living.*
- *Improve the “efficiency” of the location by providing convenient pedestrian and bicycle access to passenger intermodal transit options that are frequently available to and from a variety of destinations.*
- *Minimize usage of personal motor vehicles.*
- *Create sense of place by providing a variety of local housing types, retail uses, office and public uses*
- *Increase local employment*
- *Generate revenue for the public and private sectors and provide value for both new and existing residents*
- *Reduce the amount of land devoted to parking through shared parking among uses, allowing developers to take advantage of the resulting savings in development costs.*

3.4.1.2 Glen Cove TOD Area of Consideration

The focus of this TOD case study analysis is the half mile radius surrounding the Glen Street Long Island Rail Road Train Station. Since the Glen Street Station is at the northern end of the BOA study area, a portion of the TOD area under consideration is located beyond the northern

boundaries of the BOA study area. While the portion of the TOD area that falls within the BOA may benefit from TOD planning, the areas beyond the BOA within a half mile of the station are also expected to spur opportunities for increased development.

However, the area of focus for this TOD analysis is the northern portion of the neighborhood known as The Orchard and generally covers the area between Grove Street and the Glen Street Long Island Rail Road Station and between Cedar Swamp Road and Glen Cove Road (a.k.a. Pratt Boulevard or State Route 107). This area was selected because of its proximity to the Glen Street Station and the number of vacant or underutilized sites that may present opportunities for redevelopment or adaptive re-use within the BOA. It is anticipated that these potential development sites would be a catalyst for other TOD projects elsewhere in the Orchard neighborhood and beyond.

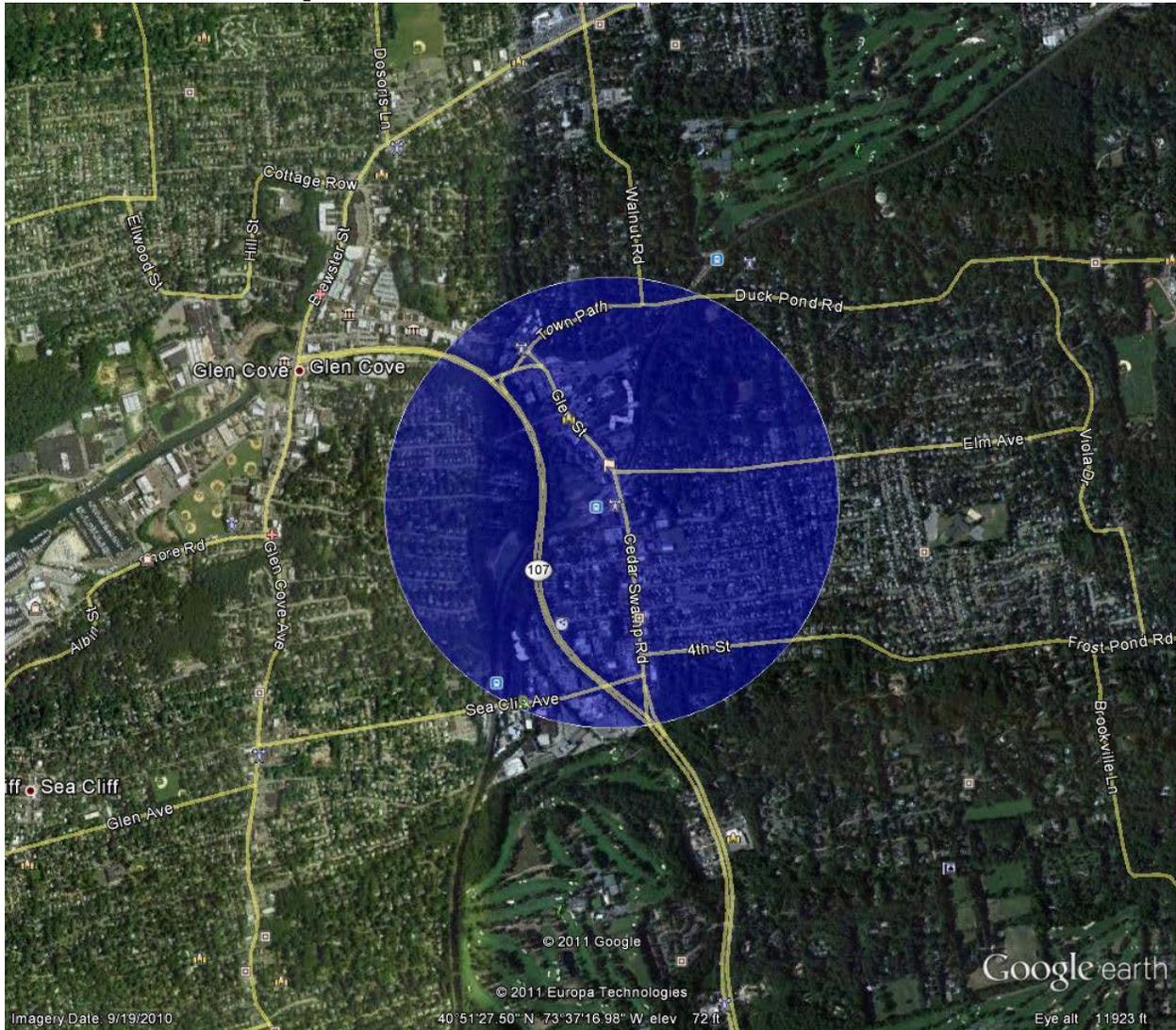
There may be other potential opportunities within the TOD to improve bicycle and pedestrian access to the Glen Street Station from the Orchard neighborhood, potentially increasing demand for mass transit use and retail use near the Glen Street Station area. Other changes being considered include:

- Creation of a zoning overlay in the Orchard neighborhood that would permit increased density of development for residential uses within a quarter mile of the station.
- Increased bus service to the surrounding communities improving the “inter-modal” character of the station.
- A trolley to and from the waterfront and downtown could also serve to increase demand for transit.
- Over time, creation of shared parking facilities for the train station and surrounding mixed uses.

These improvements will increase the attraction of the residential population, demand for retail, and would likely increase demand for transit use in the area, which may in turn, cause the MTA/LIRR to consider increases in transit frequency. The combination of increased transit demand and increased service further improves the chances of successful implementation of TOD.

The following map indicates the 0.5 mile radius from Glen Street Station’s TOD area:

Map of 0.5-Mile Radius from Glen Street Station



3.4.1.3 Existing Conditions in Glen Cove

Types of Transit, Frequency of Service, and Travel Time to Manhattan

Train

The Long Island Rail Road (“LIRR”) runs 17 daily trips on weekdays from the Glen Street Station to Manhattan on the Oyster Bay Branch. Typical travel times are approximately one hour. Since the tracks on the Oyster Bay branch are not electrified, a transfer is required (either at Mineola or Jamaica).

The train station is located on the north side of the tracks. There is no ticket office but the waiting room is open daily from 4:30 am to 2:00 pm. A ticket machine is located on the NYC-bound side of the tracks only (adjacent to the train station). Elevated platforms are located on both sides of the tracks to allow boarding and disembarkation in both directions. Public surface parking is available on both sides of the tracks.

The next nearest stations are Sea Cliff, 0.5 miles to the west, and Glen Cove, 0.6 miles to the east. A residential mixed-use development in proximity to the Glen Street Station may increase ridership despite the proximity to the adjacent stations. The trolley connections to downtown and the waterfront are also likely to make the Glen Street Station more desirable due to intermodal and downtown accessibility reducing the reliance on autos.

Based on a 2006 New York Times article, there were 120 daily commuters from the Glen Street Station, with 125 parking spaces^{3,4}.

Discussions with the LIRR office of Strategic Investments indicate that the most significant investment planned to affect the Glen Street Station is the ongoing work to create a direct east-side access link to Grand Central Station. This new service is anticipated to begin in 2013 and will allow greater overall train capacity to New York City, and an alternative destination in Manhattan. These changes, in turn, are expected to have multiple impacts on the Oyster Bay Branch including more frequent service, shorter commuting times, and moderately increased ridership.

The higher frequency of service would result from the increased rail capacity between Jamaica and New York City. The new service is also planned to coincide with increasing the number of connections in Mineola, rather than Jamaica. Since Mineola connections would allow more distance to be covered on electrified track (from Mineola to New York City), the amount of time on the slower diesel locomotive trains on the Oyster Bay Branch would be reduced. LIRR hopes that the increased service (i.e., number of trains) and shorter trip time will encourage some of the riders who currently commute from the Glen Cove zip code yet drive to the Port Washington Branch to use the Oyster Bay Branch instead. According to LIRR, a total of 570 LIRR riders lived in the Glen Cove area in 2006 and 18% of them (103 riders) utilized the Port Washington Branch, rather than the Oyster Bay Branch. If the contemplated changes resulted in the Oyster Bay Branch capturing all 103 of those riders and those riders dispersed equally between the three Glen Cove stations, the Glen Street Station would see an increase of approximately 34 riders.

Other than the changes mentioned above, little else is specifically expected to change on the Oyster Bay Branch. Although closure of one of the adjacent stations would likely increase ridership at the Glen Street Station, such changes are typically faced with fierce opposition from riders using the station to be closed and would also increase the distance traveled by car between their home and the station for many riders; which places the concept at odds with the



³ http://www.nytimes.com/2006/08/12/nyregion/nyregionspecial2/13Rcommute.html?_r=1&sq=Vincent%20M.%20Malozzi%20metro-north%20parking&st=cse&scp=2&pagewanted=all

⁴ <http://www.nytimes.com/packages/html/nyregion/commutelirr.html>

MTA's goal of reducing single-occupant vehicle miles. The last station to close on the Oyster Bay Branch was the Mill Neck Station, just east of Glen Cove, in 1998. Closing stations also triggers issues with regard to adequacy of parking. With only 125 spaces at Glen Street Station, parking will be at a premium even with the minor changes already contemplated.

Furthermore, while LIRR officially encourages TOD projects near its stations, proposals to use LIRR parking for multi-function parking associated with new development are often faced with "unofficial" protective measures to assure adequate parking is available for rail patrons. LIRR has found that rail users typically arrive at parking lots earlier in the morning than most residents leave, making such shared parking difficult during working hours.

The MTA also recently issued a report entitled "Greening Mass Transit & Metro Regions: The Final Report of the Blue Ribbon Commission on Sustainability and the MTA."⁵ This report identifies a wide variety of recommendations, including supporting the creation of TOD areas. The report specifically identifies establishing a Glen Cove/Manhattan ferry service as a potential TOD/Smart Growth initiative. In addition, it identifies Glen Cove (along with 14 other Long Island communities) as a potential transit station that can facilitate TOD.

This appears to make Glen Cove eligible for the TOD initiatives recommended by the MTA include "establishing a process with the State of New York for providing capital investments needed for structured parking, bike access, shuttle buses, and related facilities at or near transit stations that can facilitate TODs, non-auto station access, and enhanced transit usage." The MTA also hopes to "expand passenger rail access with intermodal transportation services, including such options as feeder service (home to station), distributor service (station to employment centers), light-rail, bus rapid transit, shuttle service, bike routes, and other transit modes. The Commission recommends that the MTA examine the potential benefits of increasing service on currently underutilized rail lines and of establishing bus rapid transit which can feed into TODs or station hubs."

Bus Service

Express Bus

Long Island Transit, a private operator, runs eight express busses from St. Patrick's Church (southeast corner of Cedar Swamp Road and Pearsall Ave.) to Manhattan each weekday (nine on Wednesdays), including four to Lower Manhattan (plus a stop at 2nd Avenue and 34th Street) and four to Midtown Manhattan. There are also a total of seven return trips each weekday. This indicates that the private vendor has found that there is a market for additional, efficient mass transportation to New York City. However, there is no certainty that this service would continue if the market changes.

Inter-Town

Nassau Inter-county Express ("NICE") also runs three separate bus routes from Pratt Boulevard and Bridge Street in Glen Cove to Hempstead (n27) and to Flushing Queens (n20, n21). The n27 bus stops at Glen Street Station and provides transfers to the n20 and n21. Total travel time to



⁵ <http://www.mta.info/sustainability/pdf/SustRptFinal.pdf>

Hempstead is between 50 and 80 minutes and the travel time to Flushing is approximately 75 minutes.

Local

The City of Glen Cove operates two separate bus services: a Commuter Bus, which serves the main industrial campus of the City of Glen Cove for morning and late afternoon runs, and the Loop Bus, which circles the City of Glen Cove during the day⁶. Both of these routes stop at Glen Street Station.

Summary

The frequency of LIRR service and number of local and inter-town bus routes indicate that, while there is some limited intermodal transit usage at the Glen Street Station, the amount of intermodal transit usage is small in comparison to other TOD locations, as will be presented when discussing each of the selected Case Study locations.

General Trends in Households and Income

Population

The following table indicates that the population within the ½ mile from the Glen Street Station, with compound annual growth rates (“CAGR”) between 0.4% and 1.2%, is growing faster than the wider 2-mile area. This trend reflects the estimated impact of development projects such as those discussed under development trends.

| Population | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|------------|--------|--------|------|----------------|------|--------|------|
| Glen Cove | | | | | | | |
| 1/2 Mile | 5,236 | 5,921 | 1.2% | 6,165 | 0.4% | 6,424 | 0.8% |
| 2 Miles | 37,042 | 39,793 | 0.7% | 40,244 | 0.1% | 40,666 | 0.2% |

Households

Data pertaining to households, shown in the following table, also reflects the slightly faster growth in the ½-mile TOD area than in the surrounding area. The fact that the projected 2011 through 2016 CAGR is higher than during any other period may reflect a certain amount of “pent-up” demand for new household formation, such as grown children living at home due to the recent downward impact of the global economy.

| Households | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|------------|--------|--------|------|----------------|------|--------|------|
| Glen Cove | | | | | | | |
| 1/2 Mile | 2,016 | 2,316 | 1.4% | 2,440 | 0.5% | 2,686 | 1.9% |
| 2 Miles | 13,299 | 14,419 | 0.8% | 14,955 | 0.3% | 16,014 | 1.4% |

▼
http://www.glen Cove-li.com/index.asp?Type=B_BASIC&SEC={20C579E1-E79D-45B7-A594-3B0DC3C15414}&DE={C0B35B1E-968D-4F6D-8531-F9AC15E28091}

Median Age

The table below indicates that the median age has been increasing in both areas of Glen Cove, particularly in the TOD area between 2000 and 2011. While a national trend, many conclude that the median age is increasing on Long Island because of the inability to retain young people due to an insufficient supply of entry-level or low-cost housing.

| Median Age in Years | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|---------------------|------|------|------|----------------|------|------|------|
| Glen Cove | | | | | | | |
| 1/2 Mile | 36.1 | 38.0 | 0.5% | 43.7 | 1.3% | 45.2 | 0.7% |
| 2 Miles | 37.2 | 39.3 | 0.6% | 41.9 | 0.6% | 43.4 | 0.7% |

Median Household Income

Median Household income has consistently grown faster outside the TOD area, as shown below. In addition, median household income has remained at a CAGR below 2% for the TOD area in each period analyzed. This is an indication that economic conditions in the Glen Street TOD area are not keeping up with surrounding areas and may provide some insight into the visual perception that housing investment in the Orchard neighborhood has been lagging surrounding areas.

| Median Household Income | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|-------------------------|--------|--------|------|----------------|------|--------|------|
| Glen Cove | | | | | | | |
| 1/2 Mile | 42,255 | 48,897 | 1.5% | 60,012 | 1.9% | 66,033 | 1.9% |
| 2 Miles | 45,445 | 61,514 | 3.1% | 80,897 | 2.5% | 89,858 | 2.1% |

Percentage of Owner Occupied Housing Units

A high percentage of home ownership is often regarded as an indication of economic stability for a geographic area. As shown in the table below, the TOD area has consistently had a much lower percentage of homeownership than the wider area, with the difference growing larger between 1990 and 2016. This may partly illustrate the economic pressures being experienced in the TOD area.

| % Owner Occupied | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|------------------|-------|-------|-------|----------------|------|-------|-------|
| Glen Cove | | | | | | | |
| 1/2 Mile | 51.5% | 48.8% | -0.5% | 49.7% | 0.2% | 48.8% | -0.4% |
| 2 Miles | 64.5% | 63.2% | -0.2% | 65.7% | 0.4% | 65.0% | -0.2% |

Summary

In conclusion, general trends in households and income suggest that the TOD Area could benefit from transit-friendly development. These new developments would need to be planned on a more pedestrian scale, and could extend the downtown area to the Glen Street Station. Higher density mixed-use developments could also provide entry-level housing that may help attract

younger households to the TOD area and increase street-level retail activity in the downtown area.

Development Trends

Until recently, development trends in the immediate area of Glen Street Station have been fairly stagnant. The Lexus and Land Rover automobile dealerships were generally among the most active uses along Cedar Swamp Road. Few parcels of vacant land exist. The Orchards neighborhood to the south of the tracks and west of Cedar Swamp Road has been experiencing years of disinvestment and decay in both the industrial buildings as well as the residential properties, many of which appear to be single-family homes converted to multi-family residences.

However, the recent purchase of a former Photo Circuits factory for conversion to a self-storage warehouse and the planned redevelopment of a former bowling alley site to a 50-unit condominium property on Carney Street suggest that the Orchard Street neighborhood is ready for a reversal of past trends. This momentum may be spurred by the revitalization that is underway occurring along the northern edge of the TOD Area, and between this Area and the downtown. Close to downtown, Avalon has developed two rental apartment buildings; one with 110 units just inside the 0.5-mile radius at 100 Glen Street and one with 256 units at 1100 Avalon Square, just beyond. Earlier in 2011, a developer was selected in response to a request for proposals to develop the Village Square area and a site plan has been approved for development of 142 apartments at that location. Farther north and west, plans have been approved for the Glen Isle mixed-use waterfront development with 860 multi-family homes, a 250-room hotel, 50,000 square feet of office space, 25,000 square feet of retail, and 85 marina slips.

These development projects are summarized in a table on the following page.

Although several of the recent and planned developments are located within the half-mile walking radius of the Glen Street Station, it appears that the driving force behind most of them is their proximity to downtown, the waterfront, the surrounding residential neighborhood, or access to employment centers on the north shore of Nassau County. The leasing manager for the Avalon apartments estimated that 6 to 7% of residents use mass transit while other apartment managers indicated that proximity to the Station had little to do with apartment demand. However, with increased service, shorter commuting times and the potential for a trolley, Avalon's proximity to the transit connection may have a greater impact on demand. .

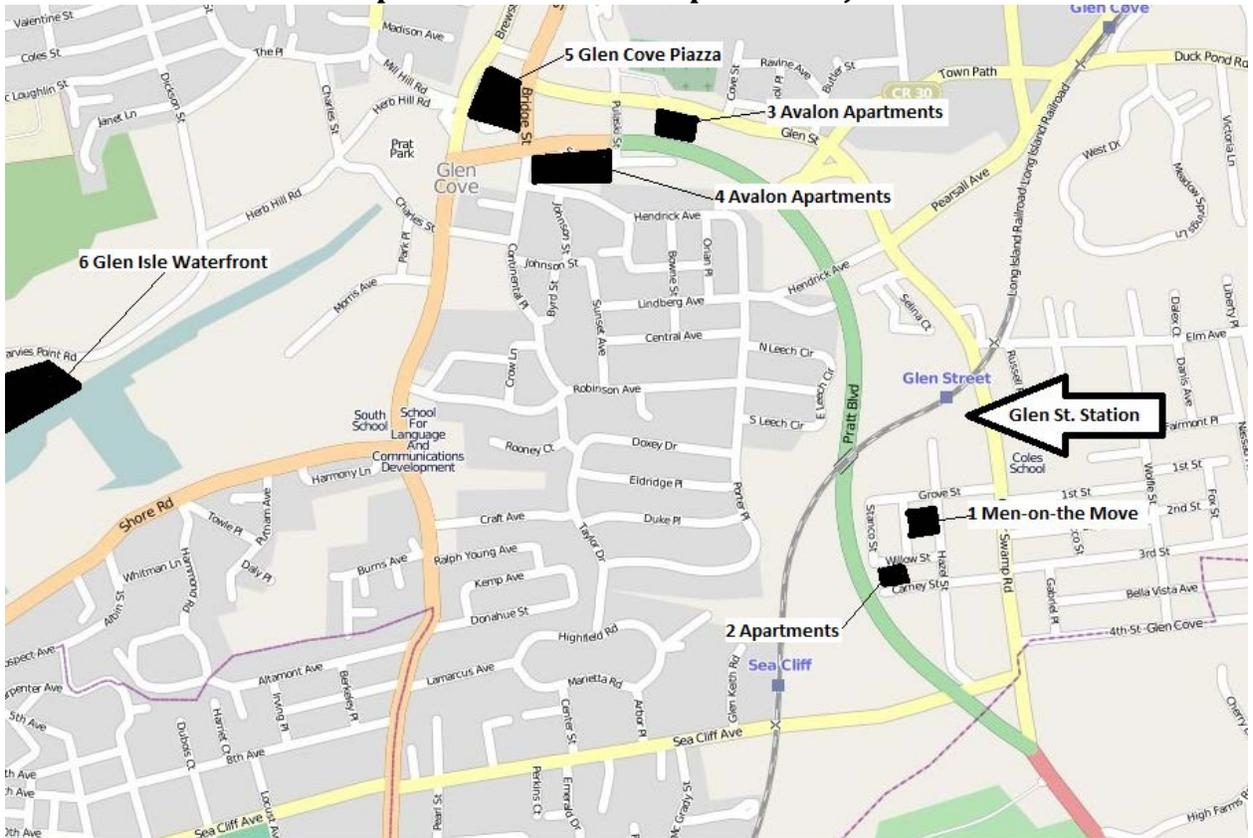
Therefore, it is hoped that understanding the comparisons and lessons learned from the selected TOD Case Studies can help with the formulation of a plan to create conditions that will maximize the potential demand for TOD uses in the area of Glen Street Station.

Recent and Planned Projects and their Proximity to Glen Street Station

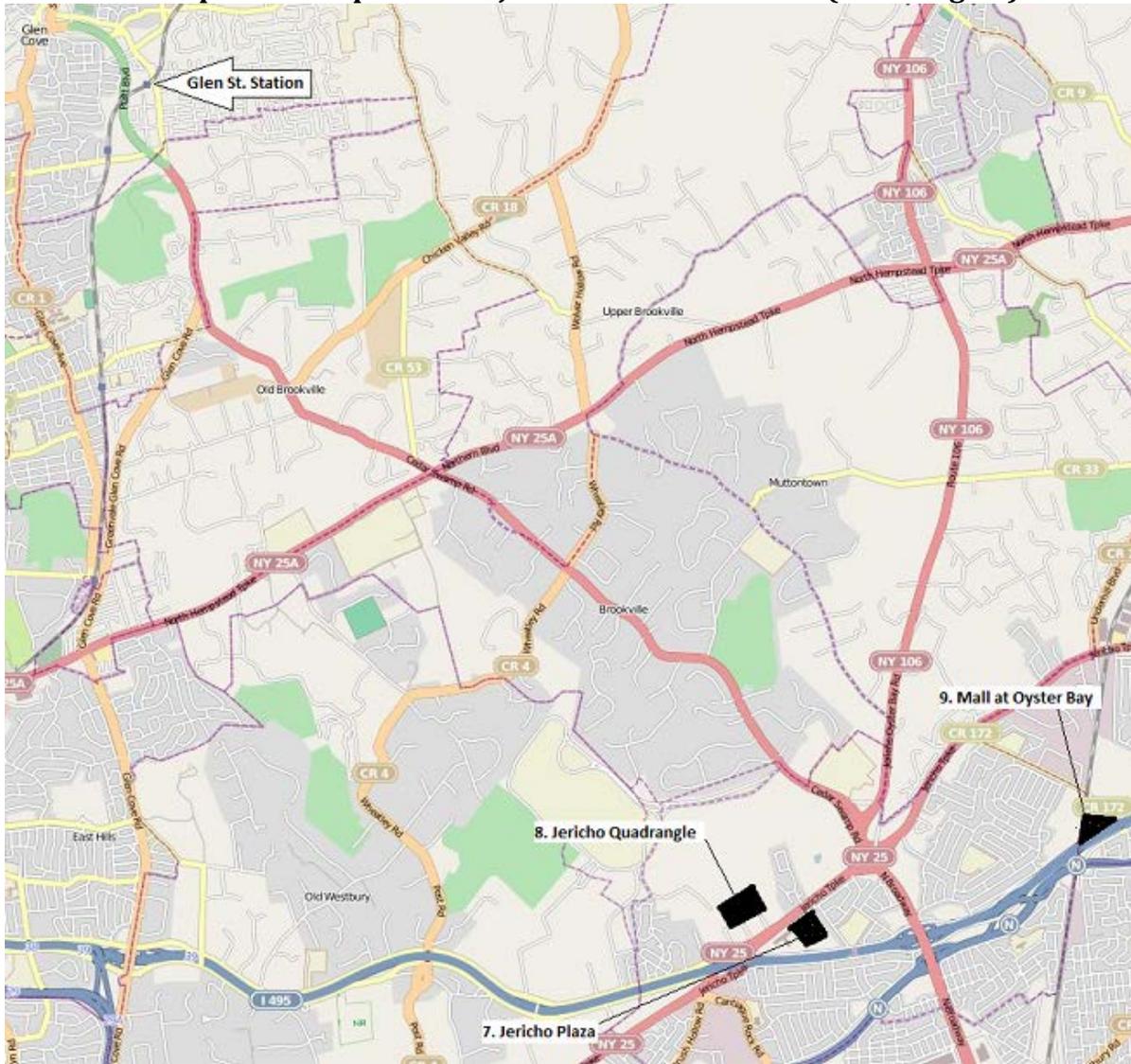
| # | Project Name Location | Distance from Glen St. Station | Acres | Multi- Family | Hotel | Office | Retail | Other | Status |
|--------------|---|-----------------------------------|------------|------------------|------------|----------------|---------------|--------------------------------|---|
| 1 | Men-on-the-Move Storage 38 Hazel Street Glen Cove | 0.17 miles | 1 | | | | | 52,480 storage warehouse | Former Photo Circuits property purchased through the IDA for conversion to self-storage warehouse. |
| 2 | Apartment Redevelopment 200 Carney Street Glen Cove | 0.26 miles | 1 | 50 | | | | | Developer has applied for site plan approval for a 2-story apartment building. The existing bowling alley would be razed. |
| 3 | Avalon Apartments 100 Glen Street Glen Cove | 0.50 miles | 2 | 110 | | | | | Complete and 90% occupied. |
| 4 | Avalon Apartments 1100 Avalon Square (at Rt. 107) Glen Cove | 0.57 miles | 2 | 256 | | | | | Complete and 95% occupied. |
| 5 | Glen Cove Piazza Village Square Glen Cove | 0.7 miles | 2 | 142 | | | 27,000 | | Site plan approved by City Planning Board on August 10, 2011. A marketing effort has not yet begun. |
| 6 | Glen Isle Mixed-use Waterfront Development Project North side Glen Cove Creek Glen Cove | 1.2 miles | 56 | 860 | 250 | 50,000 | 25,000 | 85 boat slips | Final Environmental Impact Statement has been accepted. |
| 7 | Jericho Plaza (Building #4) Jericho Turnpike (SR 25) Jericho, Town of Oyster Bay | 6.3 miles | 15 | | | 175,000 | | | Site plan & Town Board approval. Building permit not yet requested. |
| 8 | Jericho Quadrangle (Building #3) Jericho Turnpike (SR 25) Jericho, Town of Oyster Bay | 6.3 miles | 25 | | | 300,000 | | | Site plan & Town Board approval. Building permit not yet requested. |
| 9 | The Mall at Oyster Bay (Former Cerro Wire Factory) Long Island Expressway, west of Robbins Lane Syosset, Town of Oyster Bay | 6.9 miles | 39 | | | | n/a | | Revised site plans not yet submitted for approval. Has been stalled for years. |
| Total | | | 143 | 1,418 | 250 | 525,000 | 52,000 | n/a | |

Sources: Town of Oyster Bay Planning Dept., Town of Huntington Planning Dept., City of Glen Cove Planning Dept., RESGroup survey

Map of Glen Cove Development Projects



Map of Development Projects Outside Glen Cove (7 Through 9)



Apartment Rental Rates

The table on the following page summarizes rental rates found in apartments in Glen Cove and the surrounding area. It indicates that apartment rents range from \$1,325 to \$2,735 per month or from \$0.96 to \$3.52 per square foot per month. The newest projects at Avalon are at the upper end of the range, particularly for total rent per month.

Apartment Rental Rates

| # | Project/ Location | # of Floors | Total Units | Bed/Bath | Average Monthly Rent | Avg Sq. Ft. | Avg \$/S.F. | Comments | Amenities | Opening Year | Current Vacancy Rate |
|------------------------------|--|----------------|----------------|------------------------|-------------------------------|---------------------|----------------------------|---|--------------------|-----------------|----------------------------|
| 1 | Avalon at Glen Cove S 1100 Avalon Square Glen Cove | 5 | 256 | Studio 1 BR 2 BR | \$1,576 \$2,163 \$2,593 | 700 921 1,367 | \$2.25 \$2.35 \$1.90 | Located on the west side of Pratt Blvd. between Pulaski and Bridge Streets. This property has no direct access from north-bound Pratt Blvd. | 1,2,3,4,5,6 | 2003 | 4.7% |
| 2 | Avalon at Glen Cove N 100 Glen St Glen Cove | 5 | 110 | Studio 1 BR 2 BR | \$1,825 \$2,265 \$2,735 | 518 957 1,387 | \$3.52 \$2.37 \$1.97 | Located approximately 1/2 mile from Glen St. Railroad Station. 6-7% of all Avalon households commute to NYC. Large amenity package helps lure empty nesters & former single-family owners. Permit up to 2 residents for studio & 1-BR and up to 4 residents for 2 BR units. | 1,2,3,4,5,6 | 2006 | 10.0% |
| 3 | Glen Arms 21 Brewster St Glen Cove | 4 | 215 | Studio 1 BR 2 BR | \$1,188 \$1,450 \$1,800 | 555 750 855 | \$2.14 \$1.93 \$2.11 | Located on the west side of Brewster St. 0.9 miles from the Glen St. Railroad Station. | 7 | 1970 | 5.1% |
| 4 | Glen Mill 26 Stephen Oval Glen Cove | 2 | 100 | 2 BR | \$1,325 | 1,374 | \$0.96 | Located approximately 1.5 miles north of the Glen Cove Railroad Station. | none | 1943 | 2.0% |
| 5 | Norwich Gate 600 Pine Hollow Rd East Norwich | 2 | 350 | 1 BR 2 BR | \$1,889 \$2,512 | 850 1,100 | \$2.22 \$2.28 | This is a townhouse rental project located 4 miles from the Syosset Railroad station and 5.3 miles from the Long Island Expressway. | 1,2,3,4,5,6 7,8 | 1982 | 4.3% |
| Grand Average Grand Total | | | 1,031 | | \$1,943 | 945 | \$2.17 | | | | 5.2% |

Source: RESGroup survey and Reis Reports

Amenities:

- | | |
|------------------------|---------------------------------------|
| 1 Washer/Dryer in unit | 5 Lounge/activity room |
| 2 Fitness Center | 6 Resident Cinema/conference room |
| 3 Outdoor Pool | 7 Tennis court |
| 4 Central A/C | 8 Reduced fees at nearby golf courses |

Retail Rental Rates

The two tables below provide a summary of retail rental rates found in Glen Cove and surrounding areas. Rents range from approximately \$13 to \$32 per square foot in Glen Cove.

Retail Rental Rates

| # | Address/ Location | Year Built/ Year Renov. | Sq. Ft. | Type of Space /Major Tenants | Asking Rent/SF | Vacancy Rate | Comments |
|---|--|----------------------------|--|--|--------------------|-----------------|---|
| 1 | Glen Cove Shopping Center 177 Forest Ave Glen Cove | 1959/ 2011 | 113,000 48,000 12,000 10,000 2,500 | Community Center Anchor Non-Anchor /Stop & Shop Rite Aid Petco Fye | \$30.00 \$32.00 | 0.0% | Located 1.5 miles north of the Subject |
| 2 | Walgreens/King Kullen Shopping Center 87 Forest Ave Glen Cove | 1962 | 60,000 2,400 3,576 | Neighborhood Center Anchor Non-Anchor Walgreens King Cullen Restaurant Deli Nail Salon Vacant Cleaners Vacant Space | N/A \$28.00 | 10.0% | Located 1.5 miles north of the Subject |
| 3 | 37 Glen St Glen Cove | 1987 | 13,000 2,000 2,500 | 2-story w/ offices above First Floor First Floor | \$18.00 \$18.24 | 69.0% | Located 0.7 miles north of Subject 7 parking spaces in rear. |

Retail Rental Rates (Continued)

| # | Address/ Location | Year Built/ Year Renov. | Sq. Ft. | Type of Space /Major Tenants | Asking Rent/SF | Vacancy Rate | Comments |
|---|--|----------------------------|---------|---|--------------------|-----------------|--------------------------------|
| 4 | Soundview Marketplace 125 Shore Rd Port Washington | 1990 | 183,400 | Community Center Anchor Non-Anchor | \$15.10 \$12.75 | 6.3% | Located 4.3 miles north of 25A |
| | | | 48,100 | King Kullen | | | |
| | | | 25,400 | Uknown Anchor | | | |
| | | | 14,945 | Eckerd Drug | | | |
| | | | 14,900 | Staples | | | |
| | | | 7,000 | Blockbuster | | | |
| | | | 6,000 | West Marine | | | |
| 5 | Soundview Mall 65 Shore Rd Port Washington | 2004 | 121,000 | Neighborhood Center Anchor Non-Anchor | \$17.37 \$25.17 | 32.9% | Located 4 miles north of 25A |
| | | | 70,000 | /Stop & Shop | | | |
| | | | 25,400 | Vacant Anchor | | | |
| | | | 24,000 | Homegoods | | | |
| | | | | Bank of Smithtown | | | |
| | | | | Burger King | | | |
| | | | | Petland Discounts | | | |
| | | | | Radio Shack | | | |
| | | | | Taco Bell | | | |

Source: RESGroup survey and Reis Reports

Note: All rents are annual, fully net.

3.4.1.4 Selection of Three TOD Case Study Areas

The three TOD case studies selected were South Orange, New Jersey; Patchogue, New York; and South Amboy, New Jersey. These selections were made with the input from the client, based on the degree to which they met the following criteria:

- Mixed-use
- Municipal involvement
- Similar commute
- Similar demographics
- Similar density
- Sufficient progress to allow for lessons learned
- Emphasis on Long Island locations

Patchogue, New York

Patchogue is an incorporated village on the south shore of Suffolk County in the Town of Brookhaven. It is located approximately 60 miles from Manhattan. Patchogue Long Island Railroad Station is located on the north side of Baker Street (C.R. 65) approximately three blocks (slightly over ¼ mile) south of Main Street, the Village's main shopping and dining corridor. It lies between South Ocean Avenue and Clare Rose Boulevard.

Types of Transit, Frequency of Service, and Travel Time to Manhattan

Train

Long Island Railroad runs 23 trips from Patchogue to Manhattan each weekday on the Montauk Branch. Since the tracks on the Montauk branch are not electrified past Babylon, each trip requires a transfer (usually in Babylon and sometimes in Jamaica). The typical travel time is just under 90 minutes on weekdays and more than 95 minutes on weekends.

The station house is located on the south side of the tracks. The ticket office is open at the following times:

- Monday: 5:00 AM - 1:45 PM (Closed 9:45 AM - 10:15 AM)
- Tues through Fri: 5:10 AM - 12:30 PM (Closed 9:45 AM - 10:15 AM)
- Sat/Sun/Holidays: 5:10 AM - 1:30 PM (Closed 9:25 AM - 9:55 AM)

The waiting room is open weekdays from 4:30 am to 8:00 pm, weekends from 5:00 am to 1:40 pm. A ticket machine is located at the east end of the station house. Only one elevated platform is located at the Station, on the south side of the tracks, providing access to both eastbound and westbound trains. A northern track is used only for express service with no stops in Patchogue. Public surface parking for 552 vehicles is available on the south side of the tracks with an estimated 428 daily passengers.

The nearest stations are Sayville, 4 miles to the west; and Bellport, 3.9 miles to the east.

Bus

MTA runs bus service from Patchogue Station for the following eight routes:

- S40 to Babylon,
- S54 to Walt Whitman Mall in Huntington,
- S61 to Port Jefferson,
- S63 to Smith Haven Mall in Smithtown,
- S66 to Riverhead, the Suffolk County Seat,
- S68 to Center Moriches,
- 7A to Ronkonkoma Railroad Station (Long Island Railroad’s “Main Line”), and
- 7B to Medford and Bellport.

Short Line Bus runs two daily buses from Sunrise Highway to Cornell University in Utica, NY. However, at more than one mile from the Patchogue Long Island Railroad Station, this transit location is not considered to be part of the TOD area⁷.

Ferry

A new ferry to Watch Hill on the Fire Island National Seashore (servicing mainly leisure travel) began service in the spring of 2010. The new terminal is located 2 blocks from the Patchogue Long Island Railroad Station. From May through October, the ferry service provides access to a marina, visitor center, salt marsh and tidal estuary programs, self-guiding nature walks, limited canoe trips, family and group camping, food, picnic tables, and bathhouse; all operated (or sanctioned) by the National Parks Service.

The Davis Park Ferry, located approximately ¾ of a mile south of Patchogue Station is a privately operated system providing access to the residential summer community of Davis Park on the Fire Island National Seashore.

Transit Comparisons: Patchogue and Glen Cove

| Type of Transit | Frequency of Service Weekday/ Weekend (1) | Travel Time to Manhattan Weekday/ Weekend | # of Transfers Required Weekday/ Weekend | Other | Daily Riders/ Parking Spaces |
|----------------------|---|---|--|-------|---------------------------------|
| Patchogue | | | | | |
| Long Island Railroad | 23/ 18 | 88 minutes/ 96 minutes | 1/ 1 | n/a | 428/ 552 |
| Express Bus | None | n/a | n/a | n/a | n/a |
| Inter-town Bus | Eight routes To nine towns | Various | 0 | n/a | n/a |
| Local Transit | None | n/a | n/a | n/a | n/a |

▼
⁷<http://www.coachusa.com/info/shortline/ss.cornellcollegediscouts.asp>

| Type of Transit | Frequency of Service Weekday/ Weekend (1) | Travel Time to Manhattan Weekday/ Weekend | # of Transfers Required Weekday/ Weekend | Other | Daily Riders/ Parking Spaces |
|--|---|--|--|---------------------|---------------------------------------|
| Ferry to Fire Island (summers only) | 5/ 4 | n/a | 0 | n/a | n/a |
| Glen Cove | | | | | |
| Long Island Railroad | 17/ 10 | 60 minutes/ 62 minutes | 1/ 1 | n/a | 120/ 125 |
| Express Bus (Long Island Transit) | 8 0 | 72 min. Midtown 87 min. Downtown | 0/ 0 | n/a | n/a |
| Inter-town Bus To Hempstead (NICE n27) | 32/ 16 | n/a | 0 | 52 min. | n/a |
| Inter-county Bus To Flushing (NICE n20, n21) | 11/ 0 | n/a | 1 | 62 min. | n/a |
| Local Transit | 1 commuter loop 1 downtown loop | n/a n/a | n/a n/a | Weekdays/ 7 days | n/a |

Sources: LIRR.com, MTA.com

Notes: (1) NYC-bound departures

Transit Comparison Conclusions

Like Glen Cove, LIRR trains from Patchogue require a transfer in order to get to the main NYC terminal at Pennsylvania Station. However, Patchogue Station does not feature an express bus to NYC and has travel times to Manhattan that are 20 to 30 minutes longer than from Glen Street Station. Nevertheless, Patchogue Station represents a more robust overall intermodal transit location than Glen Street Station for the following reasons:

1. LIRR service between Patchogue and New York is more frequent.
2. The nearest stations to Patchogue are approximately 4 miles in each direction, compared to approximately ½ mile at Glen Street Station. There are five stations within a 4-mile radius of Glen Street Station, compared to two stations in the same radius of Patchogue.
3. Patchogue rail ridership is nearly four times the number from Glen Cove.
4. Patchogue has eight inter-town bus routes to nine different Long Island terminals compared to three routes to three terminals for Glen Cove.
5. Patchogue has ferry service to Fire Island within the TOD area during summer months.
6. The station is located approximately ¼ mile from the downtown, and is also approximately one mile south of a major highway (Sunrise Highway – State Route 27) that extends east along the south shore of Suffolk County to Montauk Point.
7. The station has ample parking to accommodate daily passengers.

8. As a result of Patchogue's more frequent service compared with some other local stations, its highway proximity and ample parking, residents from south shore communities such as Bellport, Mastic, Shirley, Mastic Beach and Center Moriches will sometimes drive to Patchogue and then take the train to points west when traveling during off-peak periods.
9. Conversely, the Ronkonkoma Branch (approximately 6 miles northwest) has even more frequent service than Patchogue and some passengers from the Patchogue area will travel there for even better service.

Since the core driver of TOD is a robust transit system, finding ways to increase the amount of transit available should be a priority of the Glen Street Station area. In order to justify increased rail and bus service, greater density of development within walking distance of the Glen Street station will be necessary to increase ridership demand.

General Trends in Households and Income

Population and Households

The table below indicates that the ½-mile and 2-mile populations in Patchogue and Glen Cove are somewhat similar, although the population in Glen Cove is larger and is increasing, while Patchogue's population has been decreasing. But the residential projects known to be underway in Patchogue may reverse this trend.

| Population | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|------------------|--------|--------|------|-------------------|-------|--------|-------|
| Patchogue | | | | | | | |
| 1/2 Mile | 3,909 | 4,205 | 0.7% | 4,159 | -0.1% | 4,115 | -0.2% |
| 2 Miles | 31,451 | 34,213 | 0.8% | 35,412 | 0.3% | 34,499 | -0.5% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 5,236 | 5,921 | 1.2% | 6,165 | 0.4% | 6,424 | 0.8% |
| 2 Miles | 37,042 | 39,793 | 0.7% | 40,244 | 0.1% | 40,666 | 0.2% |

Similarly, the number of households in the 1/2-mile and 2-mile radii of each transit station is fairly similar, as indicated in the following table. However, when considering that there are two other transit stations within approximately ½ mile of the Glen Street Station in Glen Cove, the similar population/households are divided into demand for three separate transit stations. This reduces the density of population impacting the Glen Street Station.

| Households | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|------------------|--------|--------|------|-------------------|------|--------|------|
| Patchogue | | | | | | | |
| 1/2 Mile | 1,421 | 1,450 | 0.2% | 1,531 | 0.5% | 1,672 | 1.8% |
| 2 Miles | 11,414 | 12,733 | 1.1% | 13,654 | 0.6% | 14,712 | 1.5% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 2,016 | 2,316 | 1.4% | 2,440 | 0.5% | 2,686 | 1.9% |
| 2 Miles | 13,299 | 14,419 | 0.8% | 14,955 | 0.3% | 16,014 | 1.4% |

Median Age

The median age in Glen Cove and Patchogue are similar, as indicated in the following table. But the median age in both station areas is well above the national average. Like Glen Cove, Patchogue appears to be experiencing the same difficulty in providing adequately priced housing for young people as many other Long Island communities. It is not clear how well the demographic data captures the trends regarding the recent and ongoing development in Patchogue, but it appears that this TOD has, if anything, had an upward impact on median ages. This may be due to few young families with children living nearby the transit locations or possibly older couples downsizing to smaller housing units.

| Median Age in Years | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|------------------------|-------------|-------------|-------------|-------------------|-------------|-------------|-------------|
| Patchogue | | | | | | | |
| 1/2 Mile | 31.9 | 33.7 | 0.6% | 43.0 | 2.2% | 44.7 | 0.8% |
| 2 Miles | 33.6 | 36.4 | 0.8% | 41.0 | 1.1% | 42.3 | 0.6% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 36.1 | 38.0 | 0.5% | 43.7 | 1.3% | 45.2 | 0.7% |
| 2 Miles | 37.2 | 39.3 | 0.6% | 41.9 | 0.6% | 43.4 | 0.7% |
| United States | 32.9 | 35.3 | 0.7% | 36.9 | 0.4% | 37.8 | 0.5% |

Median Household Income

The table below indicates that the median household income within ½ mile of each transit station is very similar. However, the median household income beyond the ½-mile radius of Glen Cove is substantially higher than in Patchogue, where it is only somewhat higher than that found within the ½-mile radius. While median incomes in the ½-mile radius of both stations do not indicate widespread poverty and are likely to be sufficient to support market-rate housing, other anecdotal evidence regarding income and poverty levels in the Orchard neighborhood immediately to the south may indicate that some affordable housing set aside would be prudent at any TOD associated with the Glen Street Station.

The comparison of median household incomes to the national median provides insight into the comparative difference in wealth to the rest of the nation, indicating that both Glen Cove and Patchogue compare fairly well on a national scale.

| Median Household Income | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|-------------------------|---------------|---------------|-------------|----------------|-------------|---------------|-------------|
| Patchogue | | | | | | | |
| 1/2 Mile | 32,051 | 44,074 | 3.2% | 60,345 | 2.9% | 65,634 | 1.7% |
| 2 Miles | 40,162 | 56,156 | 3.4% | 69,430 | 1.9% | 77,062 | 2.1% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 42,255 | 48,897 | 1.5% | 60,012 | 1.9% | 66,033 | 1.9% |
| 2 Miles | 45,445 | 61,514 | 3.1% | 80,897 | 2.5% | 89,858 | 2.1% |
| United States | 30,099 | 42,253 | 3.5% | 53,616 | 2.2% | 58,708 | 1.8% |

Percentage of Owner Occupied Housing

While there was a higher percentage of home ownership ratios in the Glen Street Station TOD area than the Patchogue Station area in 1990, by 2016 these figures are projected to be nearly identical. The recent and projected increase in homeownership in the Patchogue area reflects recent and projected development activity within a half mile of the station area. Home ownership ratios inside and outside the Glen Street TOD areas have been stable.

| % Owner Occupied | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|------------------|-------|-------|-------|----------------|------|-------|-------|
| Patchogue | | | | | | | |
| 1/2 Mile | 40.7% | 40.2% | -0.1% | 48.0% | 1.6% | 48.1% | 0.0% |
| 2 Miles | 60.9% | 59.3% | -0.3% | 61.0% | 0.3% | 60.9% | 0.0% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 51.5% | 48.8% | -0.5% | 49.7% | 0.2% | 48.8% | -0.4% |
| 2 Miles | 64.5% | 63.2% | -0.2% | 65.7% | 0.4% | 65.0% | -0.2% |

Development Trends Prior to Public Involvement

The Patchogue Station area had been declining economically since the 1960s. The area immediately surrounding the station was dominated by industrial properties that (other than the Clare Rose beer distributor) were shrinking in productivity and most eventually closed, leaving blighted, vacant industrial buildings that were physically and functionally obsolete. A nearby apartment building was also falling into disrepair and failing to meet the safety and comfort needs of its tenants.

Three blocks north, on Main Street, the central business district was experiencing similar troubles. The retail shops along Main Street faced increasing competition from intensive strip shopping center development along Sunrise Highway as well as a preference for mall shopping that occurred during the 1970s, 1980s and 1990s. The Patchogue Theatre, which originally opened in 1923, experienced a fire in 1958 and the subsequent renovation did not attempt to restore much of the original, ornate

decor. It was divided into a triplex movie theater in the 1980s, but ultimately closed during the recession of 1987⁸.

Not long after the closing of Patchogue Theatre, Swezey's department store, which originally opened in 1894 and was for decades the "anchor" retail tenant in the central business district, also experienced continual decline until it closed in 2003.⁹

Types, Degree, and Timing of Municipal Involvement in TOD

Beginning in the late-1990s and extending through 2011, a number of public- and private-sector developments occurred in Patchogue, revitalizing the central business district and the nearby station area.

In 1997, the Village of Patchogue created a joint-venture partnership with a private not-for-profit institution to restore the Patchogue Theatre. With the Village as the owner of the land, the facility was restored into a 1,166-seat live theatre and opened as the Patchogue Theatre for the Performing Arts in 1998.

In 1999, the former Union Savings Bank building on the west side of Ocean Avenue and Church Street was donated to the Suffolk Sports Hall of Fame. Along with State and Federal Funds and local fundraising by this not-for-profit institution, the property was renovated into a sports museum.

When Swezey's department store closed in 2003, the Village attempted to condemn the property based on tax liens and its contribution to blight in the area. However, TRITEC Development Group privately acquired the site along with an assemblage of neighboring properties (one of which was a land swap for a Village parking lot) and began the required State Environmental Quality Review Act (SEQRA) process. This process facilitated the creation of the Downtown Redevelopment District zoning category. Aside from the land swap, zoning change, and acting as the lead agency in the SEQRA process, there has been minimal public involvement in the revitalization of the Swezey's property. The department store itself was renovated and converted into ground floor retail with professional office space on the upper two floors. As a result, it appears that the private sector has recognized an opportunity for redevelopment of the downtown with its proximity to transit.

A Business Improvement District ("BID") was created that included all commercial properties and any residential buildings containing more than three families. This district has been vital to the resurgence of the area and provided the initial funding for the dredging of the Patchogue River to allow commercial watercraft access to within three blocks of Patchogue Station. With an annual budget of approximately \$140,000 per year, the BID also provides annual revenues for plantings, streetscape improvements, holiday decorations, etc.

Other funding sources for the dredging of the Patchogue River included Suffolk County and New York State, so that the Village's direct contribution to the \$1 million project was only \$250,000.



⁸ <http://www.patchoguetheatre.com/history.htm>

⁹ <http://www.nytimes.com/2003/11/02/nyregion/swezey-s-closing-a-blow-for-riverhead.html>

State grants were utilized for a façade improvement program that improved the retail character of the Main Street area and helped bring in more shoppers and diners from outside the area.

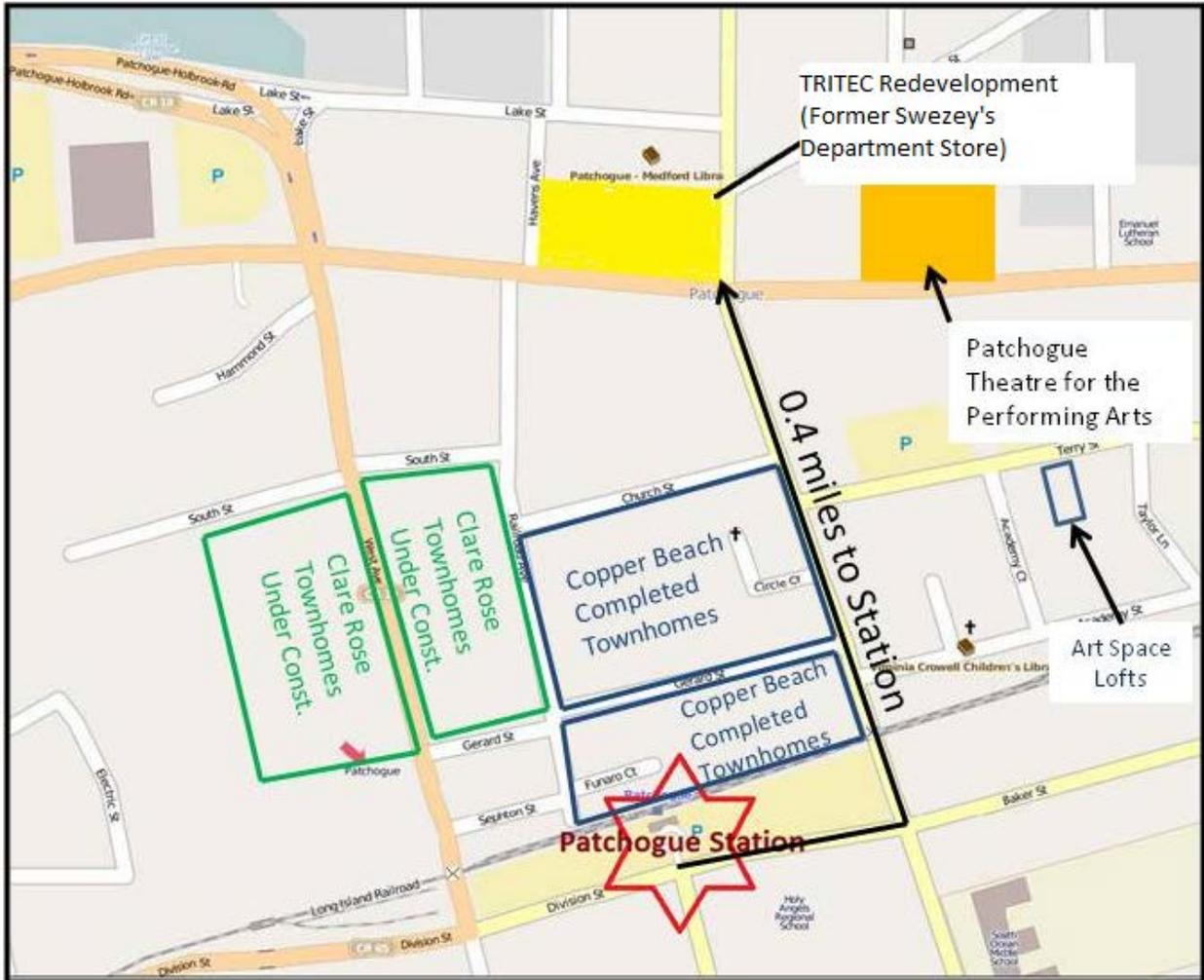
Several of the residential projects developed included various levels of low-income housing, some with associated federal tax credits. Long Island Housing Partnership, a local not-for-profit, has been involved in screening housing applicants for each of these projects and their involvement has brought comfort to investors in knowing they will have income-qualified tenants. They have also eased concerns of local residents by minimizing the threat of absentee landlords and vacant housing units.

According to the village mayor, a design quality review was also vital in gaining the support of the local residents. In order for developers to get the higher density required to generate sufficient returns, the projects had to be aesthetically appealing to the community.

In addition, the Mayor believes that the open and frequent dialogue that took place with the public for each project played an important role in achieving quick approvals. While there is a law suit pertaining to the plans for the remaining phases of the TRITEC project, the Mayor is confident that the general public will ultimately support this project).

Due to the success of the projects listed above and below, the area has seen the demand for parking increase, despite the availability of mass transit. It is likely that the demand for the new projects has attracted visitors/shoppers from the surrounding areas. Creation of additional parking is among the next tasks the municipality will attempt to address.

**Use Types, Amount, and Timing of TOD Development Since Municipal Involvement
Local Map of Patchogue Station**



Copper Beach Townhomes

In approximately 2003/2004, and after the renovation of the Patchogue Theatre for the Performing Arts, 80 owner-occupied townhomes were developed at an assemblage of former industrial and apartment buildings on the north side of the train tracks at Patchogue Station. Half of these units were made available for residents earning 80% to 120% of the Area Median Income (“AMI”). Although the term TOD was not yet widely used yet at the time on Long Island, the proximity of the project to the train station was widely marketed and played a major role in the success of the project.

TRITEC Development Group (Former Swezey's Department Store)

Also known as the Four Corners, this project is to contain a total of 350,000 square feet, including 291 rental apartment units, 30% of which will be affordable to households earning between 60% and 80% of the AMI, 46,000 sq. ft. of retail and approximately 18,000 sq. ft. of office space. These new buildings will surround a new four story parking garage located on the existing municipal parking lot. As indicated above, the retail and office conversion of the former Swezey's department store was

completed in approximately 2010 and the plans for the remaining development were approved by the Zoning Board of Appeals in April, 2011. However, they have been delayed due to a lawsuit filed by a group of local business people¹⁰.

Watch Hill Ferry Terminal

Summer Ferry service from 160 West Ave (three blocks from Patchogue Station) to Watch Hill on the Fire Island National Seashore opened in 2010, providing greater leisure travel access to the campground, a marina, visitor center, nature trail, and seasonally life-guarded beaches at the park. The ferry terminal was developed by a private ferry service (Davis Park Ferry Co., Inc.), an authorized concessionaire of the Fire Island National Seashore, National Park Service, Department of the Interior.

Art Space Lofts

Development of this project was begun in early 2010 and it opened in early 2011. It contains 45 live/work rental spaces on the upper floors and two retail spaces (including Plaza Max, a theater dedicated to foreign films) on the ground floor. All of the live/work units are reserved for families earning 60% of the AMI and they are intended to cater to the growing arts community in Patchogue. The project is now fully leased.

Clare Rose Beer Distributor – Townhouse Redevelopment

A highly successful, family run business that had been expanding near its original site since the 1930s, Clare Rose beer distributors finally decided to leave downtown Patchogue and consolidate at a larger location in Yaphank. Now known as Riverwalk and currently (December, 2011) under construction by Kelly Development Group, this project is located on a series of detached parcels that had been occupied by Clare Rose. The Riverwalk project is to contain rental 110 apartments, 36 three-bedroom ownership townhouses, and 17 two bedroom ownership townhouses. All units are to be 100% market-rate. The project will also provide a public walking trail along a tributary creek of the Patchogue River, an area that had been inaccessible to the public for decades. A variety of streetscape improvements will also be made to calm traffic in the area and improve pedestrian safety.

Issues/Lessons Learned

Planning and Zoning

- According to the Mayor of Patchogue, design guidelines were an important element of being able to obtain local acceptance of comparatively high density developments.
- The zoning code was modified to allow more dense development than was previously permitted. This was considered necessary to provide developments with financial returns sufficient to draw developer equity in the projects.
- Along with success comes the need for parking. Based on the current parking shortage, it appears that the revised zoning did not include sufficient parking requirements, perhaps over-estimating the impact of nearby transit and under-estimating the attraction to the area as a destination for regional shoppers/visitors.

▼
¹⁰ <http://patchogue.patch.com/articles/tritec-fall-update>

Community Leadership and Interaction

- Maintaining an open dialogue with the public was considered important in obtaining timely approvals for the projects with minimal push back from the general public.
- The Mayor felt that gaining public support for low-income housing downtown was important in obtaining timely approvals for most of the recent activity.
 - The Mayor and his staff focused on the design of the projects first and when a good design was obtained, the higher density was more acceptable to the public.
 - Use of the Long Island Housing Partnership for assistance in the selection of income qualified residents for the low-income housing projects provided a level of comfort for developers and local residents that the projects would be filled with residents who would positively contribute to the local community.

Role of Transit

- One of the biggest differences between Glen Street Station and Patchogue Station is the number of daily riders. With only 120 daily riders from Glen Street Station (just over ¼ of the number of riders from Patchogue), this station does not represent a heavily-used intermodal facility. While LIRR plans for the east side access to Grand Central Terminal may increase ridership somewhat and more riders are likely to be generated from planned projects in Glen Cove, a major shift is not expected.
- Recent residential projects in Patchogue have been aided by the proximity to rail and other transit, and the proximity of the LIRR is referenced frequently in marketing documents for those developments. These completed projects and those underway are well within the ½-mile walking distance of Patchogue Station and are mostly within ¼ mile. However, at approximately ½ mile (or more) from downtown, the station in Glen Cove is farther from the downtown, increasing the need for future planning to tie the experience of the users of mass transit to the downtown. However, with fewer riders and a longer distance to downtown, this challenge may be difficult to overcome.

Financing

- Private funds for projects with low-income housing components was made easier to obtain because of partnerships with the private, not-for-profit group – Long Island Housing Partnership (lihp.org) – which provides assistance in screening income-qualified residents as well as a variety of other technical assistance, counseling, education, and lending programs.
- State and County funds were obtained for a façade grant program, the Suffolk Sports Hall of Fame, and the dredging of the Patchogue River.
- Federal tax credits were used in relevant projects as permitted under the Low-Income Housing Code of the Federal Income Tax Law.
- The BID was a vehicle to raise funds for public improvements to the downtown.

South Orange, New Jersey

The Township of South Orange Village is located in Essex County, to the west of the Garden State Parkway, between I-280 and I-78, approximately eight miles west of Manhattan. South Orange New Jersey Transit Railroad Station is located on the west side of Sloan Street and the south side of W South Orange Avenue (S.R. 510).

Types of Transit, Frequency of Service, and Travel Time to Manhattan

Train

New Jersey Transit runs 48 trains from South Orange to Manhattan each weekday on the Morris and Essex Line. Half of the trains terminate in Hoboken for a transfer to the PATH or a ferry. These trips take approximately 55 minutes to Midtown Manhattan. The other half of the weekday trips are direct (one-seat rides) to Midtown Manhattan. These trips are approximately 32 minutes.

The train station is located on the east (Manhattan-bound) side of the tracks. The ticket office is open from 6:00 am to 2:00 pm (but is closed from 10:40 to 11:10 am for lunch) on weekdays and is closed on weekends. Two ticket vending machines are available 24/7 in the waiting room.

The nearest stations are Mountain Station, 0.75 miles to the east; and Milburn, 2.7 miles to the west.

Bus

New Jersey Transit operates two bus routes with terminals at the South Orange Station. The 107X is an express bus to Midtown Manhattan, with a typical trip of approximately 52 minutes. The 92 is an inter-town bus to Newark Branch Brook Park Station, with a trip of approximately 40 minutes.

Transit Comparisons: South Orange and Glen Cove

| Type of Transit | Frequency of Service Weekday/ Weekend (1) | Travel Time to Manhattan Weekday/ Weekend | # of Transfers Required Weekday/ Weekend | Other | Daily Riders/ Parking Spaces |
|--|---|---|--|---------|---------------------------------|
| South Orange | | | | | |
| NJ Transit (rail) | 48/ 20 | 55 min. with transfer/ 32 min. without | 0.5/ (2) 0 | n/a | 2,906/ 531 |
| Express Bus (NJ Transit 107X) | 29/ 30 Sat., 18 Sun. | 52 min. | 0 | n/a | n/a |
| Inter-town (NJ Transit 92) to Newark Branch Brook Park Station | 41/ 23 Sat., 17 Sun. | n/a | 0 | 40 min. | n/a |
| Glen Cove | | | | | |

| Type of Transit | Frequency of Service Weekday/ Weekend (1) | Travel Time to Manhattan Weekday/ Weekend | # of Transfers Required Weekday/ Weekend | Other | Daily Riders/ Parking Spaces |
|--|---|---|--|---------------------|---------------------------------|
| Long Island Railroad | 17/ 10 | 60 minutes/ 62 minutes | 1/ 1 | n/a | 120/ 125 |
| Express Bus (Long Island Transit) | 8 0 | 72 min. Midtown 87 min. Downtown | 0/ 0 | n/a | n/a |
| Inter-town Bus To Hempstead (NICE n27) | 32/ 16 | n/a | 0 | 52 min. | n/a |
| Inter-town Bus To Flushing (NICE n20, n21) | 11/ 0 | n/a | 1 | 62 min. | n/a |
| Local Transit | 1 commuter loop 1 downtown loop | n/a n/a | n/a n/a | Weekdays/ 7 days | n/a |

Sources: NJTransit.com, LIRR.com, MTA.com

Notes: (1) NYC-bound departures

(2) Half of weekday trains require a transfer to PATH or ferry in Hoboken; one weekend train requires a transfer to PATH or ferry in Hoboken. Most trains also provide service to Newark Broad Street.

General Trends in Households and Income

Population and Households

While South Orange actually has a slightly smaller population than Glen Cove within the half-mile radius, the population within the 2-mile radius of South Orange is substantially larger than in Glen Cove.

| Population | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|---------------------|---------|---------|------|-------------------|-------|---------|------|
| South Orange | | | | | | | |
| 1/2 Mile | 4,543 | 4,957 | 0.9% | 4,952 | 0.0% | 5,172 | 0.9% |
| 2 Miles | 113,035 | 120,015 | 0.6% | 114,910 | -0.4% | 117,913 | 0.5% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 5,236 | 5,921 | 1.2% | 6,165 | 0.4% | 6,424 | 0.8% |
| 2 Miles | 37,042 | 39,793 | 0.7% | 40,244 | 0.1% | 40,666 | 0.2% |

Similarly, the number of households within ½ mile is comparable, while the number in the 2-mile radius of South Orange is much larger than Glen Cove. However, considering that there are two other transit stations within approximately ½ mile of the Glen Street Station in Glen Cove and the nearest

stations to South Orange are ¾ miles and 2.7 miles, the households per transit station are much higher in South Orange.

| Households | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|---------------------|--------|--------|------|-------------------|-------|--------|------|
| South Orange | | | | | | | |
| 1/2 Mile | 1,956 | 2,133 | 0.9% | 2,165 | 0.1% | 2,212 | 0.4% |
| 2 Miles | 39,721 | 41,279 | 0.4% | 40,445 | -0.2% | 40,866 | 0.2% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 2,016 | 2,316 | 1.4% | 2,440 | 0.5% | 2,686 | 1.9% |
| 2 Miles | 13,299 | 14,419 | 0.8% | 14,955 | 0.3% | 16,014 | 1.4% |

Median Age

The median age in Glen Cove is somewhat older than in South Orange, particularly in the 2 mile radius of the station. This may be the result of South Orange and the surrounding community's ability to capture more newly-formed households and may be influenced by its closer proximity to New York City. Glen Cove may be seen as more appealing to empty nesters that have less of a need to commute to New York City.

| Median Age in Years | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|------------------------|------|------|------|-------------------|------|------|------|
| South Orange | | | | | | | |
| 1/2 Mile | 36.8 | 37.1 | 0.1% | 41.6 | 1.0% | 42.4 | 0.4% |
| 2 Miles | 33.7 | 34.1 | 0.1% | 36.7 | 0.7% | 37.6 | 0.5% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 36.1 | 38.0 | 0.5% | 43.7 | 1.3% | 45.2 | 0.7% |
| 2 Miles | 37.2 | 39.3 | 0.6% | 41.9 | 0.6% | 43.4 | 0.7% |
| United States | 32.9 | 35.3 | 0.7% | 36.9 | 0.4% | 37.8 | 0.5% |

Median Household Income

While the median household income in the ½ mile radius of South Orange Station is now much higher than in Glen Cove, in 1990, it was very similar. Though a portion of the increase in South Orange's median household income may be attributable to the success of some of the TOD projects that have occurred in the area, the growth had already begun by 2000, which was before most of the TOD. Nevertheless, South Orange's income growth between 2000 and 2011, a period that included luxury apartment development, appears to be represented by the significant increase seen in Median incomes during that time period.

Meanwhile, Glen Cove has seen the greatest increase in median incomes in the areas outside the ½-mile radius of the station which is more suburban. This may represent an opportunity for the Glen Street Station area to capture some of the income growth seen in the wider area.

| Median Household Income | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|-------------------------|---------------|---------------|-------------|----------------|-------------|---------------|-------------|
| South Orange | | | | | | | |
| 1/2 Mile | 45,858 | 59,296 | 2.6% | 88,433 | 3.7% | 97,459 | 2.0% |
| 2 Miles | 39,657 | 50,910 | 2.5% | 64,625 | 2.2% | 69,064 | 1.3% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 42,255 | 48,897 | 1.5% | 60,012 | 1.9% | 66,033 | 1.9% |
| 2 Miles | 45,445 | 61,514 | 3.1% | 80,897 | 2.5% | 89,858 | 2.1% |
| United States | 30,099 | 42,253 | 3.5% | 53,616 | 2.2% | 58,708 | 1.8% |

Percentage of Owner Occupied Housing

Homeownership ratios in the ½-mile radius of the stations are somewhat similar in Glen Cove and South Orange (although it has been slightly higher in Glen Cove). However, while the ratio in Glen Cove has steadily declined and is forecast to continue to do so, a slight increase is anticipated in South Orange. The overall lower ownership ratio in South Orange is likely the result of the higher density of development overall and proportionally higher percentage of multi-family units. But the increase in homeownership forecast in the ½ Mile Radius in South Orange is likely to reflect the general success and stability of the area, its excellent transit access to Manhattan, and the resulting potential for development of condominium units when economic conditions improve.

| % Owner Occupied | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|---------------------|-------|-------|-------|----------------|-------|-------|-------|
| South Orange | | | | | | | |
| 1/2 Mile | 49.5% | 47.9% | -0.3% | 45.7% | -0.4% | 47.4% | 0.8% |
| 2 Miles | 50.8% | 49.5% | -0.3% | 49.1% | -0.1% | 50.0% | 0.3% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 51.5% | 48.8% | -0.5% | 49.7% | 0.2% | 48.8% | -0.4% |
| 2 Miles | 64.5% | 63.2% | -0.2% | 65.7% | 0.4% | 65.0% | -0.2% |

Development Trends Prior to Public Involvement in TOD

South Orange, dating back to the 1920's, was considered a bedroom community for workers traveling to Newark and New York that were able to take advantage of the train along the Morris & Essex line, now operated by New Jersey Transit. Housing ranged from larger houses built around the Orange Lawn Tennis Club to more modest middle class homes closer to the Village. By the 1970s, South Orange was in decline, similar to many of the inner ring New Jersey suburbs around Newark. This decline resulted from disinvestment in the downtown primarily in the 1970s and 1980s, as small businesses closed due to decreased demand caused by the opening of suburban malls and shopping centers and residents moving to newer suburban locations. During the 1960s and 1970s, development efforts focused on the increasing the volume of automobile access along South Orange Avenue and reducing the time it took to get through the area, and the area surrounding the train station was allowed to lapse into relative disrepair. South Orange found itself in danger of becoming

a “corridor city” – a drive-through municipality with little identity of its own, its small stores and restaurants lost to newer retail developments in strip centers and malls, with the primary use of Main Street as a traffic corridor. Streets, sidewalks and other public infrastructure generally declined due to little public reinvestment or transit-centric planning.

Types, Degree, and Timing of Municipal Involvement in TOD

In 1989 the Township participated in the Main Street New Jersey Program, which was followed by the designation of South Orange’s South Orange Avenue as a New Jersey “Main Street” in 1991. Revitalization of the central business district started with the formation of the Main Street South Orange organization in 1991. With the organization’s encouragement, the Township began making improvements to the downtown area in 1994. Improvements on South Orange Avenue and Sloan Street included sidewalk brick paving, new signage, lighting, landscaping, and South Orange Avenue was narrowed from four to three lanes (with parallel parking on both sides) making it more pedestrian friendly. Irvington Avenue was also later improved.

The area in front of the Station was transformed into a town square through the creation of a plaza. Several steps were also taken to positively alter driver behavior along Sloan Street, while providing a place for socializing and outdoor gathering. A vehicular round-about was added at the intersection of 1st Street; angled parking was added on both sides; sidewalks were widened substantially; trees, creative landscaping, and benches were added; crosswalks were added; and the roadway was reduced from four lanes to two (plus turning lanes at the intersections). As part of a station reconstruction effort, the six unproductive commercial spaces under the station’s viaduct were renovated into commuter-oriented retail shops and restaurants. These changes combined to ultimately make the South Orange CBD and station area a destination, rather than a thoroughfare.

The overall cost of the public improvements exceeded \$57 million, and was raised through contributions from the Community Development Block Grant (CDBG) program and the Essex County Improvement Authority, the Essex County Loan Programs, Main Street New Jersey and a small retail tax hike. As a result of the station upgrades, the public improvements and the station’s proximity to Seton Hall University, several developers began building medium-density housing near the station.

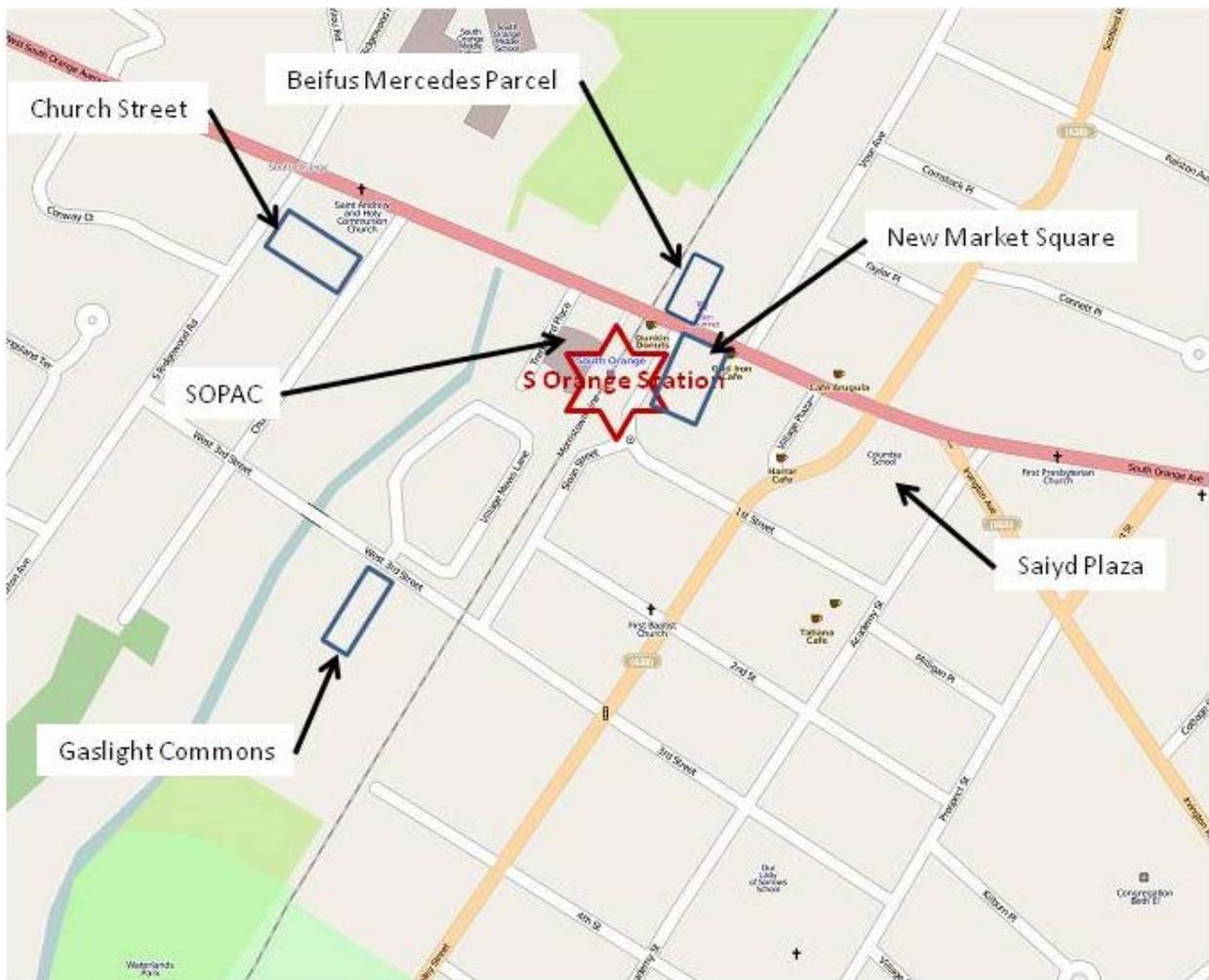
In 1996, NJT initiated improved transit service with non-stop, one seat rides to Penn Station in New York City for approximately half the trains coming from South Orange, eliminating the need to transfer to the PATH in Newark. This service reduced travel time from 50 to 30 minutes, increasing demand for parking around the station. Many attribute the increase in real estate pricing and the demand for new housing in downtown South Orange to the improved service for commuters.

In 1999, South Orange was designated by New Jersey Transit as a Transit Village to encourage development within the half mile area of the station. The Transit Village designation enabled the Village to apply for grants from the NJDOT Transit Village Fund. The visibility and marketing efforts by the public sector in South Orange brought an awareness of development opportunities, combined with the creation of public policies at several different levels of government that helped to attract private developers. As a Transit Village, mixed-use and TOD projects have benefited from priority

funding and coordination among state agencies. Developers sought this location since the barriers to entry were lower than other New Jersey locations, potential funding was available, and public policies were in place to reduce approval time for projects.

New Jersey is a home-rule state and does not provide term limits for mayors. This actually provided an opportunity for political leaders to ensure that their revitalization objectives are implemented over a long development cycle. The mayor's background in real estate helped him to recognize the need for comprehensive planning and development-oriented policies. Also, the town benefited from a series of state-, federal-, and transit authority-level decisions that encouraged redevelopment in the station area. Programs and rulings at these levels facilitated the designation of the village center as a priority location and provided funding to support a range of local projects.

Use Types, Amount, and Timing of TOD Development Since Municipal Involvement



Residential Use: Gaslight Commons:

The first new development in South Orange, located two blocks south of the station, was completed in 2002 by LCOR through a partnership with the Village of South Orange. The site was declared an “area in need of redevelopment” which allowed the public sector to take a proactive role in attracting

a developer. LCOR credits their interest in building the apartments with all of the public planning and investment in the downtown and around the station area. The luxury rental apartment project with amenities including an outdoor swimming pool, fitness center and community room, was built on the site of an old auto dealership, won the “Smart Growth Award” for pedestrian friendly development. It includes two, four story buildings on five acres, reflecting the historic character of South Orange architecture. Units include one bedroom, two bedrooms and two bedrooms with den and the project appears to be fully occupied.

Beifus Mercedes Parcel:

In 2002, the project at 9 West South Orange Avenue, was proposed as a mixed residential-retail development that would have included 57 condominium units and nearly 10,000-square-feet of retail space¹¹. The site of the Beifus development includes the original Beifus site and what was commonly known as the Music Lovers building. Andrew Beifus, owner of the site, was selected as the developer in early summer 2001. The site plan application was approved by the Planning Board in December 2002. Both the Beifus and Music Lovers buildings were demolished in May 2003. However, due to delays in the project, the Board of Trustees took away his developer designation in November 2004. Mr. Beifus applied for and was granted an amended site plan in January 2005 with the intent of building in the spring. The new site plan reduced the building height, retail space, number of condominiums and parking spaces. The project, near the station went into foreclosure in 2010, was purchased by South Orange Commons 3rd, LLC. It is an important site in the downtown and is part of the redevelopment plan. It is unclear when this project will move forward under new ownership.

South Orange Performing Arts Center (SOPAC):

The 34,840 square foot SOPAC, built on parcel previously owned by NJT, is a four level structure which opened in November 2006. The plans for SOPAC were first discussed during the mid-1990s by a partnership between Seton Hall University and SOPAC, a non-profit organization as a means of anchoring the downtown and attracting visitors. The SOPAC is situated adjacent to the Station, has successfully attracted audiences from the region, expanded the ability to attract retailers and adds a vibrant evening population. It features a 415 seat theater, offering music dance and comedy, hosts a variety of performing arts education programs, and is available to rent for private functions. Seton Hall uses the theatre for University productions for student theatre productions through the Seton Hall Arts Council. There is also a 5 screen [Clearview Cinema](#) on the ground floor. The parking lot for SOPAC is shared for commuter permit parking during the day. The project was funded by low interest loans from the Essex County Improvement Authority, Community Development Block Grants, a contribution from Seton Hall, University, a budget allocation, from the State of New Jersey, South Orange Village capital, funds, and a fund-raising campaign, among corporations, private individuals and foundations.

New Market Square and The Avenue-:

This project on South Orange Avenue and Voss Avenues, across from the train station, was developed by Sterling Properties and South Mountain Development Company, has been in the planning stages since 2003, and was completed in 2009. It includes a 13,500 square foot gourmet market, 10,000 square feet of additional retail, 79 condominiums ranging from one to three bedrooms, and a parking deck to accommodate shoppers and residents. The project received the 2009 Smart Growth Award.

▼
¹¹ <http://www.southorange.org/development.asp?project=11>

The project was constructed through a public private partnership with the Village purchasing the site of a closed ShopRite as well as several other parcels through a friendly condemnation action. During the condemnation process, a garbage landfill was discovered and removed at the developer's expense with financial assistance from the NJ Department of Commerce.

Saiyd Plaza:

110-116 South Orange Avenue was proposed to include 7,000 sq. ft. of first floor retail, 14 apartments above and 24 parking spaces in the rear with access from Church Street. The building was demolished and the tenant, an Oriental Rug store, was relocated. The plan submitted by Saiyd Nagim, was approved in 2004 and has yet to be completed. The project is about 2 blocks from the train station.

Church Street:

17-25 Church Street, known as Church Street Common, is a 40 residential rental project built on two adjacent sites approximately two blocks west of the train station. The development includes 16 units with 22 parking spaces on the west side of Church Street and 24 units with 35 parking spaces on the east side. The Village had no financial involvement in this project, which was completed in 2002 and is fully occupied.

Issues/Lessons Learned

Planning and Zoning

- One of challenges noted was educating local leaders and volunteers on planning boards about the community benefits of TOD and to obtain agreement on the general need for development.
- To encourage market attraction, development and investment over time, it is important to find ways to hold the private sector accountable for quality execution of design.
- There is a need to balance parking needs with development through shared parking for mixed uses.
- Reinvestment in public infrastructure is important to attracting private development and the market for retail, office and housing.
- Smart-growth planning is important for allowing highest densities near the station areas.
- Planning to ensure a quality environment that balances use by pedestrians, biking and automobiles/parking is important for increasing demand and use of retail, housing, culture, and transit.
- A mix of uses that include culture and entertainment, retail, residential, and office encourages a 24-7 use of the TOD area.
- The location of transit in the downtown was instrumental in the success of TOD.

Timing

- Private investment can take decades since development cycles change constantly, making consistent planning efforts over time critically important to provide continuity for developers and investments.

- Early planning or planning during a down market can set the stage for new development, although timing of projects may take years to come to fruition.
- Cultural projects led by non-profits also often take decades from inception to development and without the public's investment in planning, private development investment and proximity of transit, it is unlikely to have occurred at all.

Community Leadership and Interaction

- Educating the community on the minimal impact on schools and municipal budgets and the positive increase in tax revenue was critical in gaining a consensus, often an impediment to more suburban development.
- Strong political leadership with continuity in planning and public policy is crucial in reviving an ailing downtown.
- Throughout its ongoing redevelopment, South Orange has involved community residents and business owners.

Role of Transit

- Upgrades in frequency of transit services, improved reliability, and reduced travel times to employment centers (New York City) attracts new riders from nearby and the surrounding areas.
- Historic station-oriented urban fabric is an ideal setting for new mixed-use development, particularly when the station is integrated into development with retail uses.
- Improved transit services can catalyze new development and increase property values in the surrounding area due to increased demand.
- Transit can assist in catalyzing development, particularly if it owns land that can be privately developed with a mix of uses including shared commuter parking.

Financing

- Utilization of several funding sources (local, state and other) facilitates investment in Transit Oriented Development, particularly in the early years when the market may not be strong.
- In addition to public participation, collaborative relationships between local officials, state agencies and others can be invaluable. These partnerships can also help in jointly financing public-private projects.

South Amboy, New Jersey

South Amboy is a City in Middlesex County, New Jersey, situated on the south side of Raritan Bay. It is located approximately 20 miles south of Manhattan. South Amboy New Jersey Transit Train Station is situated between Mason Street and North Broadway (South Amboy's main shopping and dining corridor). It lies between Augusta Street and Church Street.

Types of Transit, Frequency of Service, and Travel Time to Manhattan

Train

New Jersey Transit runs 40 trains from South Amboy to Manhattan each weekday on the North Jersey Coast Line. Only two trains require a transfer at Newark Station. These trips take approximately 60 minutes to Midtown Manhattan. A few trains are shorter than 60 minutes and a few are longer.

The train station is located at Augusta Street and Madison Avenue. The ticket office is open from 4:55 am to 12:25 pm (but is closed from 9:40 to 10:00 am for lunch) on weekdays and is closed on weekends. Two ticket vending machines are available 24/7 on the platform.

The nearest stations are Perth Amboy, 1.75 miles to the north; and Matawan, 5.3 miles to the south.

Bus

S&E Transportation, a small, private bus company that had been headquartered in South Amboy appears to have gone out of business.

Transit Comparisons: South Amboy and Glen Cove

| Type of Transit | Frequency of Service Weekday/ Weekend (1) | Travel Time to Manhattan Weekday/ Weekend | # of Transfers Required Weekday/ Weekend | Other | Daily Riders/ Parking Spaces |
|-----------------------------------|---|--|--|-------|---------------------------------------|
| South Amboy | | | | | |
| NJ Transit (rail) | 40/ 20 | 60 minutes 60 minutes | 0/ 0 | n/a | 1,102/ 657 |
| Express Bus | n/a | n/a | n/a | n/a | n/a |
| Inter-town | n/a | n/a | n/a | n/a | n/a |
| Glen Cove | | | | | |
| Long Island Railroad | 17/ 10 | 60 minutes/ 62 minutes | 1/ 1 | n/a | 120/ 125 |
| Express Bus (Long Island Transit) | 8 0 | 72 min. Midtown 87 min. Downtown | 0/ 0 | n/a | n/a |

| Type of Transit | Frequency of Service Weekday/ Weekend (1) | Travel Time to Manhattan Weekday/ Weekend | # of Transfers Required Weekday/ Weekend | Other | Daily Riders/ Parking Spaces |
|---|---|--|--|---------------------|---------------------------------------|
| Inter-town Bus To Hempstead (MTA N27) | 32/ 16 | n/a | 0 | 52 min. | n/a |
| Inter-town Bus To Flushing (MTA N20, N21) | 11/ 0 | n/a | 1 | 62 min. | n/a |
| Local Transit | 1 commuter loop 1 downtown loop | n/a n/a | n/a n/a | Weekdays/ 7 days | n/a |

Sources: NJTransit.com, LIRR.com, MTA.com
Notes: (1) NYC-bound departures

General Trends in Households and Income

Population and Households

The table below indicates that the ½-mile and 2-mile populations in South Amboy and Glen Cove are similar in size, although the population in South Amboy has been increasing at a slightly faster rate.

| Population | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|--------------------|--------|--------|------|-------------------|------|--------|------|
| South Amboy | | | | | | | |
| 1/2 Mile | 4,519 | 4,629 | 0.2% | 5,456 | 1.5% | 5,829 | 1.3% |
| 2 Miles | 32,409 | 34,373 | 0.6% | 38,006 | 0.9% | 40,885 | 1.5% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 5,236 | 5,921 | 1.2% | 6,165 | 0.4% | 6,424 | 0.8% |
| 2 Miles | 37,042 | 39,793 | 0.7% | 40,244 | 0.1% | 40,666 | 0.2% |

Like population, the number of households in the ½-mile and 2-mile radii of each transit station is similar, as indicated in the following table. However, when considering that there are two other transit stations within approximately ½ mile of the Glen Street Station in Glen Cove, the similar population/households are divided into three separate transit stations. This reduces the density of population impacting the Glen Street Station in comparison to South Amboy, where the next-closest stations are 1.75 miles and more than five miles, respectively.

| Households | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|--------------------|--------|--------|------|-------------------|------|--------|------|
| South Amboy | | | | | | | |
| 1/2 Mile | 1,750 | 1,768 | 0.1% | 2,213 | 2.1% | 2,337 | 1.1% |
| 2 Miles | 11,273 | 11,734 | 0.4% | 13,313 | 1.2% | 14,120 | 1.2% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 2,016 | 2,316 | 1.4% | 2,440 | 0.5% | 2,686 | 1.9% |
| 2 Miles | 13,299 | 14,419 | 0.8% | 14,955 | 0.3% | 16,014 | 1.4% |

Median Age

The median age in South Amboy, though growing older, is significantly younger than in Glen Cove and is closer to the national median. South Amboy appears to have less difficulty in attracting young, newly-formed households seeking a lower housing cost alternative to New York City and the surrounding area.

| Median Age in Years | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|------------------------|------|------|------|-------------------|------|------|------|
| South Amboy | | | | | | | |
| 1/2 Mile | 33.0 | 35.7 | 0.8% | 36.9 | 0.3% | 38.1 | 0.6% |
| 2 Miles | 33.5 | 35.6 | 0.6% | 37.3 | 0.4% | 38.6 | 0.7% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 36.1 | 38.0 | 0.5% | 43.7 | 1.3% | 45.2 | 0.7% |
| 2 Miles | 37.2 | 39.3 | 0.6% | 41.9 | 0.6% | 43.4 | 0.7% |
| United States | 32.9 | 35.3 | 0.7% | 36.9 | 0.4% | 37.8 | 0.5% |

Median Household Income

The table below indicates that since 2000, when median household incomes were virtually identical in the ½-mile radius of the transit station, incomes in the Glen Cove area have outpaced those in South Amboy. However, knowing what we do about the condition and quality of the housing in the Orchard neighborhood near Glen Street Station, it seems that much of the opportunity for capturing that growth in income has thus far been missed. It appears that there is an opportunity to capture more of the anticipated income growth in Glen Cove with appropriate planning and public action.

| Median Household Income | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|----------------------------|--------|--------|------|-------------------|------|--------|------|
| South Amboy | | | | | | | |
| 1/2 Mile | 36,350 | 48,651 | 3.0% | 49,003 | 0.1% | 51,524 | 1.0% |
| 2 Miles | 38,376 | 49,669 | 2.6% | 59,928 | 1.7% | 64,933 | 1.6% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 42,255 | 48,897 | 1.5% | 60,012 | 1.9% | 66,033 | 1.9% |
| 2 Miles | 45,445 | 61,514 | 3.1% | 80,897 | 2.5% | 89,858 | 2.1% |
| United States | 30,099 | 42,253 | 3.5% | 53,616 | 2.2% | 58,708 | 1.8% |

Percentage of Owner Occupied Housing

Homeownership ratios in the ½-mile radius of the stations are very similar in Glen Cove and South Amboy. However, homeownership ratios in the 2-mile radius are higher in Glen Cove than in South Amboy. This may indicate an opportunity for Glen Cove to capture a higher portion of the wealth outside the immediate TOD area, if those residents can be convinced of the benefits of TOD living. Some of that capture may include downsizing empty-nesters or households newly formed by young professionals.

| % Owner Occupied | 1990 | 2000 | CAGR | Estimated 2011 | CAGR | 2016 | CAGR |
|--------------------|-------|-------|-------|-------------------|-------|-------|-------|
| South Amboy | | | | | | | |
| 1/2 Mile | 52.2% | 52.8% | 0.1% | 47.7% | -0.9% | 47.9% | 0.1% |
| 2 Miles | 58.5% | 59.5% | 0.2% | 55.9% | -0.6% | 55.7% | -0.1% |
| Glen Cove | | | | | | | |
| 1/2 Mile | 51.5% | 48.8% | -0.5% | 49.7% | 0.2% | 48.8% | -0.4% |
| 2 Miles | 64.5% | 63.2% | -0.2% | 65.7% | 0.4% | 65.0% | -0.2% |

Development Trends Prior to Public Involvement in TOD

Prior to designation by the New Jersey Department of Transportation as a Transit Village in 1999, the downtown area of South Amboy was suffering from disinvestment and blight. Many of the store fronts and upper floor commercial units in the vicinity of the station were vacant. Although the Transit Village designation was preceded by a variety of other public plans and projects nearby, these projects mainly focused on the Raritan Bay waterfront area and reclamation of thousands of acres of industrial land for recreational, residential, retail, and commercial uses. These waterfront plans commenced in the mid 1990s and projects were underway by the second half of the decade. The 136-acre Raritan Bay Waterfront Park opened in 1998. It was jointly funded by Middlesex County, the City of South Amboy, and the adjacent municipality of Sayreville. The land for the park, as well as much of the waterfront redevelopment area, had been municipally owned.

The nearest point of the waterfront redevelopment area to South Amboy Station is less than one tenth of a mile and it extends to approximately three quarters of a mile from the station. United States Environmental Protection Agency Brownfields Assessment Grants and other state and local funds were used investigate and plan for the redevelopment of brownfields properties in Middlesex County.

The proximity of the South Amboy Station was leveraged as an amenity for the development that was occurring on the waterfront, prompting public investment into improving the transit facility. Hence, TOD was underway.

Types, Degree, and Timing of Municipal Involvement in TOD

Because of its historic nature as a central business district, South Amboy became a designated New Jersey “Main Street” Community in the 1990s, through the National Trust for Historic Preservation ([“NTHP”] PreservationNation.org or MainStreet.org). This designation has facilitated access to federal funds for streetscape and façade improvements, as well as Community Development Block Grants. NTHP has also provided technical expertise and non-profit consulting services that South Amboy representatives have indicated were very beneficial to the community.

NTHP is a private, nonprofit membership organization dedicated to saving historic places and revitalizing America's communities. Separate discussions with NTHP indicated that they might assist with strategies to link the Glen Street Station to some of the commercial properties near the downtown and build off people using the train to get them to use more of the commercial space located near the station before and after using the train. NTHP does not necessarily emphasize the historic nature of specific properties, but tries to revitalize communities through preservation. They believe that “the greenest building is one that has already been built.”

Based on discussions with local officials, South Amboy’s designation as a Transit Village by the State DOT in 1999 acted as an important draw to private developers. It immediately placed South Amboy on a short list of locations to be considered for private investment and development. In addition, since North Broadway is South Amboy’s central business district, state and federal funding was made available to install lampposts, crosswalk pavers, planters, benches, wayfinders and signage along North Broadway as a part of the Main Street New Jersey program, under the State’s Department of Community Affairs. Factors influencing the DOT’s designation as a Transit Village included the density of population, the large number of riders already using the rail station, and access to multiple major highways.

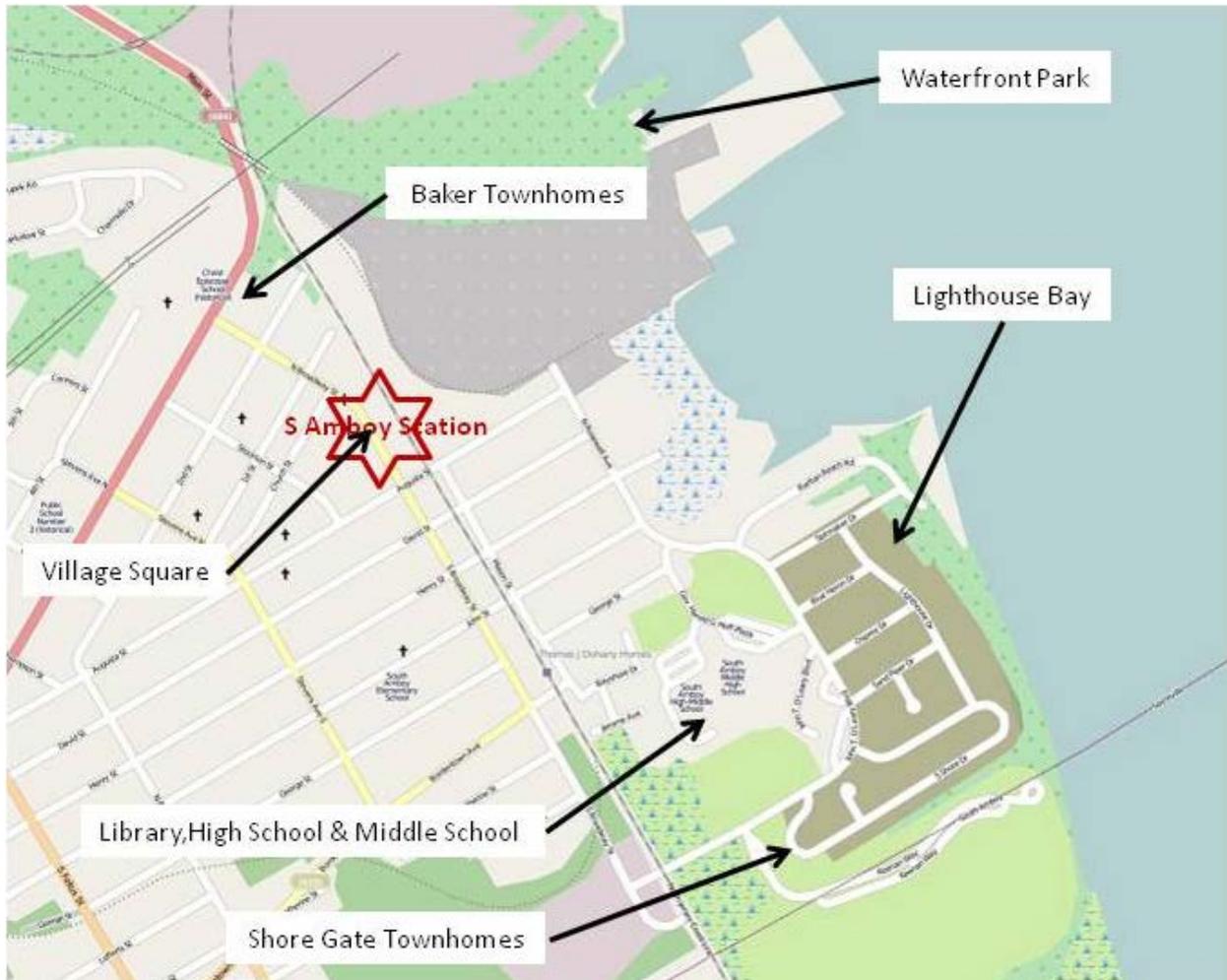
In the early 2000s, South Amboy Station was improved into an intermodal transit hub by enhancing the train service with more frequent trains, reducing the number of stops on some trains, adding to the existing bus service to the station, and adding plans for a ferry to Manhattan (although the ferry plans have yet to materialize and the bus service is no longer present). New Jersey Transit committed \$18.2 million toward provision of 250 parking spaces and construction of a 5-block long elevated platform along with a pedestrian overpass and elevators at the station. In addition, Congress awarded \$14.2 million for the construction of a (now completed) road from downtown to the waterfront ferry terminal¹². Most recently, federal Community Development Block Grants were secured to expand the Broadway façade improvement program and further enhance the aesthetics of the downtown.

Local officials indicate that the façade improvement program, along with a robust design and zoning ordinance, have served the City well in maintaining a pedestrian-friendly environment that assures consistency in providing retail and dining options along North Broadway.

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¹² <http://www.nytimes.com/2001/02/18/realestate/in-the-region-new-jersey-new-housing-for-reviving-south-amboy-waterfront.html?pagewanted=print&src=pm>

A landscaping plan is also being prepared that will become part of the city's proposed "greenway," which will ultimately circle the city. The success of the downtown revitalization has created pressure on parking availability, which the City is also in the process of trying to solve.

Use Types, Amount, and Timing of TOD Development Since Municipal Involvement



Waterfront

Shore Gate, a 114-unit townhouse project for residents aged 55+ as well as a new library, youth center, middle and high schools, was the first waterfront development in the late 1990s. This project was followed shortly after by the Lighthouse Bay project, a 32-acre residential project with 115 townhouses and 70 single-family homes. Based on the target buyers and limited improvement of the rail infrastructure at the time, proximity to the rail was far less relevant than the waterfront environment for Shore Gate.

Economic uncertainty caused a delay in the subsequent phases of the waterfront developments that were to include another 1,500 residential units, a 400-slip marina, and up to three million square feet

of retail and commercial space. However, local officials indicate that a press release is about to be issued regarding a new town home and skilled nursing facility to be developed on the waterfront.

Baker Townhomes

Another project completed in the early 2000s and closer to South Amboy Station is the 40 townhomes by Baker, at the northwestern terminus of North Broadway at C.R. 670. A small, 8-unit townhome project adjacent to the Baker project was also completed in mid-2011.

Village Square

In approximately 2004, Dunkin Donuts/Baskin Robbins took space in a new 2-story retail and commercial building adjacent to the new entrance to the train station. At the same time, another 2-story commercial structure with a ground floor restaurant was developed on the south side of the station entrance, creating a small village square.

Increases in Retail Occupancy

Other projects along Broadway have mainly included refurbishment of storefronts and interiors, as well as signage. But among the biggest changes is that the City now claims an occupancy rate of over 90 percent for the retail space along this corridor; a great comeback from levels possibly as high as 50 percent or more in the late 1980s.

Issues/Lessons Learned

Planning and Zoning

- Waterfront redevelopment plans that emphasized access to the trains helped to emphasize the importance of the intermodal access. This helped to spur public investment in the intermodal transit, which again, in turn, helped the success of the waterfront projects.
 - Although Glen Cove has a similar waterfront area where development is about to commence, Glen Street Station is farther from Glen Cove's waterfront redevelopment area than South Amboy is to its waterfront redevelopment and is outside the area generally considered a TOD. However, there are plans for a trolley from the waterfront community to the Glen Street Rail station. This plan would increase the importance of that TOD location and help to drive demand for improved intermodal transit.
- Zoning requirements for street-front retail with a mix of residential and commercial uses above and design guidelines for signage, window treatments, and other visual elements along North Broadway were vital in maintaining a pedestrian-friendly environment for weekdays, evenings, and weekends.

Timing

- Having the waterfront development underway prior to focus on the transit appears to have made investment in the rail easier to justify. However, the success of the waterfront development may have been diminished if the municipality were unable to deliver on transit oriented improvements. Even with these improvements in place, major elements of the waterfront project remain on hold.

Community Leadership and Interaction

- Designation as a New Jersey “Main Street” Community by the National Trust for Historic Preservation helped in procurement of funds for infrastructure development. The non-profit group also provided technical expertise and consulting services. NTHP is concerned not only with historically significant properties, but also in “saving the recent past” and emphasize that “the greenest building is one that has already been built.”
- Designation by the State DOT as a Transit Village helped in generating interest in the area from the private development community.

Role of Transit

- Access to mass transit, while important, was not the key factor in some of the earlier development along the waterfront. Rather, the main factor was the new availability of large tracts of land along the Raritan Bay. Glen Cove may experience a similar situation with the demand for housing along its waterfront generating new interest in the area overall.
- Transit became a more and more vital element of the City’s resurgence as development continued.
- Existing and projected population density, the number of riders already using the station, and proximity to major highways were important factors in gaining status as a TOD location. With Glen Street Station’s rail ridership at barely one tenth of South Amboy’s (partly due to the close proximity of two other rail stations) and its location on a peninsula, a long distance from major highways, it will be difficult for the Glen Street Station to gain attention as a TOD location.

Financing

- Public financing sources have included New Jersey Transit, Congressional earmarks, Community Development Block Grants.
- Much of this funding has been made available due to designation as a Transit Village and as a “Main Street USA”. Designations like these will be difficult for the Glen Street Station area to obtain since it is not a traditional central business district and use of mass transit is limited in comparison to other station areas.

3.4.1.5 Summary of Issues and Lessons Learned

Population and Income

- Income levels in the area (particularly outside the ½-mile radius of Glen Street Station) appear high enough to support a variety of development types, particularly if the area can develop sufficient sense of place with greater mixed-use density to make it more of a destination for those living beyond ½ mile of the Station.
- There may also be opportunities to provide a mix of housing types for mixed income residents.

Planning and Zoning

- All locations indicated that appropriate design guidelines were an important aspect of TOD growth. Adequate enforcement is also important.

- Maintaining a consistent retail experience is an important part of keeping pedestrians in the commercial district and improving chances of capturing additional spending.
- Including a mix of residential and commercial uses on upper floors improves the vitality of a 24/7 community.
- Increases in density are often an important component of making TOD feasible for the private development community.
- Inclusion of low-income or workforce housing in the plan can provide an economic asset to the community.

Timing

- Assuming that waterfront redevelopment can be self-sustaining, it can be a catalyst for growth in the nearby TOD area and can improve demand for transit if within a ½-mile radius of the station.
- Similarly, if planned improvements to the rail service are available, they can assist in the marketing efforts for the nearby (waterfront) development.
- Early planning or planning during a down market can set the stage for new development when economic conditions improve, although some project plans may take more than one economic cycle to come to fruition.

Community Leadership and Interaction

- Maintaining an open dialogue with the public helps ease concerns about change.
- Gaining public support for low-income housing helps improve the chances of success for this important aspect of revitalization.
- Educating the public on the minimal impact projects with multi-family housing have on school taxes and other municipal services, while providing a significant boost to tax revenues is an important step in gaining approval for such projects.
- The Long Island Housing Partnership provides important assistance in the selection of income qualified residents for low-income housing projects and provides a level of comfort for developers and local residents that the projects would be filled with residents who would positively contribute to the local community. This allows the low-income housing projects to be viewed as an asset to the community, not a detriment.
- Designation as a “Main Street” Community by the National Trust for Historic Preservation (“NTHP”) can help the area gain publicity and attention by developers and lenders and membership in NTHP can provide access to a variety of technical support and research materials.

The Role of Transit

- The presence of rail can be an important highlight in marketing documents for residential development that is within walking distance of the station.
- At approximately ½-mile or more from Downtown Glen Cove the Glen Street TOD area is farthest from the downtown area than any of the case study areas. This will make it more difficult for the area to reap the benefits of transit-friendly planning around the station.
- Nevertheless, public improvements can be made to make the area conducive to more dense mixed-use development, more pedestrian friendly retail, and to create better linkages (such as bike routes and trails, shuttle bus service, and other transit modes) to the surrounding community.

- Each of the case study locations benefit from more frequent transit service to NYC that is used by more riders than Glen Street Station (between 3.5 and 24 times as many). Completion of the East Side Access to Grand Central Terminal may result in slightly more frequent service, as could the increase in demand from the TOD.
- Stations with shorter, more direct service to Manhattan tend to generate larger demand for rail service. At approximately 60 minutes, the existing commute from Glen Street Station is acceptable for the metro area. However this commuting time is expected to improve slightly due to the completion of the East Side Access to Grand Central Terminal.
- A more robust intermodal transit station with increased inter-town bus service would improve the potential demand for TOD.
- Any increase in ridership or other development activity near the station is likely to result in an increase in demand for parking in the area, which should be planned for in advance to the degree possible, potentially through the use of shared parking strategies.
- Since there are two stations within approximately ½ mile of Glen Street Station plans should focus increased density on the immediate area surrounding the Glen Street Station to assure capture of the increase in potential ridership.

Financing

- State and county funds can be obtained for façade grant programs, roadway and streetscape infrastructure and other projects that provide a benefit to the community.
- Federal tax credits can be used in relation to Low-Income Housing projects that can be an important aspect of revitalization.
- In addition to public participation, collaborative relationships between local officials, state agencies and others can be invaluable. These partnerships can also help in jointly financing public-private projects.

Sources:

<http://www.ctod.org/portal/>

<http://www.vtppi.org/tdm/tdm45.htm> TDM Encyclopedia, Victoria Transport Policy Institute

<http://www.freemaptools.com/radius-around-point.htm>

3.4.2 Light Industrial/Big Box Retail Background

RESGroup completed an overview analysis of the market potential for light industrial commercial uses and big box retail in the Orchard BOA, identifying competitive locations, recent transactions, the types of potential tenants, and the locational and physical characteristics that these types of tenants require. The following steps were included in this analysis.

- Identified the types of industrial development and big box retail, and typical tenants that are currently located in the local market area.
- Contacted brokers to understand the potential for new demand for light industrial uses and big box retail, identifying other competitive locations in the market area that are seeking to attract similar tenants; and obtained information regarding their typical locational and physical requirements.
- Identified actions that may be taken as part of the BOA plan to improve the locational and physical attributes of the site that would create competitive advantages of the site within the market area to attract tenants.
- Identified recent building sales and lease transactions, including vacancy rates, and types of tenants that have located in the area through discussions with brokers and other sources to develop an understanding of recent market trends.
- Identified new construction offerings, planned projects, or projects under consideration for various types of light industrial uses and big box projects.

3.4.2.1 Industrial

Types of Development

There are two general types of industrial development that have seen some recent development activity in Nassau County: distribution warehouse and light manufacturing. These facilities are typically occupied by small corporations or individuals, as opposed to large, national or international corporations.

Locational Requirements

The single most important attribute responsible for attracting recent industrial development has been proximity to the Long Island Expressway (the "LIE" or I-495), the primary commercial east-west artery on Long Island. Because of the proximity to the LIE, the amount of available land, and the presence of a 40-year Payment in Lieu of Taxes ("PILOT"), the former Grumman campus in Bethpage (approximately 3 miles or 7 minutes south of the LIE) has seen the majority of Nassau County's development activity in recent years.

At over 5 miles from the LIE (approximately 12 minutes), Glen Cove is at a significant disadvantage as a potential location for attracting large warehouse and distribution types of tenants in comparison to Bethpage.

Although proximity to the LIE is slightly less important for light manufacturing than for distribution and warehousing, distance from the LIE likely remains the most important characteristic of location. While the proximity to the labor force becomes slightly more important for light manufacturing than for distribution, it is still not a major locational factor, especially since so many areas of Long Island have adequate proximity to labor.

The Port Washington industrial market is larger than the industrial market in Glen Cove because Port Washington has more industrially zoned land. The amount of sale and leasing activity that has occurred in Port Washington recently indicates that a market does exist of industrial space on a peninsula north of the LIE, however, pricing is at a discount.

For heavy industry, distance from residential and office uses is also important, but it is less critical to insulate these uses from light industry since, depending upon the tenants, it can often coexist harmoniously in the same neighborhood.

Physical Requirements

Distribution Warehouses

Distribution warehouses in Nassau County typically range from 30,000 to 100,000 square feet in total size. They are almost always single-story facilities (although mezzanine offices are sometimes included) with clear ceiling heights of at least 24 feet. Smaller properties typically require two to three loading docks and larger facilities can have as many as ten. Office space usually represents approximately 10% of the total area. Electrical capacity is typically in the range of 600 to 800 amps. There is rarely a need for refrigeration, overhead cranes, or other special equipment with the exception of special users such as food distribution or heavy equipment distributors.

Light Manufacturing

Light manufacturing can accommodate a wide variety of users, from machine shops to hearing aid manufacturers. They typically range in size from 10,000 to 50,000 square feet with clear ceiling heights of approximately 16 feet. They are almost always single-story facilities. They typically require one to three roll-up doors or loading docks. Office space usually represents 10% of the total areas. The electrical capacity requirement is typically in the range of 600 to 800 amps.

Actions Recommended for the BOA Plan

Experts agreed that some incentive must be provided to attract light industrial users to this area, particularly in light of Glen Cove's location relative to the LIE. While a financial incentive to reduce cost by way of remediation of environmental contamination is already being undertaken by the New York State Department of Environmental Conservation ["NYSDEC"] and Potentially Responsible Parties ["PRPs"], other incentives such as a PILOT agreement or other means to offset development cost should also be considered.

A children's Head Start day care center is located at the northeast corner of the industrial neighborhood, accessible from Pratt Boulevard southbound or through industrial parking lots from Sea Cliff Avenue. It is recommended that access from Sea Cliff Avenue be improved to the site. Access would create the following alternatives.

- Continuation of the day care use at its current location with better access.
- Relocation of the day care use to a new mixed use TOD near the Glen Street train station (since day care use is compatible with TOD use) to allow for expansion of the light industrial uses.

Any relocation of the day care would be likely to require an agreement by the impacted property owners and other parties, which may require some type of financial incentive to make the relocation feasible.

Discussions with real estate experts confirmed that access to Sea Cliff Avenue from Glen Cove Road for light industrial use is adequate in its current configuration. The current configuration provides the most critical access, which is from the LIE, via Cedar Swamp Road. The current configuration would also be adequate for continued day care use, fitness center use, or open space/sports fields use.

Recent Sale and Leasing Activity

Despite any shortcomings from which the Glen Cove area may suffer resulting from its location on a peninsula several miles from the LIE, demand exists for warehouse space in Glen Cove and on the neighboring peninsula of Port Washington. Recent sale and leasing activity was obtained through interviews with local area real estate brokers as well as secondary research on PropertyShark.com, Loopnet.com, and Nassau County land records. The following table summarizes currently active industrial asking rents in the area.

Glen Cove Area Industrial Asking Rents

| # | Address/ Location | Building Sq. Ft. | Space Sq. Ft. | Rent/ SF | Total Available | Vacancy Rate | Year Built | Comments |
|---|---------------------------------|---------------------|------------------|--------------------|--------------------|-----------------|---------------|--|
| 1 | 44 Sea Cliff Ave Glen Cove | 15,000 | 1,000 2,800 | \$12.00 | 6,550 | 44% | 1957 | 2-story, multi-tenant building with several small, entrepreneurial companies. |
| 2 | 42 Sea Cliff Ave Glen Cove | 16,000 | 1,000 3,000 | \$12.00 | 3,000 | 19% | 1950s | 1-story warehouse |
| 3 | 1 Garvies Point Rd Glen Cove | 80,000 | 1,000 55,000 | \$8.25 | 55,000 | 69% | 1967 | 1-story warehouse/R&D. Also available for sale for \$13.9 million (\$173.75/SF). |
| 4 | 1 Brewster St Glen Cove | 11,000 | 500 5,000 | \$17.00 \$10.00 | 6,000 | 55% | 1989 | 1- and 2-story flex/office building. |
| 5 | 55 Sea Cliff Ave Glen Cove | 18,633 | 6,500 18,633 | \$12.00 | 18,633 | 100% | 1959 | 1- and 2-story manufacturing building. Also for sale for \$2.495 million (\$133.90/SF) |
| | Total | 140,633 | | | 89,183 | | | |
| | Average | 28,127 | 9,443 | \$11.88 | | 57% | 1968 | |

Source: RESGroup survey, Loopnet.com, PropertyShark.com

Note: Unless noted All rents are annual, semi-gross, with tenant paying electric and increases over base-year real estate taxes, insurance, and operating expenses.

Asking rental rates range from \$8.25 to \$17 per square foot on a semi gross basis. The high end of the rental range reflects flex space that is already fit out for mostly office/showroom space. The age of most buildings identified in the table above (all except one built before 1968), is an indication of the age of most industrial stock in the Glen Cove area. Building sizes range from 2,800 to 55,000 square feet, which is toward the small end of industrial properties Island-wide and reflects the focus of the area on small, specialized light manufacturing uses as opposed to the distribution warehouses

more commonly found closer to the LIE. While the high vacancy rate for the select group (averaging 57%) is somewhat reflective of the challenges faced by the industrial market in the Glen Cove area, it also reflects the impact any vacant space has on such small buildings.

According to Cushman & Wakefield's 3rd Quarter 2011 Long Island Industrial Market Report, overall industrial vacancy on Long Island is up to 13.0% from 12.4% in the third quarter of 2010, while average net direct asking rents are down to \$6.76 from \$6.85. An important distinction between the asking rents in the local Glen Cove market and the Island-wide data from Cushman & Wakefield, is that the local rents are quoted on a semi-gross basis (the landlord pays all operating expenses except tenant electric), while the Island-wide statistics are on a fully net basis (the tenant pays all operating expenses). Operating expenses can range from \$4 to \$6 per square foot or more, depending on the building and location.

The following table summarizes recent industrial sale activity in the area.

Glen Cove Area Industrial Sales and Asking Prices

| # | Address/ Location | Building Sq. Ft. | Sale Price | Price/ SF | Sale Date | Clear Height | Occupancy | Year Built | Comments |
|---|------------------------------------|---------------------|---------------|--------------|--------------|-----------------|-----------|---------------|---|
| 1 | 1 Garvies Point Rd Glen Cove | 80,000 | \$13,900,000 | \$173.75 | Asking | n/a | 31% | 1967 | 1-story warehouse/R&D. Also available for rent for \$8.25 per SF. Sold in 2007 for \$7 million and in 2006 for \$6.2 million. |
| 2 | 55 Sea Cliff Ave Glen Cove | 18,633 | \$2,495,000 | \$133.90 | Asking | 25 | vacant | 1959 | 1- and 2-story manufacturing building. Also for lease (\$12/SF). |
| 3 | 38 Hazel St Glen Cove | 52,480 | \$3,125,000 | \$59.55 | 8/17/11 | 12 | 0% | 1958 | 1-story warehouse/distribution. Purchased by Men-On-The Move Storage |
| 4 | 2 Channel Drive Port Washington | 170,000 | \$5,900,000 | \$34.71 | 8/11/2011 | n/a | 0% | 1961 | 1-story light manufacturing building. Sold in 2007 for \$9,830,000. |
| 5 | 85 Harbor Road Port Washington | 105,000 | \$7,700,000 | \$73.33 | 6/18/2011 | 24 | 0% | 1969 | 1-story storage/warehouse building. |
| | Total | 426,113 | | | | | | | |
| | Average | 85,223 | \$6,624,000 | \$95.05 | | 20 | 8% | 1,963 | |

Sources: RESGroup survey, Loopnet.com, PropertyShark.com, Cushman & Wakefield 3rd Q Long Island Industrial Market Report, Nassau County Land Records.

Recent sales and asking prices in Glen Cove and on the neighboring peninsula of Port Washington range from approximately \$35 to \$174 per square foot. The wide range reflects the wide variety of quality and finishes that exist in the local market. All of the properties identified above were built between 1958 and 1969. They range in size from 18,633 to 170,000 square feet, although the largest Glen Cove property is 80,000.

New Construction Offerings and Planned Projects

As mentioned previously, the former Grumman campus in Bethpage is among the most active industrial development areas in Nassau County. Hicksville based Steel Equities purchased 95 acres of land and buildings (the entire Grumman campus was 600 acres) from Nassau County in June, 2011 for approximately \$15 million. The purchaser intends to clean environmental contamination that includes asbestos and restore the crumbling buildings at an additional cost of \$20 million. The entire project is to contain 1.2 million square feet. The hope is to draw a film studio and high technology firms. Thirty thousand square feet of space has been set aside for an incubator facility that will target small businesses. Also mentioned above, the developer received an agreement from the Nassau County IDA for 40 years of PILOT in return for the environmental remediation of the site. There will be no PILOT payments for the first three years with payments increasing based mainly on the rental

income of the property. Also, the IDA is providing a sales-tax exemption of up to \$1.7 million and a mortgage-recording-tax exemption of up to \$262,500.¹³

Within the first 850,000 square feet being completed at the Steel Equities site, at least two leases have been signed and others are out for signature. One executed lease was with Franklin Stainless, a stainless steel sheet metal manufacturer from Port Washington and another lease was executed with PODS, a national moving and storage warehouse company. Leases are reportedly in the range of just under \$7 per square foot, semi gross, lower than current asking prices in Glen Cove which are for smaller spaces.

These two projects are much larger than what is available in Glen Cove which is largely due to the location near the LIE making them more attractive to large distribution and manufacturing tenants.

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¹³ <http://www.newsday.com/business/nassau-to-help-rehab-ex-grumman-factories-1.3155844>

3.4.2.2 Big Box Retail

Typical Tenants

The most active big box retail tenants on Long Island are currently Costco and BJ's warehouse clubs, which is where the greatest potential for new demand exists. A BJ's is under construction and nearing completion at the Arches, an outlet center in Deer Park, approximately 40 minutes southeast of Glen Cove. Lowes and Home Depot home improvement stores have apparently completed their expansions in the area and Lowes is now actually in the process of reducing the number of stores on Long Island.¹⁴

Market Area Attributes

According to brokers specializing in big box retail, Costco and BJ's typically seek a minimum population of 150,000 to 200,000 for each warehouse club market area but an ideal market area would be a population of 400,000 within a 15- to 20-minute drive. Costco reportedly seeks the wealthiest population possible, while BJ's generally caters to lower- to moderate-income levels. The following table provides a high-level summary of household income stratification in Glen Cove.

Glen Cove* Household Income Stratification, 2011 Estimate

| Income Range | Percentage of Households |
|-----------------------|--------------------------|
| \$0 - \$14,999 | 8.5% |
| \$15,000 - \$24,999 | 6.1% |
| \$25,000 - \$34,999 | 6.2% |
| \$35,000 - \$49,999 | 9.7% |
| \$50,000 - \$74,999 | 15.8% |
| \$75,000 - \$99,999 | 12.6% |
| \$100,000 - \$124,999 | 11.6% |
| \$125,000 - \$149,999 | 7.7% |
| \$150,000 - \$199,999 | 9.3% |
| \$200,000 - \$249,999 | 3.7% |
| \$250,000 + | 8.7% |

* within 2 miles of Glen Street Long Island Rail Road Station

Source: DemographicsNow.com

Average household income for the 2-mile radius surrounding the Glen Street Long Island Rail Road Station is approximately \$116,890. The table above indicates that Glen Cove's income level is fairly



¹⁴ According to Cushman & Wakefield's 2nd Quarter 2011 Long Island Industrial Market Report, Lowe's sold a 315,000 SF industrial building at 2200 Northern Boulevard in Greenvale that is to be converted to office space.

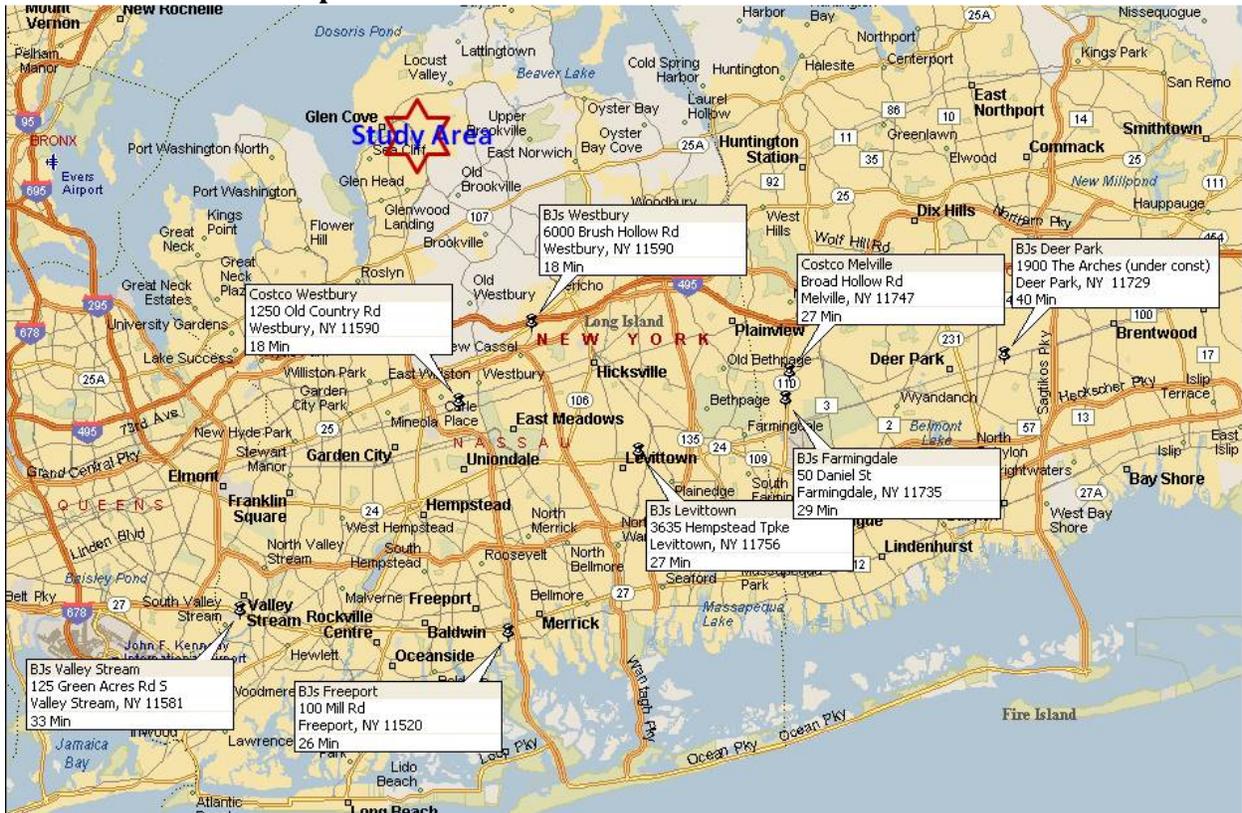
stratified and there is probably sufficient population at both income ranges to support either a Costco or a BJs.

The nearest existing big box stores are a BJ's located at 6000 Brush Hollow Road in Westbury, approximately 18 minutes from Glen Cove and a Costco, located at 1250 Old Country Road, also in Westbury and also approximately 18 minutes away. These stores, as well as five others in Nassau and Western Suffolk Counties as close as 26 minutes and as far as 33 minutes, would at least partly share some of the market for a big box store in Glen Cove.

However, there are no warehouse club stores located north of the Long Island Expressway (I-495) and for this reason, retail experts have indicated that there may be interest in a possible location in Glen Cove. The map on the following page identifies the location and approximate drive-time from Glen Cove of each Costco and BJ's in Nassau and western Suffolk County.

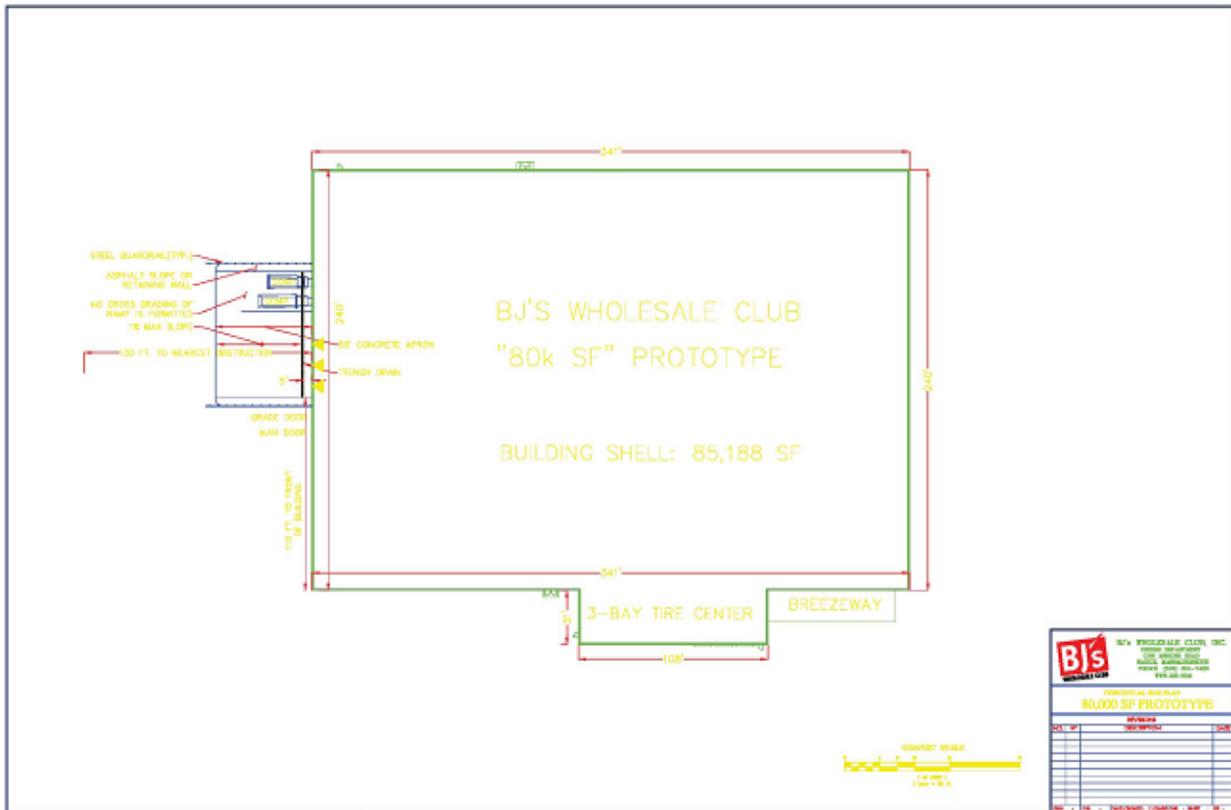
Warehouse clubs also prefer highly visible locations on main arteries with high traffic counts and easy access to the parking area, although many examples exist where these attributes are not present.

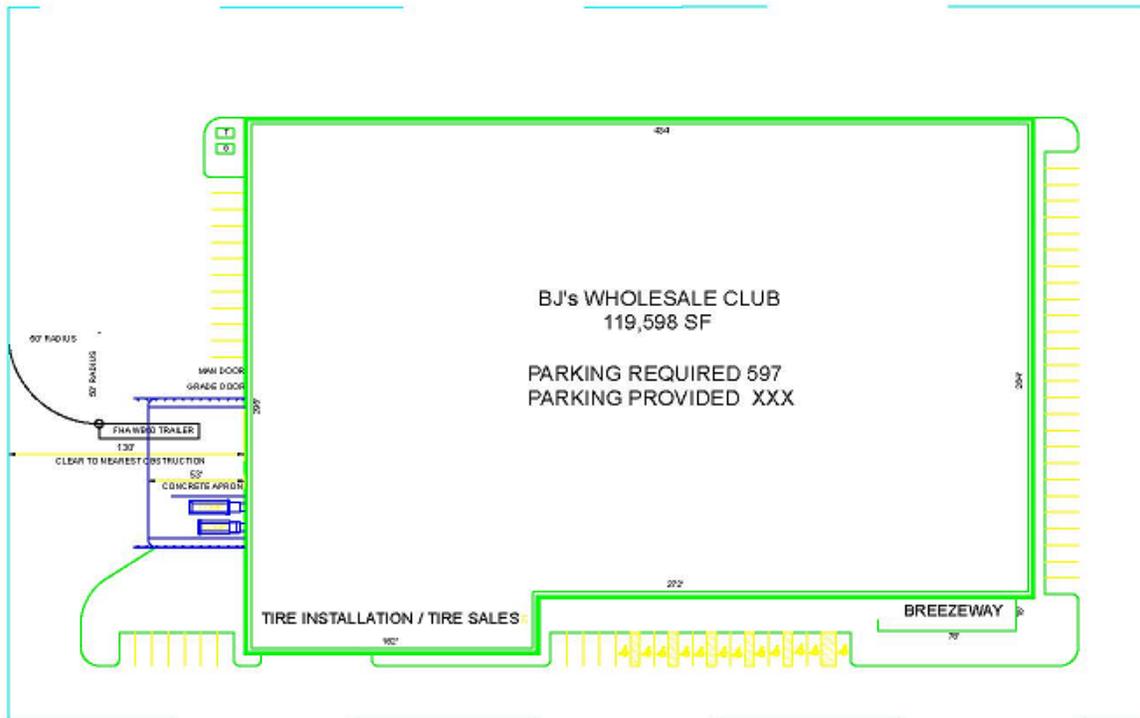
Map of Nassau & Western Suffolk Warehouse Clubs



Physical Requirements

Based on discussions with local experts, BJ's currently uses two prototype site plans in their selection process: an 85,000 square-foot plan and a 120,000 square foot plan. BJ's typically includes a gas station pad in front of the building. Costco is currently using only one prototype that is most similar to the larger of the two BJ's plans. The following diagrams were obtained from John Hanlon of Ripco Real Estate Corp. Mr. Hanlon is a real estate broker who often works directly for BJ's and, because of the limited east/west accessibility of the Glen Cove area due to its location on a peninsula, he believes that the only real possibility for the Glen Cove area is the smaller BJ's prototype.





Actions Recommended for the BOA Plan

In order for a big box retailer to have serious interest in the Sea Cliff Avenue area of Glen Cove, it is likely that the responsibility for and cost of remediation of all environmental contamination would need to be borne by someone else (it is currently being undertaken by the NYSDEC, with funding from PRPs). In addition, it is likely that improved direct access from Sea Cliff Avenue to Glen Cove Road (a.k.a. Platt Boulevard and S.R. 107) will be required. The current configuration has no southbound access from Glen Cove Road and northbound access requires a turn onto Cedar Swamp Road, followed by a left onto Sea Cliff Avenue. Such changes to the roadway configuration would need to be coordinated with the NYS Department of Transportation and the Town of Oyster Bay. Visibility and signage will be required from Glen Cove Road as well.

This location may also be considered as a potential site for the relocation of the Fitness Center currently operating adjacent to the Glen Cove station. As noted in the analysis of the market for light TOD, redevelopment of the Fitness Center site (perhaps incorporating the Fitness Center within the new development) would make the site available for a mixed-use TOD.

3.5 Summary Analysis, Findings and Recommendations of the BOA

As detailed in the preceding analyses, the proposed BOA faces a number of challenges related to a legacy of environmental contamination from abandoned industrial uses, deteriorated housing stock and socioeconomic conditions, internal circulation limitations, drainage concerns, and a land-use pattern and transportation network that isolates the area from the rest of the City. At the same time, the Study Area has a number of significant assets that could provide opportunities for significant neighborhood revitalization as part of a comprehensive set of initiatives. These include two LIRR stations that provide access to and from the New York City market, several large, strategic sites that offer the size and flexibility for redevelopment opportunities that are not available elsewhere in the City, a vibrant connection to the neighborhood's historic past, and commitment from the community. The area has also begun to see incremental, but significant steps toward change, including the remediation and redevelopment of a brownfield site on Hazel Street for commercial use, the redevelopment of a former bowling alley site for a multi-family residential project, and enhancement of the Cedar Swamp Road streetscape.

As described in Section 1, the following implementation goals were identified through the existing conditions analysis and the project's public engagement process:

- Enhance parking resources to accommodate multiple needs within the Orchard, Glen Street Train Station and the Cedar Swamp Road commercial district.
- Encourage transit oriented development opportunities in the Orchard neighborhood that take advantage of the existing Glen Street station and the RIO-ON zoning district.
- Enhance quality of life in the Orchard by continuing building code enforcement, enhancing pedestrian circulation, and incorporation of a street tree planting/landscaping/beautification program.
- Incorporate green infrastructure elements to address stormwater issues, and create a new open space element by enhancing the existing stream west of Glen Cove Arterial Highway.
- Expand the availability of recreational resources/open spaces to serve residents of the Orchard.
- Facilitate reinvestment in the Orchard neighborhoods housing stock and public spaces to reduce blighting influences.
- Enhance the attractiveness of the Orchard as residential neighborhood, while maintaining connections to its distinct sense of history and place and its urban scale.
- Enhance pedestrian connections between the Orchard neighborhood and a reinvigorated Sea Cliff commercial area.
- Address the accessibility and circulation issues at the Glen Cove Daycare facility, either by relocating the facility or creating new, safer pedestrian and vehicular access from the Orchard and /or Sea Cliff Avenue.
- Encourage new commercial investment in the industrial area along Sea Cliff Avenue that will enhance employment opportunities and fiscal conditions, while avoiding competition with existing businesses.
- Improve transportation and circulation at the Sea Cliff Avenue/ Cedar Swamp Road gateway intersection, particularly as it relates to commercial redevelopment opportunities.

- Expand the study area to include the Coles School, a vacant City-owned building with significant potential to offer community support services and recreation opportunities.

These concepts have been categorized into four types of initiatives: TOD Opportunities; Neighborhood Stabilization and Green Infrastructure; Land Development Concepts for Strategic Sites; and Traffic Enhancements and are illustrated in Figures 16 through 19.

3.5.1 TOD Opportunities

As indicated earlier, the residential Orchard neighborhood is a compact and dense neighborhood. Essentially all of the residential units are within a ¼-mile radius of the Glen Street Station. This means that most residents could potentially be within a 5-minute walk of the station. However, there is currently no direct access from the neighborhood to the station. Residents seeking to ride the LIRR are required to detour out of the neighborhood onto Cedar Swamp Road. Hazel Street serves as the spine of the residential neighborhood and could offer a potential opportunity to create a more direct access to the station. However, the road currently terminates to the rear of the Lexus Rallye car dealership and there is a substantial grade change from the northern end of the street down to the station level. The establishment of a pedestrian connection from Hazel Street that accommodates the grade change could enhance the attractiveness of the neighborhood as a location for transit-oriented development. As detailed in the market analysis, there is a growing market for transit-oriented development. While the existing service, frequency and travel-times to New York City on the Oyster Bay branch may represent a constraint, service enhancements would improve marketability.

A focus on transit-oriented development concepts could also help address other needs in the neighborhood. For example, parking within the neighborhood is a challenge given the competing uses (e.g., car dealerships) and the tight conditions of the internal roadways. Some of the car dealerships are also currently storing vehicles in off-site locations in the downtown. In order to help alleviate some of these existing pressures and to facilitate TOD development that could take advantage of the proximity to the LIRR station, the possibility of a new parking resource or parking management plan should be explored. The expansion of parking facilities (e.g., structured parking as part of a TOD) could provide an additional resource for residents, employees, businesses and commuters.

In addition, improved transit access could help promote redevelopment in accordance with the new Orchard Neighborhood Redevelopment Incentive Overlay District. The RIO-ON district was created specifically to incentivize redevelopment in the Orchard neighborhood, while providing contemporary setback and open space requirements to ensure new development enhances the character of the neighborhood and the provision of public amenities such as recreational facilities and green space.

3.5.2 Land Development Concepts for Sea Cliff Avenue Strategic Sites

As indicated in Section 3.2.8, the key large-scale strategic sites are concentrated along the Sea Cliff Avenue industrial corridor. These sites represent a large proportion of Glen Cove's prime industrial real estate, and as large, vacant parcels, have significant redevelopment potential. They present the greatest capacity to accommodate large development programs and as a former industrial area there is already significant infrastructure in place to support redevelopment.

With a declining trend in heavy manufacturing locally, a market analysis was conducted for other uses that might be appropriate based on the sites' location and characteristics, including large-scale retail, light industry and distribution/warehousing. As indicated in the market analyses, it is likely that improved access from Sea Cliff Avenue to Glen Cove Road and/or Cedar Swamp Road would be necessary to attract large-scale retailers to the vacant industrial properties along Sea Cliff Avenue identified as strategic sites. (Improvements to the roadway transportation network would be expected to both enhance the attractiveness of these sites and help to maintain acceptable levels of service for traffic function. These considerations are described in more detail in the Traffic Enhancements section below.)

Remediation costs can also be a concern. However, these sites are currently within the State programs and the remediation occurring as part of that activity is intended to ready the sites for development. The absorption of these costs should help to make the site attractive for retail developers, however the remediation schedule may present challenges for interested parties who may require a shorter timeframe for a buildable site.

In order to get a sense of the scale of development that could occur across the strategic sites, a conceptual site plan including building pads, parking and stormwater management needs, and landscaping and placemaking elements for a retail development was prepared. The conceptual land planning exercise indicated that the former industrial strategic sites could support a comprehensive redevelopment including an 80,000 square foot wholesale club, 33,000 square feet of additional retail (e.g., drugstore) or restaurant space, and a 30,000+ square foot commercial recreation facility. It is noted that the plan is conceptual in nature and that uses could be interchanged. This type of redevelopment concept could also accommodate innovative stormwater management techniques, enhance and celebrate the existing stream that passes through this area as an attraction and open space resource, and enhance traffic circulation through the Sea Cliff Avenue/Glen Cove Arterial Highway intersection.

In terms of industrial usage, proximity to the LIE has been identified as the most important attribute for attracting distribution/warehousing. Therefore, the BOA would be expected to be at a disadvantage compared to other industrial facilities currently in the marketplace. While access to the LIE is less of a determinant for light manufacturing activity, it still remains the most important characteristic of location. Given the location disadvantage of being relatively distant from the LIE, some financial incentive would likely be necessary to attract industrial users. Film studio facilities or indoor recreation are another type of commercial use that might be appropriate for these sites.

The Child Day Care Head Start facility was also identified as a strategic site because it serves a valuable community need, but occupies a site that is not pedestrian accessible to many of its constituents. The only entrance is a vehicular access from the southbound Glen Cove Arterial Highway. As a result, some families from the Orchard are required to make lengthy and unsafe trips with strollers that take them along the highway in order to make drop-offs and pick-ups. A relocation of the day care use to a more accessible site would improve safety and convenience for area families and allow for assembling the parcel with the adjacent industrial properties for remediation and redevelopment.

In order to facilitate redevelopment across all of the strategic sites, the City could consider establishing a Tax Increment Financing District for the Sea Cliff Avenue area. A portion of the incremental increase in tax revenue generated by the area once the redevelopment project is completed would be used to pay off the bonds used to finance the capital improvements. This type of tool could provide the financial resources for undertaking up-front infrastructure work, such as roadway, drainage, parking and lighting improvements to incentivize redevelopment.

3.5.3 Neighborhood Stabilization and Green Infrastructure

Neighborhood Stabilization

The residential neighborhood has suffered from some disinvestment and deterioration in its housing stock, as well as overcrowding. The density and number of residential lots within the residential portion of the Orchard limit the potential for large-scale redevelopment. However, actions focused on neighborhood stabilization and enhancement of the public realm, such as concentrated code enforcement, design guidelines for new construction, renovations and additions, capital improvements to street/sidewalk network, beautification programs, and residential rehabilitation support programs, would be appropriate. These concepts represent a continuation of the recommendations of the City's Master Plan and prior Orchard Neighborhood Revitalization Study, as detailed in Section 3.4. In addition to emphasizing the continued value of these techniques, several additional actions to enhance neighborhood stabilization and livability are recommended as part of this Study.

The reuse of the City-owned lot on Capobianco Street as a pocket-park or other recreational amenity should be investigated as a way to introduce public recreation/open space into an underserved community. This could be as a stand-alone public improvement project or as part of a larger redevelopment proposal. For example, the lot could be packaged as part of an assemblage of property in exchange for provision of public recreation or open space elsewhere within the larger redevelopment.

In addition, the existing sidewalk network within the neighborhood is incomplete and largely devoid of healthy vegetation. The reintroduction of landscaping (e.g., street trees) could help soften the streetscape, provide shading and green infrastructure benefits, and improve neighborhood perception. Improved street lighting may also improve the safety, quality and comfort of the pedestrian environment, and help support the attractiveness of the neighborhood as a transit-oriented community.

Finally, the introduction of mixed-use development with ground floor retail would provide an opportunity to facilitate redevelopment that is consistent with contemporary standards, satisfy local convenience shopping needs, and provide additional street activity to further warm the visual perception of the neighborhood.

Green Infrastructure

Stormwater management was also identified by a number of members of the community as a significant issue of concern. There are portions of the study area that are underserved by stormwater management systems causing localized ponding of water at select locations. One of the opportunities for addressing the existing stormwater management issues is to consider the use of green infrastructure to preserve, restore, or enhance the area's natural hydrologic functions. Suggested techniques include the use of a coordinated green infrastructure plan that includes the use of:

- Green streets
- Stormwater planters
- Permeable pavers
- Bio-swales
- Bio-retention facilities
- Green roofs
- Tree plantings and trenches

It is recommended that a stormwater and green infrastructure study be conducted for the entire Study Area to explore the most appropriate and feasible combination of stormwater management approaches. The potential to improve the utilization of the area along Cedar Swamp Creek to the west of Glen Cove Arterial Highway as an open space resource, including the possibility of stream enhancement in conjunction with redevelopment at the Sea Cliff Avenue Strategic Sites, should also be investigated.

3.5.4 Traffic Enhancements

Access to the study area by road is limited to Cedar Swamp Road and Sea Cliff Avenue and there is considerable congestion on the roadway network further to the south by Northern Boulevard. The study area is also adversely affected/bisected by the Glen Cove Arterial Highway, which carries traffic to and from Glen Cove and neighboring communities (Sea Cliff, Locust Valley) through the study area.

The existing pedestrian infrastructure is adequate to support current pedestrian activity, however some sidewalks are in need of repair and direct pedestrian access from the Orchard neighborhood to the Glen Street LIRR station is impaired by property restrictions and a steep grade.

Parking in the area north of Sea Cliff Avenue is in short supply, as many of residences and businesses in the area have no or inadequate on-site parking, including two car dealerships/repair shops. As a result, there is a significant amount of on-street parking, which can lead to difficulties negotiating the narrow streets in the residential portion of The Orchard.

The study area's most significant transportation assets are the LIRR and the Glen Street and Sea Cliff stations, supplemented by the # 27 NICE bus. However, service from the study area to Manhattan requires a transfer at Jamaica.

Redevelopment of the strategic sites that are currently vacant would by necessity result in an increase in vehicular traffic. The number of trips which would be added to the existing roadway system by new development in the study area would be expected to vary from as few as 65 vph for low density (5 units/acre) TOD, to 210 vph for light industrial or TOD at 12 units per acre, to as many as 1500 additional peak-hour trips for 500 ksf of big box retail on 35 acres at a 0.35 FAR.

The impact to the surrounding roadway network from additional residential or light industrial trips would be relatively modest. Relatively simple improvements to accommodate this traffic could be lengthening the northbound left-turn lane on Cedar Swamp Road at Sea Cliff Avenue and improving the turning radii at the intersection.

Major roadway improvements, such as creating an exit off of the Glen Cove Arterial Highway directly to Sea Cliff Avenue, would be required to accommodate the additional traffic generated by big-box-type development along Sea Cliff Avenue. Improvements and coordination/approval with the local jurisdictional agencies (New York State Department of Transportation, Town of Oyster Bay and Village of Roslyn) would also likely be needed at key intersections along Northern Boulevard.

Parking needs for future development should account for the benefits of the proximity of the LIRR but should also recognize that the Orchard residential neighborhood and adjacent Cedar Swamp Road area is underparked and relies on on-street parking to accommodate demand. The City should investigate the demand for a shared parking structure in the Orchard to accommodate the needs of the community's various stakeholders.

Cost for needed pedestrian and road improvements and repairs are as follows:

- It is estimated that it would cost approximately \$700,000 to replace all existing sidewalk in the study area (excluding sidewalk on Cedar Swamp Road) and to install new sidewalks where they do not currently exist. The most immediate sidewalk needs (construct a new sidewalk on one side of Hazel Street south of Carney Street, repair sidewalks on Sea Cliff Avenue, Stanco Street and Capobianco Street and the North End of Hazel Street) are estimated to cost approximately \$250,000.
- It is estimated that it would cost approximately \$250,000 to resurface all streets in the study area, which currently are in fair or poor condition. However, the most immediate pavement needs (primarily Hazel Street, Capobianco Street) would cost approximately \$75,000 to repair.
- The cost of roadway improvements to accommodate TOD or light-industrial development in the study area is estimated at \$160,000, not including the cost of Right-of-Way acquisition.

- It is estimated that it would cost between \$700,000 and \$1,000,000 for local roadway improvements necessary to accommodate big-box-type retail along Sea Cliff Avenue.

3.5.5 Coles School

The Coles School building and grounds are located adjacent to The Orchard study area on the east side of Cedar Swamp Road. The Coles School has significant local cultural and historical importance to the community, and contains large indoor and outdoor recreational spaces. The facility was donated to the City by one of its founders and there is presently a deed restriction associated with the property limiting its use to those that benefit the greater Glen Cove community. During the course of the public information work session, considerable public input was provided which indicated a desire to consider the Coles School as part of the BOA Study Area, given its proximity, its importance to the community, and its potential to ameliorate key identified deficiencies in the BOA Study Area related to community services, including child care, and recreational space.

Potential TOD development would need to accommodate existing grade change and enhanced access out to Cedar Swamp Road. Potential parking facility could accommodate some uses within The Orchard neighborhood alleviating congested street conditions.

Redevelopment of bowling alley site for multi-family residential; ability to make better pedestrian connection to Glen Street Station could enhance viability

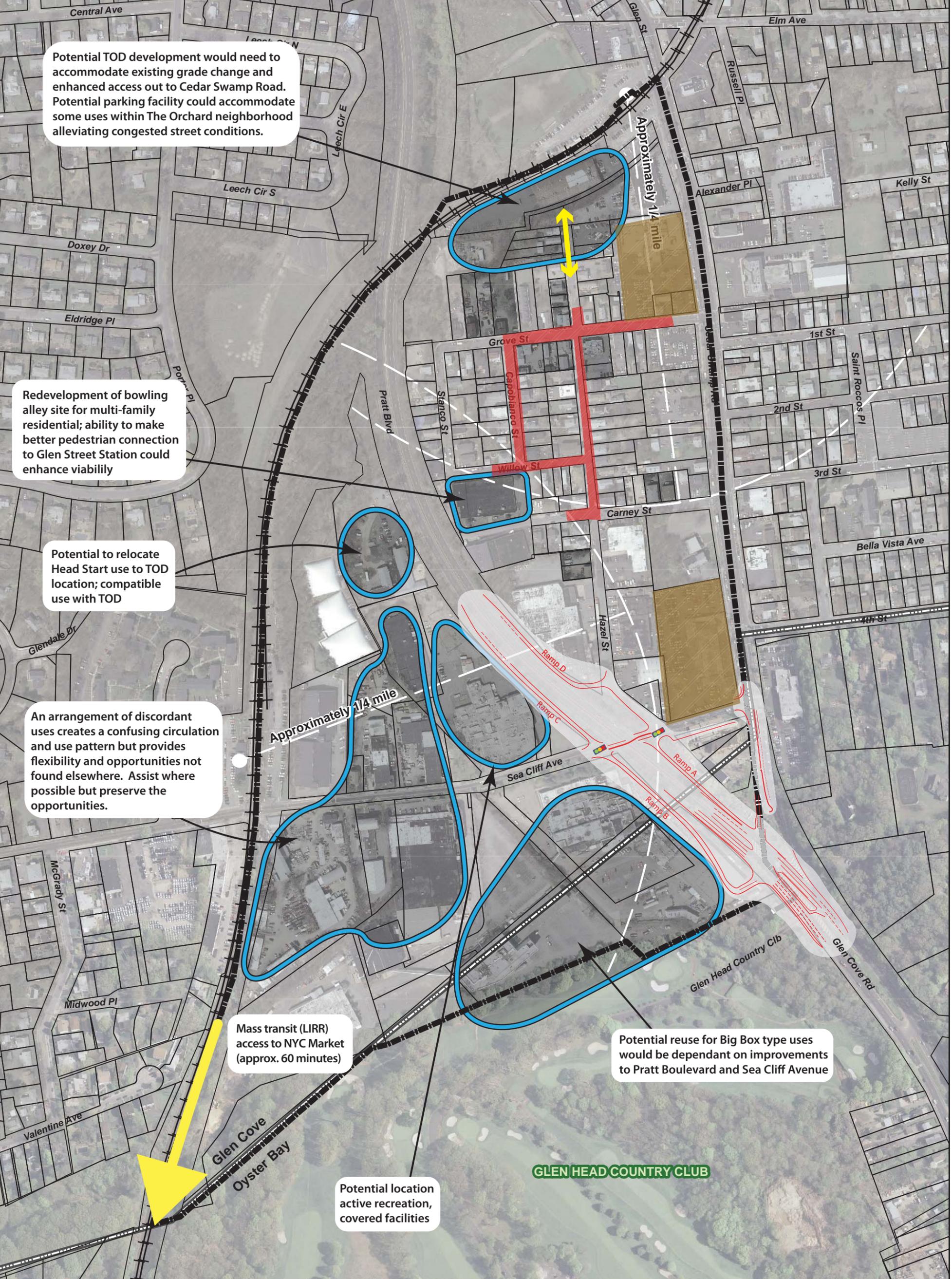
Potential to relocate Head Start use to TOD location; compatible use with TOD

An arrangement of discordant uses creates a confusing circulation and use pattern but provides flexibility and opportunities not found elsewhere. Assist where possible but preserve the opportunities.

Mass transit (LIRR) access to NYC Market (approx. 60 minutes)

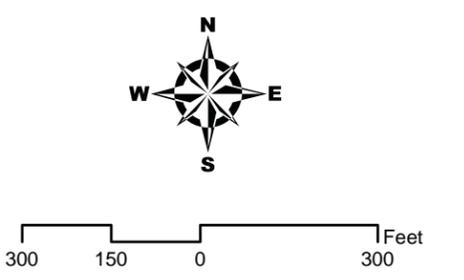
Potential reuse for Big Box type uses would be dependant on improvements to Pratt Boulevard and Sea Cliff Avenue

Potential location active recreation, covered facilities



- Legend**
- Brownfield Opportunity Area (BOA)
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - Railroad
 - Congested Street System
 - Parking Intensive Uses

Figure 15
The Orchard
Brownfield Opportunity Area
Preliminary
Issues and Opportunities

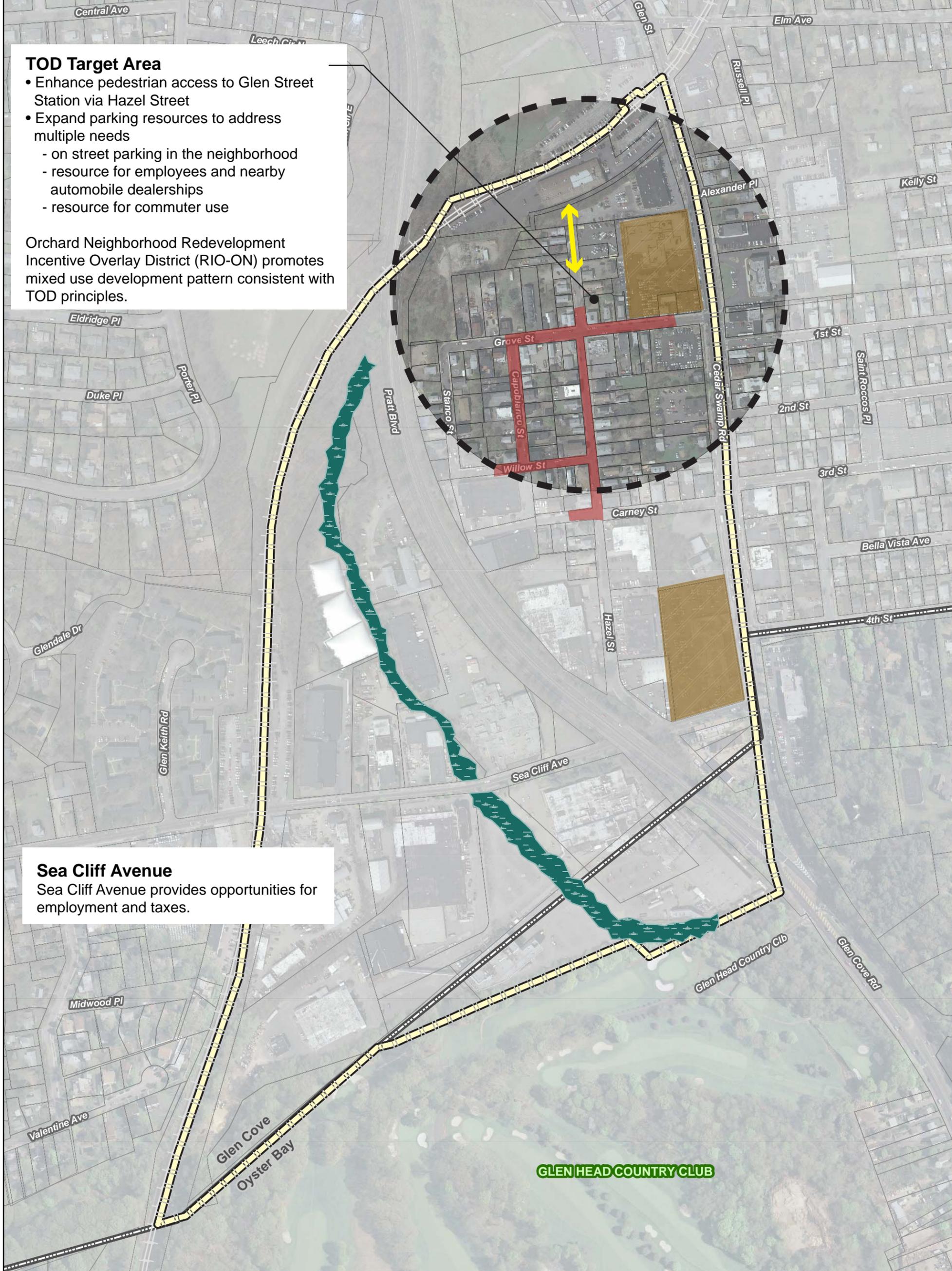


Base Map Source: 2007 Glen Cove Othophotography Imagery

TOD Target Area

- Enhance pedestrian access to Glen Street Station via Hazel Street
- Expand parking resources to address multiple needs
 - on street parking in the neighborhood
 - resource for employees and nearby automobile dealerships
 - resource for commuter use

Orchard Neighborhood Redevelopment Incentive Overlay District (RIO-ON) promotes mixed use development pattern consistent with TOD principles.



Sea Cliff Avenue

Sea Cliff Avenue provides opportunities for employment and taxes.

- Legend**
- Approximate Assessor Parcel Boundary
 - Brownfield Opportunity Area (BOA)
 - Municipal Boundary
 - Open Water
 - Railroad
 - Congested Street System
 - Parking Intensive Uses

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 16

The Orchard Brownfield Opportunity Area TOD Opportunities



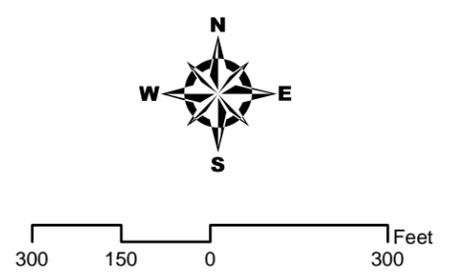
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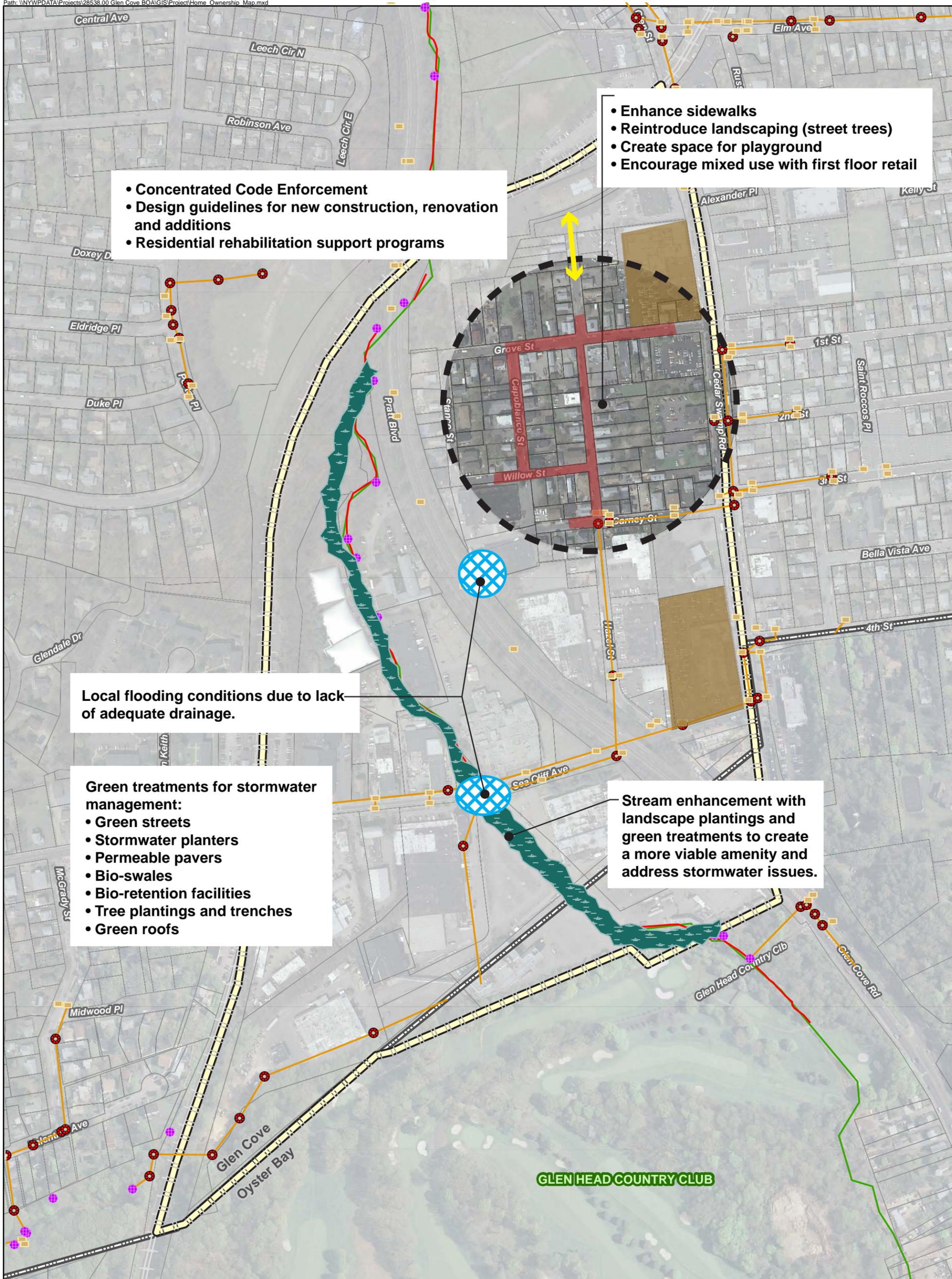


The Orchard Brownfield Opportunity Area/ Sea Cliff Ave. Concept Plan

Figure 17

The Orchard Brownfield Opportunity Area Sea Cliff Avenue Concept Plan





- Concentrated Code Enforcement
- Design guidelines for new construction, renovation and additions
- Residential rehabilitation support programs

- Enhance sidewalks
- Reintroduce landscaping (street trees)
- Create space for playground
- Encourage mixed use with first floor retail

Local flooding conditions due to lack of adequate drainage.

Green treatments for stormwater management:

- Green streets
- Stormwater planters
- Permeable pavers
- Bio-swales
- Bio-retention facilities
- Tree plantings and trenches
- Green roofs

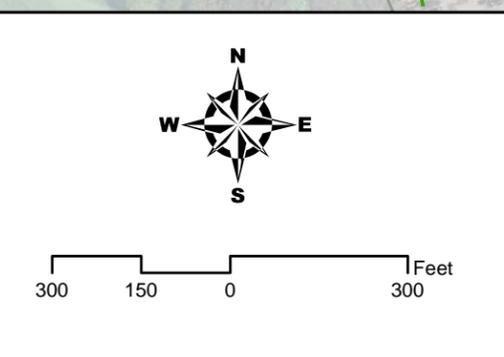
Stream enhancement with landscape plantings and green treatments to create a more viable amenity and address stormwater issues.

Legend

| | |
|--------------------------------------|-------------------------|
| Drainage Catch Basins | Open Water |
| Drainage Manholes | Railroad |
| Drainage Outfalls | Congested Street System |
| Drainage Pipes | Parking Intensive Uses |
| Natural Drainage | |
| Stream Corridors | |
| Approximate Assessor Parcel Boundary | |
| Brownfield Opportunity Area (BOA) | |
| Municipal Boundary | |

Base Map Source: 2007 Glen Cove Orthophotography Imagery

Figure 18
The Orchard
Brownfield Opportunity Area
Planning Recommendations:
Neighborhood Stabilization and
Green Infrastructure





Opportunities exist to enhance the existing stream corridor that runs through the western portion of the Study Area.



Example of stormwater planter used to mitigate stormwater run off.



Existing grass-crete treatment used in the City of Glen Cove.



Grass-crete detail.

Additional Examples of Green Infrastructure



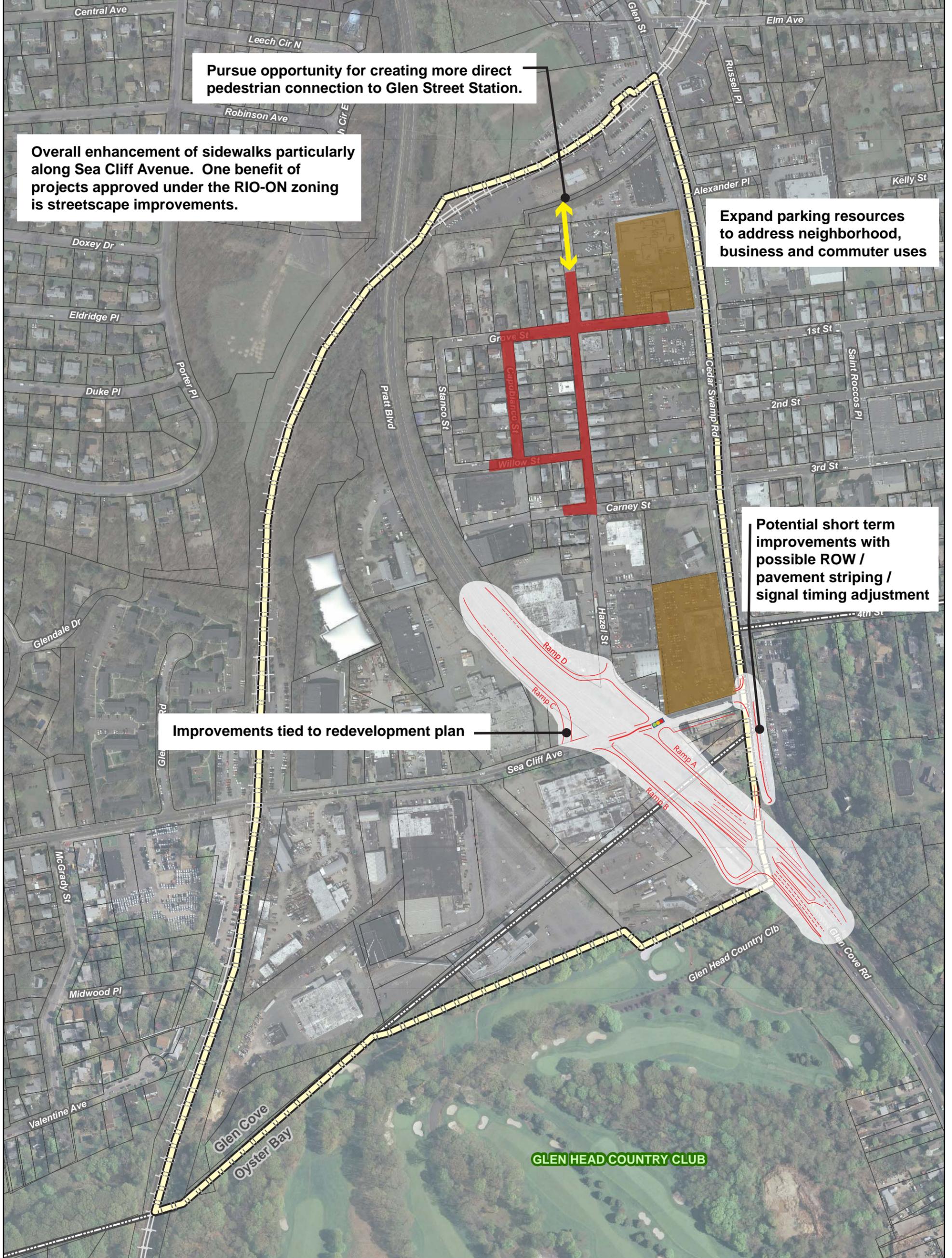
Commercial Corridor:
Post-Construction Enhanced Tree Pit
Source: NYC Green Infrastructure Plan



Low Density Residential Street:
Post-Construction Infiltration Swale
Source: NYC Green Infrastructure Plan



Low Density Residential Street:
Post-Construction Enhanced Tree Pit
Source: NYC Green Infrastructure Plan



Pursue opportunity for creating more direct pedestrian connection to Glen Street Station.

Overall enhancement of sidewalks particularly along Sea Cliff Avenue. One benefit of projects approved under the RIO-ON zoning is streetscape improvements.

Expand parking resources to address neighborhood, business and commuter uses

Potential short term improvements with possible ROW / pavement striping / signal timing adjustment

Improvements tied to redevelopment plan

Legend

- Approximate Assessor Parcel Boundary
- Brownfield Opportunity Area (BOA)
- Municipal Boundary
- Railroad
- Congested Street System
- Parking Intensive Uses

Base Map Source: 2007 Glen Cove Orthophotography Imagery

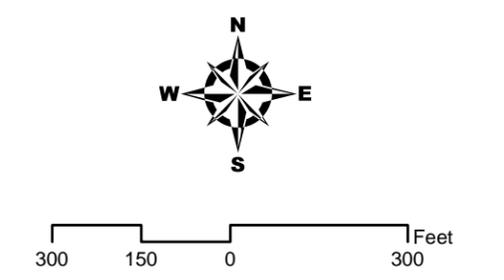
Figure 19
The Orchard
Brownfield Opportunity Area
Preliminary
Traffic and Circulation
Enhancements

300 150 0 300 Feet



- Legend**
- Brownfield Opportunity Area (BOA)
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - Railroad

Figure 20
***The Orchard
 Brownfield Opportunity Area
 Proposed Boundary
 Amendment***



Base Map Source: 2007 Glen Cove Orthophotography Imagery



Planning
Transportation
Land Development
Environmental

TO: File
FROM: David B. Smith
DATE: February 3, 2012
RE: Draft Interview notes Summary – City of Glen Cove Orchards BOA

Interviews conducted October 25, 2011 with D. Smith and A. Vaillencourt

Richard Summa – Building Department

Chronic issue in the Orchards neighborhood with illegally converted units and overcrowding, although it is not necessarily an overwhelming one.

Many of the properties are older and paid for, absentee landlord conditions add to the frustration of not having a readily responsible party when there is an issue.

Recent development within the Orchard neighborhood called for redevelopment of the bowling alley site plans included streetscape and pocketpark improvements hopeful that the project will act as a catalyst for transformation of the neighborhood.

Nassau County IDA has an ownership interest in a number of the industrial properties in the southern portion of the study area. They are an interested party that should be contacted.

City of Glen Cove Police Department

Interview with Lt. Thomas Fitzpatrick

The Police Department was provided with a series of questions prior to the meeting. The Department provided a response which supplemented background as to operational and other policing issues the Department faces in this particular neighborhood, see attached.

Additional comments from the interview include:

Uses of enhanced patrols in the recent past were used to address potential gang related activities.

Given the age of the neighborhood the street system is narrow, compounded by the fact there is parking on both sides of the street. This situation does reduce potential cut-through traffic.

Intersection geometry at Cedar Swamp/ Sea Cliff Avenue is problematic.

Interview with Darcy Belyea – Recreation Director

Needs expressed by Recreation Director included:

- Skatepark
- Indoor athletic facilities suitable for hosting tournaments (covered field)
- Dog park
- Pocket park to address needs of younger children in the neighborhood.

The City along with the Head Start program operated the facility (primarily boxing) accessed off of Pratt Boulevard.

The Pascucci Soccer Field is located just to the north of the Study Area boundary; shared parking is provided that also serves the Glen Street Station.

Cleared area off of Leach Circle just west of the Study Area boundary has the potential to be used for fields but there are potential issues with the content of the soil.

Interviews with Anthony Tripp City of Glen Cove Fire Department

Approximate response time to the neighborhood is three minutes depending on roadway conditions.

Overall concern is the existing Street system which is tight and congested. In the winter there are issues with snow plowing and a lack of places to put the snow.

The GCFD provides support to the Building Department for assistance with enforcement. The GCFD typically responds to 1-2 calls to service per month resulting from false alarms.





City Hall
9 Glen Street
Glen Cove, NY 11542-4106

January 27, 2012

Mr. David B. Smith
Senior Development Advisor
VHB Engineering, Surveying and Landscape Architecture, P.C.
50 Main Street, Suite 360
White Plains, NY 10606

Re: The Orchard Brownfield Opportunity Area

Dear Mr. Smith,

Attached please find the responses to your questions as per your request letter dated 12/2/11.

1. Is the Study Area Served by water and sewer service? If so, do you have a map that indicates the location of water and sewer lines in the Study Area? ***The area outlined in the map attachment with your letter dated December 2, 2012 is served by the City of Glen Cove Water Department. The area is also sewerred which is operated and maintained by the Nassau County Department of Public Works.***
2. Are there currently any issues with providing service to the Study Area (e.g., low pressure, infiltration and inflow)? ***There are no known issues with providing either water or sewer service to the study area.***
3. Does the DPW have a schedule for street and sidewalk improvements that it uses on a City-wide basis? Are there any portions of the Study Area that area scheduled for improvements? ***The City performs street & sidewalk maintenance on an as needed basis. There is no preset schedule. Recent improvements performed within the subject area include select pavement for Hazel Street from Sea Cliff Ave. to Carney St. (2011), full repavement for Hazel St. from Carney St. to Grove St. (2010), major sidewalk and curb replacement from Carney St. to the northern Hazel St. terminus (2010), full pavement replacement of Carney St. from Cedar Swamp Rd. to eastern terminus (2010).***

Nassau County recently completed a major road, curb and sidewalk renovation program for the Cedar Swamp Rd. area within the subjects eastern boundaries which include traffic calming measures and street scaping.

4. Does the City have particular standards for street trees, lighting, and sidewalk improvements? In the event that improvements are recommended in certain areas we would want to make sure they are consistent with standards the City is already using. ***The city has standards for all items listed in addition to paving, curbing, drains, and drainage. All applicants must check the City Code for additional requirements.***

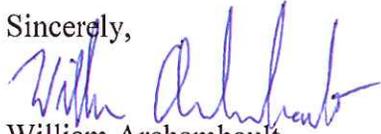
5. Are there any particular issues within the Study Area that we should be aware of (e.g., flooding, insufficient roadway width, intersection geometry)? If so do you have any suggestions as to how to address that particular issue. ***There are no known issues within the designated Study Area.***

6. Are all of the streets within the Study Area under the City's jurisdiction? ***All streets within the Study Area are not under the City's jurisdiction. Cedar Swamp Rd. & Sea Cliff Ave. are Nassau County Roads. Glen Cove Arterial Highway is jurisdiction of New York State Department of Transportation.***

7. Please feel free to provide us with any additional information that could help us better understand the Study Area. ***The City has no construction efforts scheduled for the subject area for 2012.***

If you have any additional questions please, do not hesitate to contact this office.

Sincerely,



William Archambault
Director of Public Works

Cc: K. Morris, (IDA/CDA)
E. Reilley, (IDA/CDA)



**Police Department
City of Glen Cove
1 Bridge Street
Glen Cove, New York 11542
(516)676-1000**

ORCHARD AREA STUDY

1. Number of calls for service to the Orchard neighborhood:

Below is a breakdown of the number of calls for service to the streets that comprise the Orchard neighborhood for the past three years. Sea Cliff Ave. was omitted because the vast majority of calls on that roadway occur West of the Sea Cliff LIRR station, beyond the geographic scope of this study. Response times to the Orchard are usually between 1 and 3 minutes.

| Calls For Service | | | |
|--------------------------|--------------|--------------|--------------|
| | 2009 | 2010 | 2011 |
| Cedar Swamp Rd | 335 | 261 | 216 |
| Hazel St | 50 | 56 | 56 |
| Grove St | 76 | 60 | 50 |
| Carney St | 36 | 35 | 22 |
| Willow St | 3 | 7 | 6 |
| Stanco St | 23 | 37 | 27 |
| Capobianco St | 42 | 54 | 55 |
| Total | 565 | 510 | 432 |
| % of all calls | 3.50% | 3.63% | 3.63% |

YTD

*** 2011 numbers are year-to-date for both charts.

2. Nature of the calls:

The calls to the area vary greatly from small disturbances and quality of life issues, to more serious crimes such as burglary. In 2009, there was a graffiti problem with approximately 12 calls for this single issue. Year 2010 saw a slight increase in larcenies and domestic disturbances. To date, in 2011 there is no single outstanding police issue. Occurrences of graffiti, larcenies and domestic disturbances are all significantly lower than previous years. In the past, this area had been prone to gang and drug activity. This was addressed through the use of increased undercover patrols that were made possible by federal grant funds. Presently, this area is host to a single call hotspot at 200 Carney Street; the sight of a social club/bar. In the past, there have been numerous arrests for possession of controlled substances, fighting and disorderly conduct at this one location.

3. Police Department patrol:

The use of motorized patrol is the primary patrol strategy. At times, officers will patrol the area on foot. In past years, a large amount of plainclothes patrols were dedicated to this area in order to address quality of life issues. These methods have been very effective and crimes, as well as quality of life issues, are down significantly.

4. Problematic roadways or intersections that have been the cause of accidents. Other issues with the roadway system:

Accident data for the area does not show a disproportionate share of traffic accidents for this area. In spite of this, several issues exist in terms of roadway conditions. Several roadways in the neighborhood have on-street parking on both sides of the road causing a narrow traffic corridor. An analysis of accident data shows approximately 6-10 accidents per year. Although this is on par with other areas in town, when traffic density is taken into account, this area appears to account for slightly more accidents than other roadways in Glen Cove (anecdotally speaking). To highlight this point, nearly 80% of accidents in this area are "Leaving the Scene" accidents involving parked cars. Other issues include the ability of commercial traffic to negotiate the Cedar Swamp Rd/Sea Cliff Ave turn. Large commercial

vehicles have some difficulty making this 90-degree turn because there are two eastbound lanes at the head of Sea Cliff Ave. A separate issue that sometimes impedes traffic flow in the area is the environmental impact on the roadway. During times of heavy rain (2-3 times per year), the creek that crosses underneath Sea Cliff Ave in the area of #45 is prone to flooding making the roadway impassable.

| Accidents | | | |
|------------------|-------------|-------------|-------------|
| | 2009 | 2010 | 2011 |
| Cedar Swamp Rd | 35 | 39 | 28 |
| Hazel St | 3 | 3 | 2 |
| Grove St | 8 | 2 | 8 |
| Carney St | 1 | 3 | 1 |
| Willow St | 1 | 0 | 1 |
| Stanco St | 0 | 3 | 0 |
| Capobianco St | 1 | 3 | 2 |
| Total | 49 | 53 | 42 |
| % of accidents | 6.27% | 6.70% | 6.55% |

5. Are there avenues for enhancing circulation?

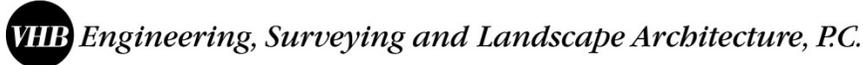
The Orchard neighborhood is somewhat isolated. A total of three roadways allow for entry/exit from the area and there are three one-way streets. One-way streets, along with the narrowness of the streets (b/c of parking on both sides), actually provide the neighborhood with some protection from cut-through traffic. On the other hand, the narrow streets necessitate the use of the potentially awkward one-way traffic pattern and although this currently provide excellent circulation, it may stand to complicate navigation of the neighborhood should the road use increase substantially. Any projects that would seek to increase circulation would require large scale efforts and the repurposing of public and private property. One solution may be to extend Capobianco St. and Hazel St. to Carney St. Another possibility would be the extension of Carney Street and/or Grove Street to meet the Arterial Highway. This would increase the absolute number of entry/exit points for this neighborhood while offering easy exit from Glen Cove via a major thoroughfare. Cost would undoubtedly be a major factor.

6. *Are there any concerns about plans to redevelop this area as mixed use property?*

The Orchard neighborhood is already best characterized as a “mixed use” area. The issue that exists is the blending. Currently, commercial properties back up to residential along Hazel St. with little integration. For example, within a one-block area, Hazel St. transitions from a sidewalk bound neighborhood to a darker factory district. The same holds true for Carney St. where on one side there are single family residential properties while the other side consists of commercial trade shops. Also, any attempt to redevelop this area should take into account the fact that this area has some issues with blighted housing and overcrowding. Repurposing the area may assist in alleviating this problem, but can also easily serve to exacerbate it. Any development should be carefully planned in light of the issues concerning high-density housing in the area.

Contributors:

Sgt. Christopher W. Ortiz, Sh# 1
Lt. Thomas Fitzpartrick



Phone
Notes

Person Contacted: Joan Harrison

VHB Rep: Owen Wells

Title:

VHB Project No.: 28538

Company:

Project Name:

Telephone No.:

Type of Call:

FAX No.:

Date and Time: 1/19/12; 11am

Glen Cove resident and historian. Wrote 2 local histories: Glen Cove and Glen Cove Revisited for Arcadia Books. The first has a chapter on the Orchard.

Still some real old neighborhood institutions: Stango's restaurant (Stella Stango - 94 years old still there) and DeLuca's bar/social club around the corner from Stango's. Italian men's club where they hang out and play trisette? - Italian card game. Stango's gets a mixed clientele ranging from local recent immigrants to wealthier folks from Lattingtown with connection to the neighborhood who come back. Up until the late 70's the neighborhood still felt very traditional Italian - St. Rocco's procession, grape arbors, home made wine, etc. Before the highway came in, she heard that folks would go down and do their laundry in the stream. Homes had domestic animals, grapes, etc., no sanitation, which became a problem. In the 80's started to feel more Americanized. Then influx from Latin America beginning during the Central American wars.

Issues: Limited service on the LIRR - takes a long time to get to the city; on the positive side, it is easy to get parking at the Glen Street station. Reflects Glen Cove's location as something of a backwater, which the Pratts/Morgans etc. wanted to keep that way. Eventually they had another station built in Glen Cove, because the area around Glen Street station was industrial/bars/vice.

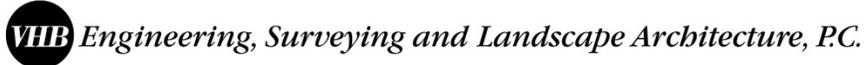
Other issues include houses getting chopped up into apartments and an imbalance between housing/jobs. Also, higher proportion of absentee land lords and rentals than other parts of County. City also suffers from high rents/taxes. School district conditions and ethnic mix detract from desirability for upper, middle class families.

People didn't like the planter island/barriers that were installed.

Original settlement house was in parking lot behind Stango's. No real historic buildings left in terms of structure. Either gone, or covered over. Houses were jerrybuilt, informally. Workers would bring back cinder blocks from job site and build on additional rooms.

Doesn't live in the neighborhood so can't speculate about type of uses that might improve quality of life. There is fruit market on Cedar Swamp Road and new market, North Shore Farms, in Martone Plaza up Sea Cliff Avenue where people would shop. No playground nearby.

Other people with neighborhood connections who might be helpful: Reggie Spinola, recently elected city councilman, was a resident; Jenny Sanfratello, Lives in old(est?) house in Orchard, can find her through the senior center; Vinny St. Martin, grew up in Orchard, lives in Sea Cliff now, has a website.



**Phone
Notes**

Person Contacted: Celita Buni

VHB Rep: Owen Wells

Title:

VHB Project No.: 28538

Company:

Project Name:

Telephone No.:

Type of Call:

FAX No.:

Date and Time: 1/20/12; 10am

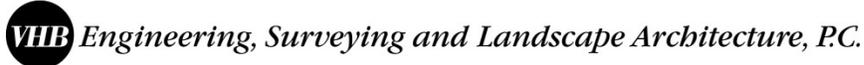
Executive Director of the Head Start facility for 30 years. They have been at their Glen Cove locations since 1991. 34 employees.

Neighborhood and clientele is primarily low-income Hispanic families. Biggest change was the closing of the factories. No more manufacturing employment. Men work with contractors, women as house cleaners. Dilapidated look of abandoned factories.

Pedestrian environment near Glen Street station is good. Better lit and more active. Sea Cliff station area is dark at night, less comfortable. Sidewalks in disrepair. Don't have public transportation access - people walking on highway. Busses on Glen Street, but service on Sea Cliff Avenue is not good (1/hr).

New, quality affordable housing would be important. Italians rent out basements, whole families living in one room - don't accept Section 8.

Glen Cove doesn't have a pool. Their program has to go to Westbury to use pool. Possibility to do recreation in one of the closed factories?



**Phone
Notes**

Person Contacted: Father Elias

VHB Rep: Owen Wells

Title:

VHB Project No.: 28538

Company:

Project Name:

Telephone No.:

Type of Call:

FAX No.:

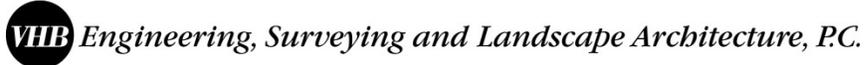
Date and Time: 1/20/12; 10am

Works at St. Rocco's, 18 3rd Street. Parish serves primarily Italian community. They have Italian mass on Saturday, memorial services. Most of the Italian Orchard community came from two specific locations: Sturno and Abalino (sp?) and a town in Calabria. Mayors/delegations have come to visit. Glen Cove still has Italian consulate.

St. Rocco's has parking because didn't build school, but is part of more urban neighborhood, people walk in daily to pray, attend services.

Suggested St. Patrick's and Deacon Mike would have better insight to current residential community.

Coles school not in use - could provide possible opportunity to provide community or recreational services.



**Phone
Notes**

Person Contacted: Mary Stanco

VHB Rep: Owen Wells

Title:

VHB Project No.: 28538

Company:

Project Name:

Telephone No.:

Type of Call:

FAX No.:

Date and Time: 1/30/12; 5pm

Glen Cove resident and real estate agent. Neighborhood has changed dramatically in the past 10 years. There are some stalwarts: Stango's pizza that has been there for 50+ years, the electric company that provides employment.

The biggest issue is the illegals and illegal conversions/overcrowding. Neighborhood appears dirty. Recently sold a 3-family building at 18 Stanco for \$215,000, which gives a sense of impression/appeal of neighborhood.

Area lacks something for kids. While glad to see redevelopment, it will result in loss of bowling alley. No where for kids to go. Kids use the parking garages for skateboarding.

Access to LIRR is good. Lots of the people in neighborhood get around on bikes or walking.



the orchard

a Glen Cove Revitalization Neighborhood

in partnership with the New York State Department of State

June 27, 2012



Tonight's Agenda

1. Introduction (City of Glen Cove CDA)
2. Opening remarks (Mayor Ralph Suozzi)
3. Project Background Existing Conditions (VHB)
4. Visioning and Public Feedback (VHB)
5. Next Steps



The Team

NYSDOS – Office of Communities and Waterfronts
Division of Coastal Resources
Curtis Cravens



City of Glen Cove
Community Development Agency – City Project Coordinator
Kelly Morris, Executive Director
Erin Reilley, Grant Administrator



The Orchard
Steering Committee



Public Feedback,
Stakeholders



VHB



RESG



What is the Purpose of the BOA Program?

- Assess the community impacts caused by brownfields, economic distress
- Build a shared community vision and consensus on the reuse and redevelopment of strategic sites and actions to achieve community revitalization
- Identify community redevelopment and revitalization opportunities
Coordinate and collaborate with local, state, and federal agencies, community groups and private-sector partners to identify and implement solutions to improve communities
- Develop public-private sector partnerships to leverage investment and implement revitalization projects



What is a Brownfield?

- Vacant, blighted or underutilized properties
- Real or perceived contamination issues
- Impacts may affect surrounding communities
- Redevelopment goals: jobs, preserve cultural heritage and environment, restore linkages, strengthen communities



What is a Brownfield?

Brownfields are lands burdened by the presence or perceived presence of environmental contamination.

The Brownfield Opportunity Area (BOA) program enables communities to develop strategies to return dormant and underutilized Brownfields back into productive use while restoring environmental quality.

- Brownfield redevelopment can help to create new jobs, preserve cultural heritage, rehabilitate the environment, restore linkages across the city / region and strengthen existing communities.
- Because Brownfields are often in urban areas, their redevelopment can take advantage of existing infrastructure which is a more sustainable choice compared with outward expansion.



The BOA Program provides an opportunity for a more comprehensive understanding of realistic expectations for the future.

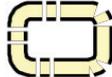
- An in-depth understanding of existing conditions.
- A description of all the Brownfield sites as well as specific strategic sites for investment within the area.
- An understanding of the economic conditions and market trends and potential that will influence how the area can evolve over time.
- Preparation of a planning document containing recommendations for future uses and actions to redevelop the strategic sites with the aim of overall community revitalization.

Glen Cove Redevelopment Area Study Area Context Map

- Approx. 5 miles to LIE
- Area served by two LIRR Stations
- Approx. 0.6± miles to Downtown
- Gateway to Glen Cove



Legend

-  Brownfield Opportunity Area (BOA)
-  Municipal Boundary

The Orchard

Brownfield Opportunity Area

- Study Area 55± Acres.
- Primary access from Cedar Swamp Road, Glen Cove Road and Sea Cliff Avenue
- Older more densely developed residential neighborhood
- Older light industrial/heavy commercial area
- Retail along Cedar Swamp Road

Legend

-  Brownfield Opportunity Area (BOA)
-  Approximate Assessor Parcel Boundary
-  Municipal Boundary
-  Railroad



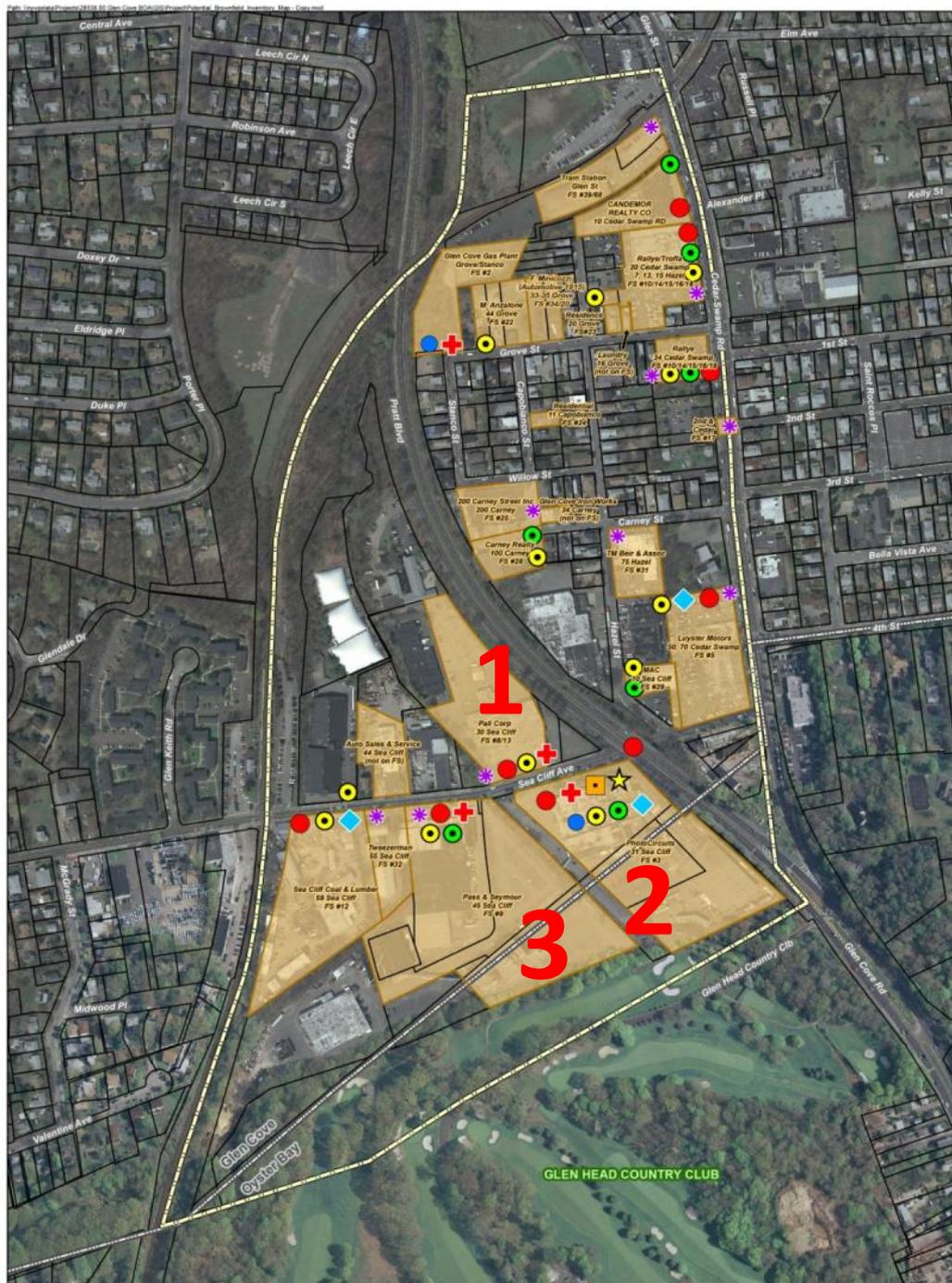
The Orchard

Brownfield Opportunity Area

Potential Brownfield Inventory

Significant distressed properties include:

1. Pall Corporation
2. PhotoCircuits
3. Pass and Seymour



Legend

- | | | | |
|---|---|---|---------|
|  | Brownfield Opportunity Area (BOA) |  | LUST |
|  | Potential Brownfield Inventory Property |  | UST |
|  | Approximate Assessor Parcel Boundary |  | STATE |
|  | Municipal Boundary |  | RCRACOR |
| FirstSearch Database | |  | RCRAGEN |
|  | CERCLIS |  | RCRATSD |
|  | ERNS |  | OTHER |

The Orchard

Brownfield Opportunity Area

Building Inventory

- Residential = compact, dense, many opportunities for improvement
- Large scale uses along Sea Cliff Avenue, southern portion of Orchard
- Auto-centric uses and local businesses along Cedar Swamp

Legend

-  Buildings
-  Approximate Assessor Parcel Boundary
-  Brownfield Opportunity Area (BOA)
-  Municipal Boundary



The Orchard

Brownfield Opportunity Area

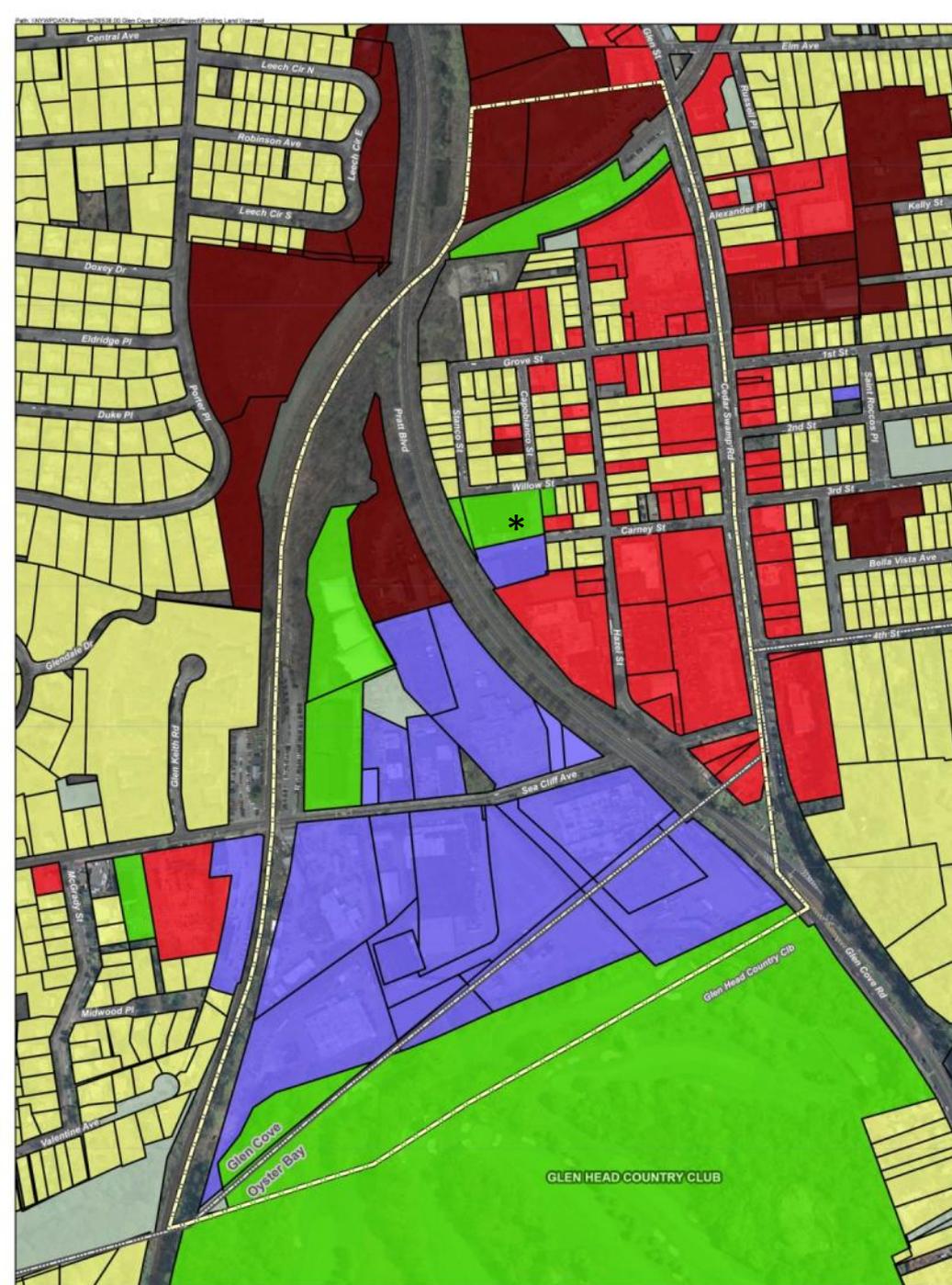
Existing Land Use

- Orchard is mixed use
- Sea Cliff Avenue corridor light industrial/heavy commercial
- * Future residential (Bowling Alley redevelopment)

Legend

| | | | |
|---|---|---|-----------------------------------|
|  | RESIDENTIAL |  | BROWNFIELD OPPORTUNITY AREA (BOA) |
|  | COMMERCIAL |  | MUNICIPAL BOUNDARY |
|  | COMMUNITY SERVICES | | |
|  | INDUSTRIAL | | |
|  | PUBLIC SERVICES | | |
|  | AGRICULTURE | | |
|  | RECREATION AND ENTERTAINMENT | | |
|  | WILD, CONSERVATION LANDS AND PUBLIC PARKS | | |
|  | VACANT LAND | | |

Base Map Source: 2007 Glen Cove Othophotography Imagery



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Brownfield Opportunity Area

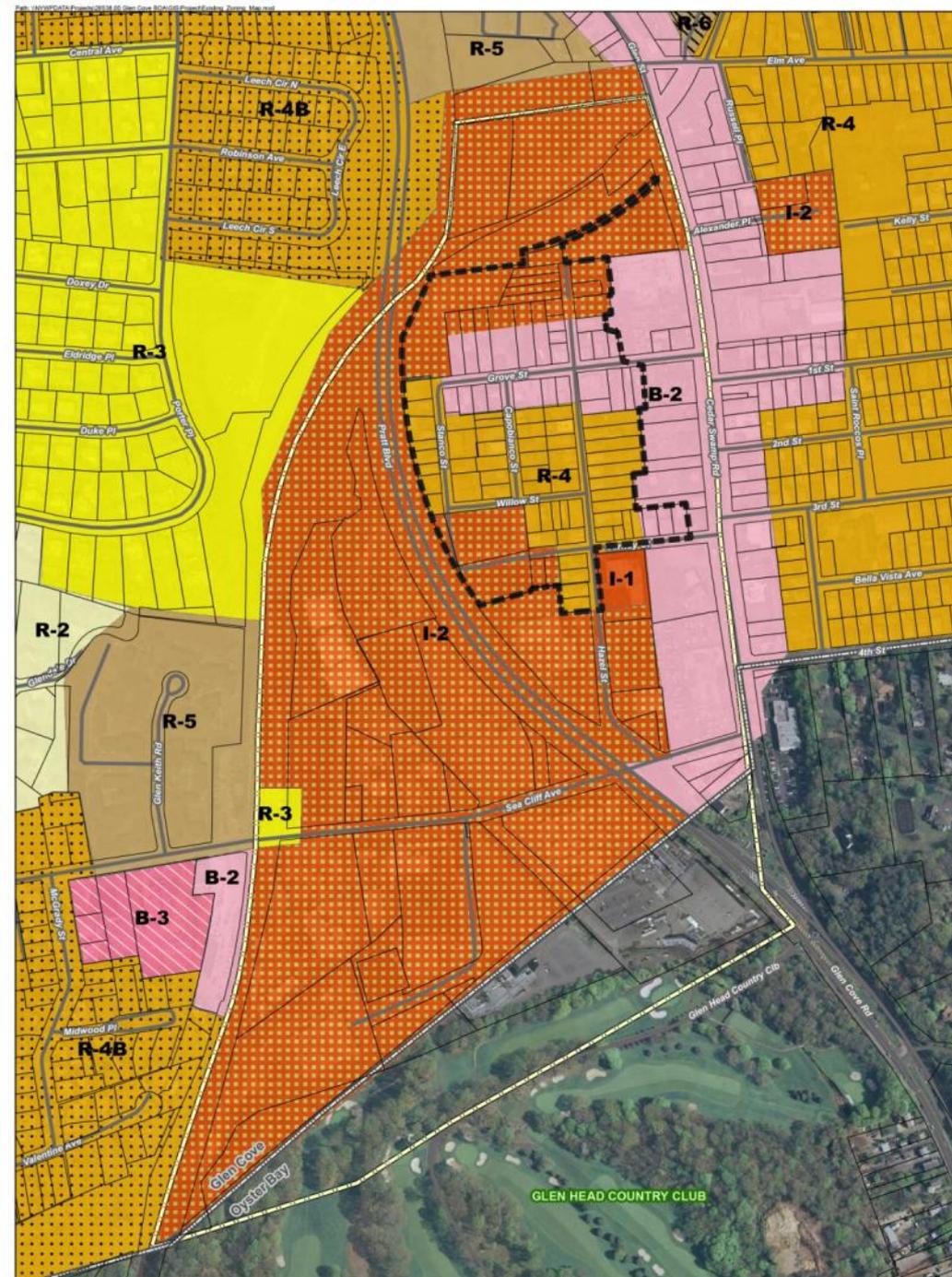
Existing Zoning

- Uses allowed (Permitted/Special Permit)
Retail, business/professional offices, manufacturing, commercial recreation, convenience stores, motor vehicle sales/service, lumber and building materials
- RIO-ON Overlay
Encourage redevelopment through incentives and relief, density bonus for structured parking, streetscape improvements, green building, includes Bowling Alley site

Legend

Zoning

-  R - 2 - Half-Acre Residence District
-  R - 3 - Quarter-Acre Residence District
-  R - 3A - 6,500 Sq Ft Single Family Residence District
-  R - 4 - 6,500 - 7,500 Sq Ft One & Two Family Residence District
-  R - 4B - 6,500 - 7,500 Sq Ft One & Two Family Residence District
-  R - 5 - Garden Apartment - Office District
-  R - 6 - Residence - Office District
-  B - 2 - Peripheral Commercial District
-  B - 3 - Quarter-Area Residence District
-  I - 1 - Light Industrial District
-  I - 2 - Light Industrial District
-  Municipal Boundary
-  Brownfield Opportunity Area (BOA)
-  RIO - ON Overlay



The Orchard

Brownfield Opportunity Area

Historic and Potential Archeologically Sensitive Areas

- Both Railroad Stations listed on the National Register of Historic Places



Legend

-  National Register Listed Historic Property
-  Archeologically Sensitive Areas
-  Brownfield Opportunity Area (BOA)
-  Approximate Assessor Parcel Boundary
-  Railroad
-  Municipal Boundary

The Orchard

Brownfield Opportunity Area

Preliminary Parks and Open Space

- Limited access to parks and recreation facilities
- Bowling Alley redevelopment includes two recreation areas, with playground, gazebo (over 10,000 sqf)

Legend

-  Park/Open Space
-  Golf Course
-  Private Recreation
-  Approximate Assessor Parcel Boundary
-  Brownfield Opportunity Area (BOA)
-  Municipal Boundary



The Orchard

Brownfield Opportunity Area

Natural Resources, Environmental Features and Tree Survey

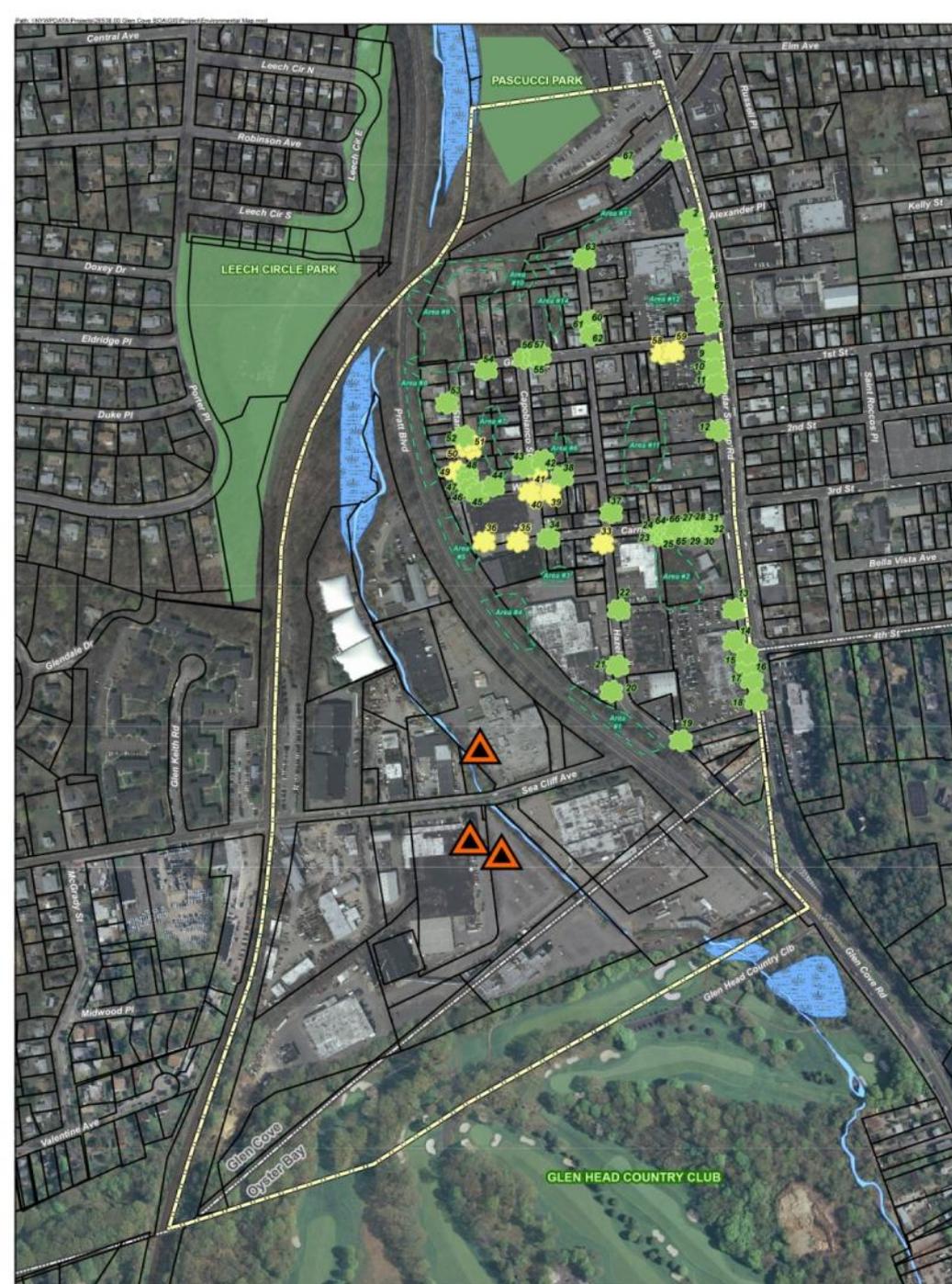
- Trees surveyed from public right of way.
- Predominant species includes apple species.
- Defining character or not.

Legend

-  Site of Environmental Concern
-  100 - Year Floodway*
-  Open Water
-  Wetlands
-  Parks
-  Approximate Assessor Parcel Boundary
-  Brownfield Opportunity Area (BOA)
-  Municipal Boundary

Survey Trees

-  Deciduous
-  Evergreen
-  Estimated Tree Areas



The Orchard

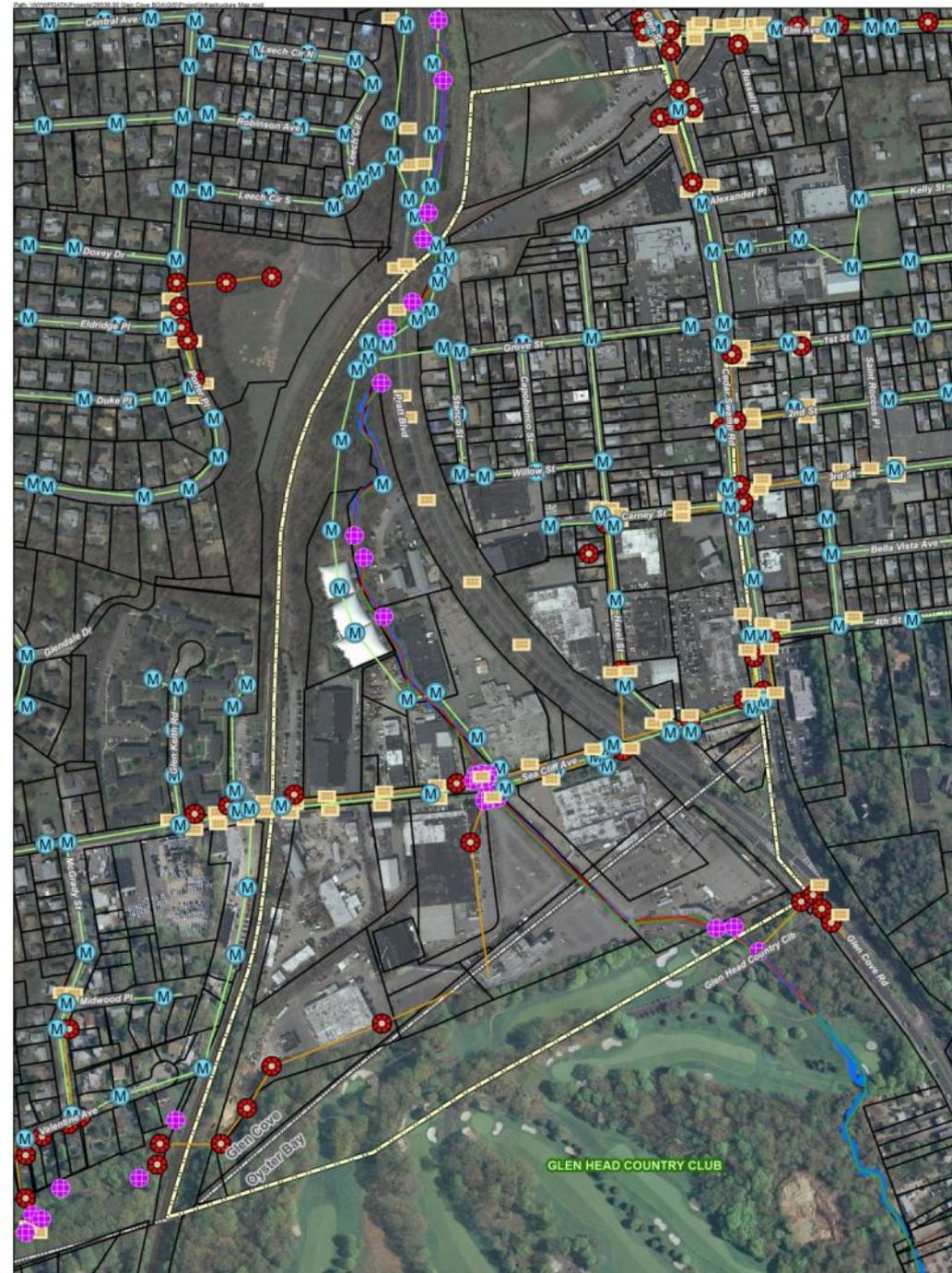
Brownfield Opportunity Area

Infrastructure Survey

- Available utilities system is adequate for existing uses and potential redevelopment opportunities.

Legend

| | | | |
|---|--------------------------------------|---|------------|
|  | Drainage Catch Basins |  | Open Water |
|  | Drainage Manholes | | |
|  | Drainage Outfalls | | |
|  | Sewer Manholes | | |
|  | Drainage Pipes | | |
|  | Natural Drainage | | |
|  | Sewer Pipes CWDB | | |
|  | Stream Corridors | | |
|  | Approximate Assessor Parcel Boundary | | |
|  | Brownfield Opportunity Area (BOA) | | |
|  | Municipal Boundary | | |



The Orchard

Brownfield Opportunity Area

Transportation Systems

- LIRR provides commuter service to NYC (approx. 60 minutes)
- Bus Routes N20/21 provide service to Hicksville, Great Neck and Flushing
- Bus Route N27 provides service to Roosevelt Field and Hempstead
- Internal circulation and parking limited

Legend

 Bus Stops

 Bus Routes

 County Traffic Signs

 Signal Intersect

 Bridges

 Railroad Stations

 Railroad Crossings

 Railroad Buildings

 Brownfield Opportunity Area (BOA)

 Municipal Boundary



The Orchard

Brownfield Opportunity Area

Preliminary Issues and Opportunities

- Somewhat isolated community based on land use and roadway patterns
- Majority of the Orchard within walking distance of train station, opportunities for improvement
- Automotive sales requires parking, resources limited
- Roadway improvements needed for redevelopment opportunities

Legend

-  Brownfield Opportunity Area (BOA)
-  Approximate Assessor Parcel Boundary
-  City Owned Parcels
-  Municipal Boundary
-  Railroad

Potential TOD development would need to accommodate existing grade change and enhanced access out to Cedar Swamp Road. Potential parking facility could accommodate some uses within The Orchard neighborhood alleviating congested street conditions.

Redevelopment of bowling alley site for multi-family residential; ability to make better pedestrian connection to Glen Street Station could enhance viability

Potential to relocate Glen Cove Child Daycare Center use to TOD location; compatible use with TOD

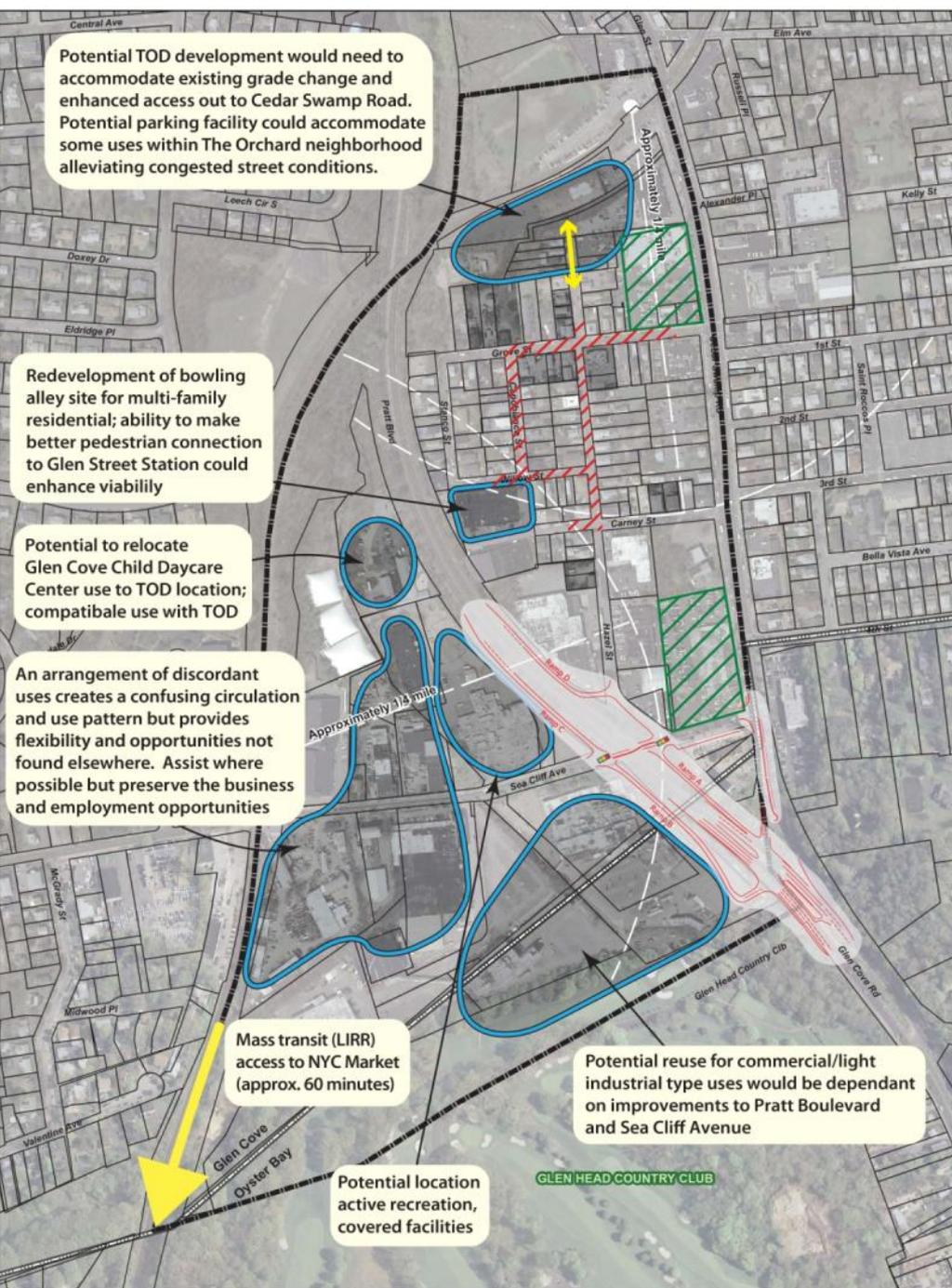
An arrangement of discordant uses creates a confusing circulation and use pattern but provides flexibility and opportunities not found elsewhere. Assist where possible but preserve the business and employment opportunities

Mass transit (LIRR) access to NYC Market (approx. 60 minutes)

Potential reuse for commercial/light industrial type uses would be dependant on improvements to Pratt Boulevard and Sea Cliff Avenue

Potential location active recreation, covered facilities

GLEN HEAD COUNTRY CLUB





Visioning and Public Feedback



The Visioning process will set the stage for the development of revitalization and redevelopment options

- Identify and address key challenges
- Leverage strengths
- Capture current and projected growth opportunities
- Promote development potential
- Provide new opportunities for economic, social and community benefit over the long term.



How do you see the Orchard Neighborhood in 20 years?



Breakout Tables

What would you like to see...?

- Community Design/Land Use
 - History
 - Place
 - Connections (Neighborhoods, Train Station, Downtown)
 - Edges
 - Missing Land Uses (Big Box Retail, Residential, Recreation, Other)
- Streetscape and Landscape
 - Program/Function (Lighting, Trees, etc)
 - Character
 - Sustainability
 - Open Space
- Transportation and Circulation
 - Bicycle and Pedestrian Facilities
 - Parking Availability/Location
 - Problematic Intersections



Ground Rules

- Limited Time
- Every opinion is valid
- Everyone gets to talk
- Keep the conversation positive and constructive
- Keep the discussion moving – don't get hung up on points of disagreement
- Try to think of potential solutions as well as problems



Report Back

- Community Design/Land Use
- Streetscape and Landscape
- Transportation and Circulation



Next Steps

- Input will inform ongoing planning for the Orchard Neighborhood
- Workshop results will be presented at a public meeting later this year
- Visit the project website for updates:

<http://www.glencove-li.com/>



the orchard

a Glen Cove Revitalization Neighborhood

in partnership with the New York State Department of State

September 10, 2012



Tonight's Agenda

1. Introduction (City of Glen Cove CDA)
2. Opening remarks (Mayor Ralph Suozzi)
3. Project Review(VHB)
4. Visioning and Public Feedback Review (VHB)
5. Opportunities and Recommendations (VHB)
6. Next Steps (VHB/CDA)
7. Questions and Answers



The Team

NYSDOS – Office of Communities and Waterfronts
Division of Coastal Resources
Curtis Cravens



City of Glen Cove
Community Development Agency – City Project Coordinator
Kelly Morris, Executive Director
Erin Reilley, Grant Administrator



The Orchard
Steering Committee



Public Feedback,
Stakeholders



VHB



RESG



What is the Purpose of the BOA Program?

- Assess the community impacts caused by brownfields, economic distress
- Build a shared community vision and consensus on the reuse and redevelopment of strategic sites and actions to achieve community revitalization
- Identify community redevelopment and revitalization opportunities
Coordinate and collaborate with local, state, and federal agencies, community groups and private-sector partners to identify and implement solutions to improve communities
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The BOA Process

Step 1. Identification of Area

Step 2. Nomination Study

Step 3. Implementation Strategy and/or Site Assessments



What is a Brownfield?

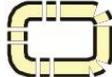
- Vacant, blighted or underutilized properties
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- Area served by two LIRR Stations
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Legend

-  Brownfield Opportunity Area (BOA)
-  Municipal Boundary

The Orchard

Brownfield Opportunity Area

- Study Area 55± Acres.
- Primary access from Cedar Swamp Road, Glen Cove Road and Sea Cliff Avenue
- Older more densely developed residential neighborhood
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-  Approximate Assessor Parcel Boundary
-  Municipal Boundary
-  Railroad



The Orchard

Brownfield Opportunity Area

Potential Brownfield Inventory

Significant distressed properties include:

1. Pall Corporation
2. PhotoCircuits
3. Pass and Seymour



The Orchard

Brownfield Opportunity Area

Study Area Existing Conditions

- Residential = compact, dense, many opportunities for improvement
- Large scale uses along Sea Cliff Avenue, southern portion of Orchard
- Auto-centric uses and local businesses along Cedar Swamp



The Orchard

Brownfield Opportunity Area

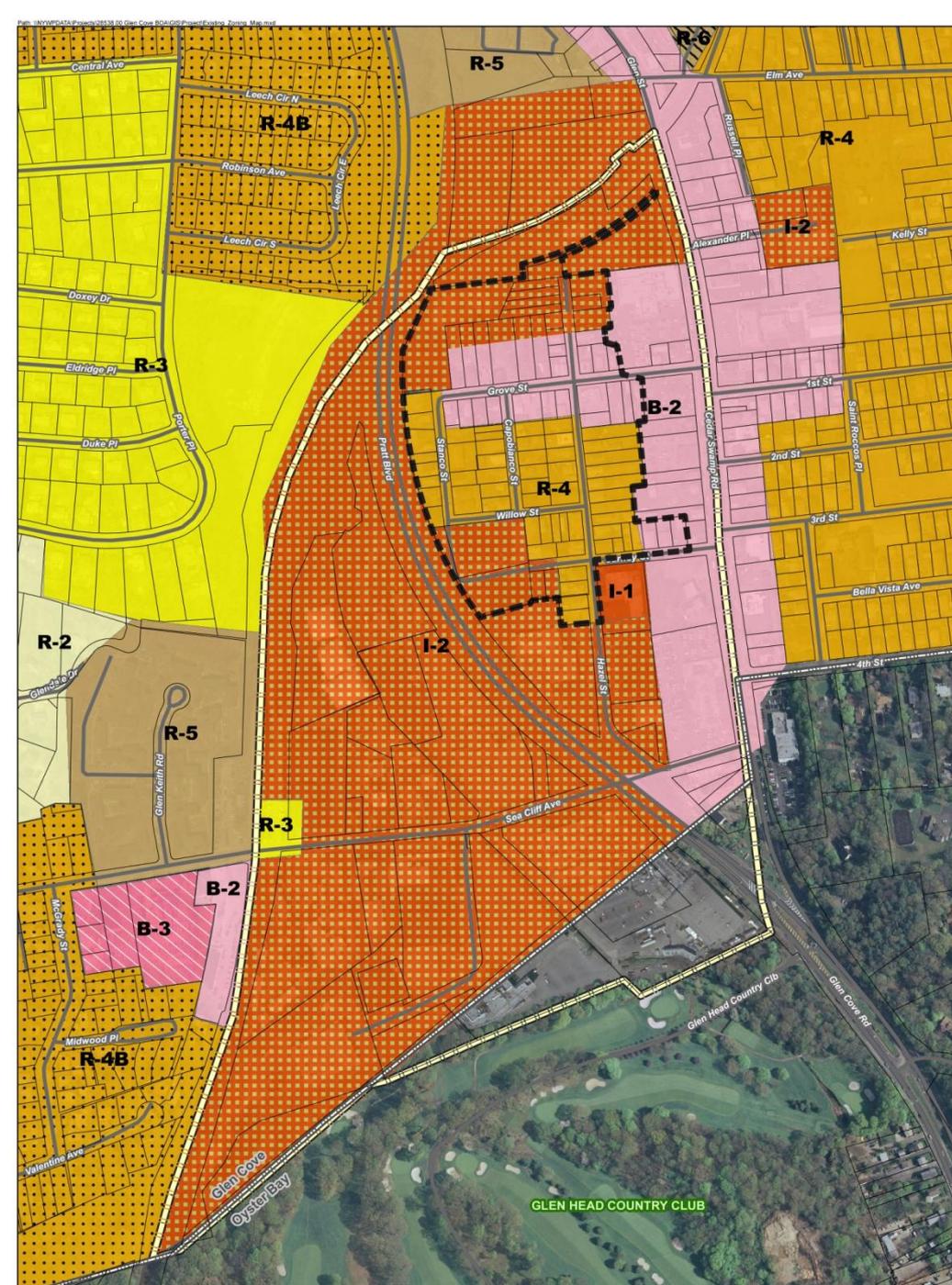
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- Uses allowed (Permitted/Special Permit) Retail, business/professional offices, manufacturing, commercial recreation, convenience stores, motor vehicle sales/service, lumber and building materials
- RIO-ON Overlay Encourage redevelopment through incentives and relief, density bonus for structured parking, streetscape improvements, green building, includes Bowling Alley site

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-  I - 1 - Light Industrial District
-  I - 2 - Light Industrial District
-  Municipal Boundary
-  Brownfield Opportunity Area (BOA)
-  RIO - ON Overlay



The Orchard

Brownfield Opportunity Area

Infrastructure Survey

- Available utilities system is adequate for existing uses and potential redevelopment opportunities.
- Localized Flooding

Local flooding conditions due to lack of adequate drainage.

Legend

-  Drainage Catch Basins
-  Drainage Manholes
-  Drainage Outfalls
-  Sewer Manholes
-  Drainage Pipes
-  Natural Drainage
-  Sewer Pipes CWDB
-  Stream Corridors
-  Approximate Assessor Parcel Boundary
-  Brownfield Opportunity Area (BOA)
-  Municipal Boundary
-  Open Water

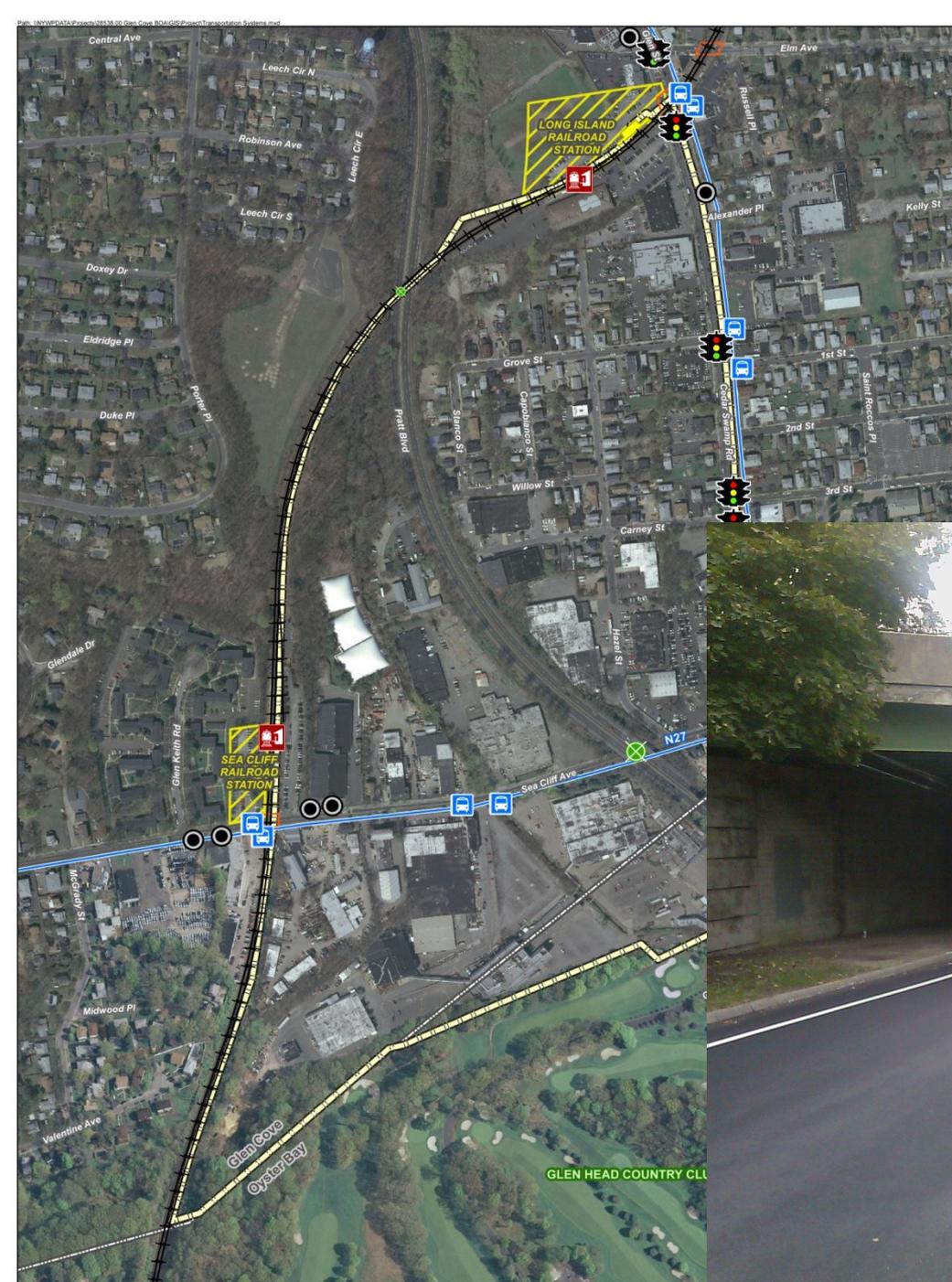
GLEN HEAD COUNTRY CLUB

The Orchard

Brownfield Opportunity Area

Transportation Systems

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The Orchard

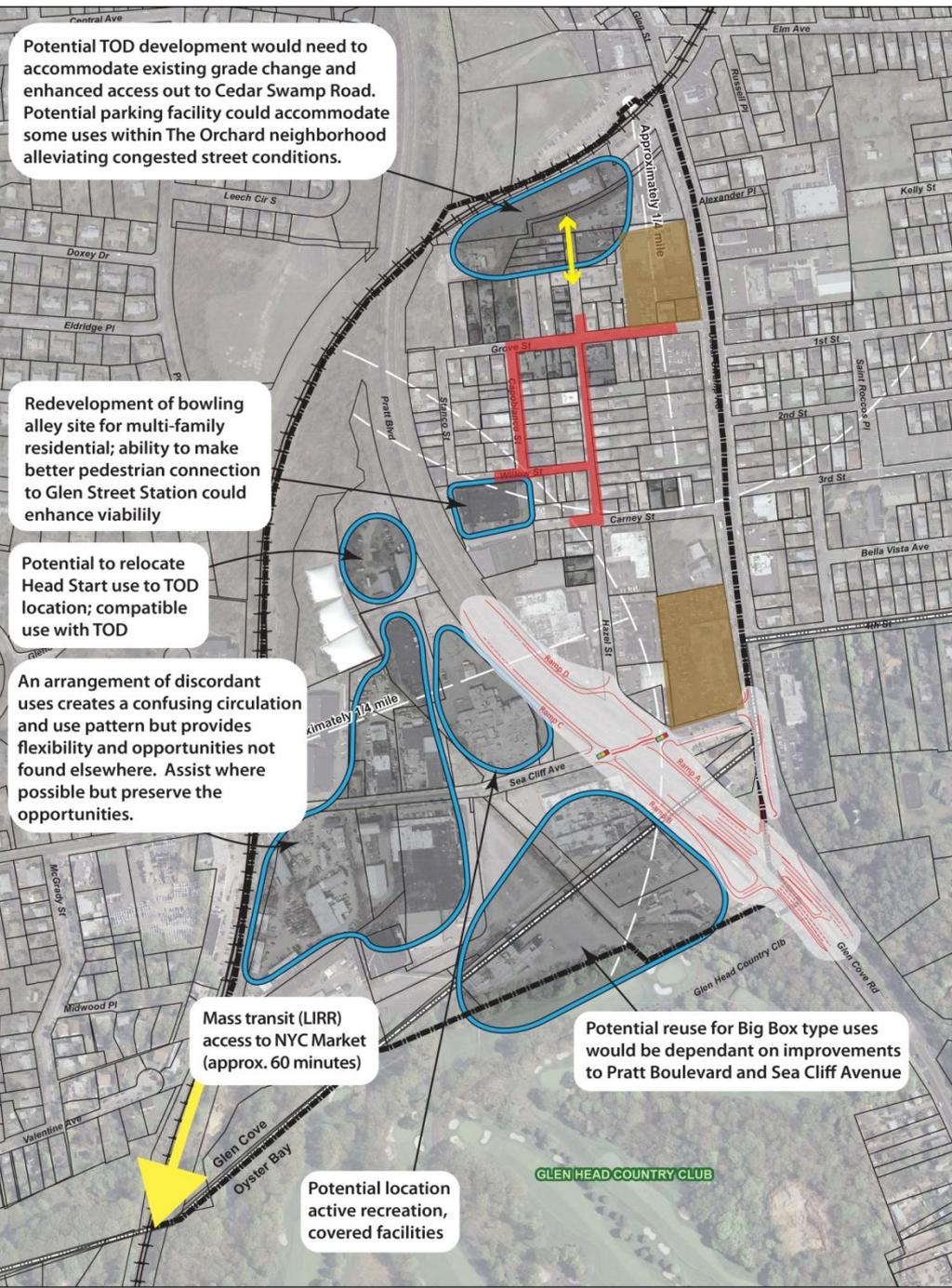
Brownfield Opportunity Area

Preliminary Issues and Opportunities

- Somewhat isolated community based on land use and roadway patterns
- Majority of the Orchard within walking distance of train station, opportunities for improvement
- Automotive sales requires parking, resources limited
- Roadway improvements needed for redevelopment opportunities

Legend

-  Brownfield Opportunity Area (BOA)
-  Approximate Assessor Parcel Boundary
-  Municipal Boundary
-  Railroad
-  Congested Street System
-  Parking Intensive Uses





How do you see the Orchard Neighborhood in 20 years?



The Visioning process has set the stage for the development of revitalization and redevelopment options

- Identify and address key challenges
- Leverage strengths
- Capture current and projected growth opportunities
- Promote development potential
- Provide new opportunities for economic, social and community benefit over the long term.



Visioning and Public Feedback Summary

The Orchard will be an attractive, walkable, vibrant neighborhood with improved linkages to the rest of the City of Glen Cove. New development will be consistent with the established character of the neighborhood and highlight the area's unique historic and natural settings, while pursuing needed public amenities and infrastructure improvements. Opportunities for enhancing the City's tax base and employment that are compatible with and supportive of the City's existing businesses will be pursued.



Visioning and Public Feedback Summary continued.

- Encourage transit oriented development opportunities in the Orchard neighborhood that take advantage of the existing Glen Street station.
- Enhance quality of life in the Orchard by continuing building code enforcement, enhancing pedestrian circulation, and incorporation of a street tree planting/landscaping/beautification program.
- Expand the availability of recreational resources/open spaces to serve residents of the Orchard.
- Facilitate reinvestment in the Orchard neighborhoods housing stock and public spaces to reduce blighting influences.



Visioning and Public Feedback Summary continued.

- Enhance the attractiveness of the Orchard as residential neighborhood, while maintaining connections to its distinct sense of history and place and its urban scale.
- Enhance pedestrian connections between the Orchard neighborhood and a reinvigorated Sea Cliff commercial area.
- Incorporate green infrastructure elements to address stormwater issues, and create a new open space element by enhancing the existing stream west of Pratt Boulevard.
- Enhance parking resources to accommodate multiple needs within the Orchard, Glen Street Train Station and the Cedar Swamp Road commercial district.



Visioning and Public Feedback Summary continued.

- Address the accessibility and circulation issues at the Glen Cove Daycare facility, either by relocating the facility or creating new, safer pedestrian and vehicular access from the Orchard and /or Sea Cliff Avenue.
- Improve transportation and circulation at the Sea Cliff Avenue/ Cedar Swamp Road gateway intersection, particularly as it relates to commercial redevelopment opportunities.
- Encourage new commercial investment in the industrial area along Sea Cliff Avenue that will enhance employment opportunities and fiscal conditions, while avoiding competition with existing businesses.

TOD Target Area

- Enhance pedestrian access to Glen Street Station via Hazel Street
- Expand parking resources to address multiple needs
 - on street parking in the neighborhood
 - resource for employees and nearby automobile dealerships
 - resource for commuter use

Orchard Neighborhood Redevelopment Incentive Overlay District (RIO-ON) promotes mixed use development pattern consistent with TOD principles.

Sea Cliff Avenue

Sea Cliff Avenue provides opportunities for employment and taxes.

The Orchard

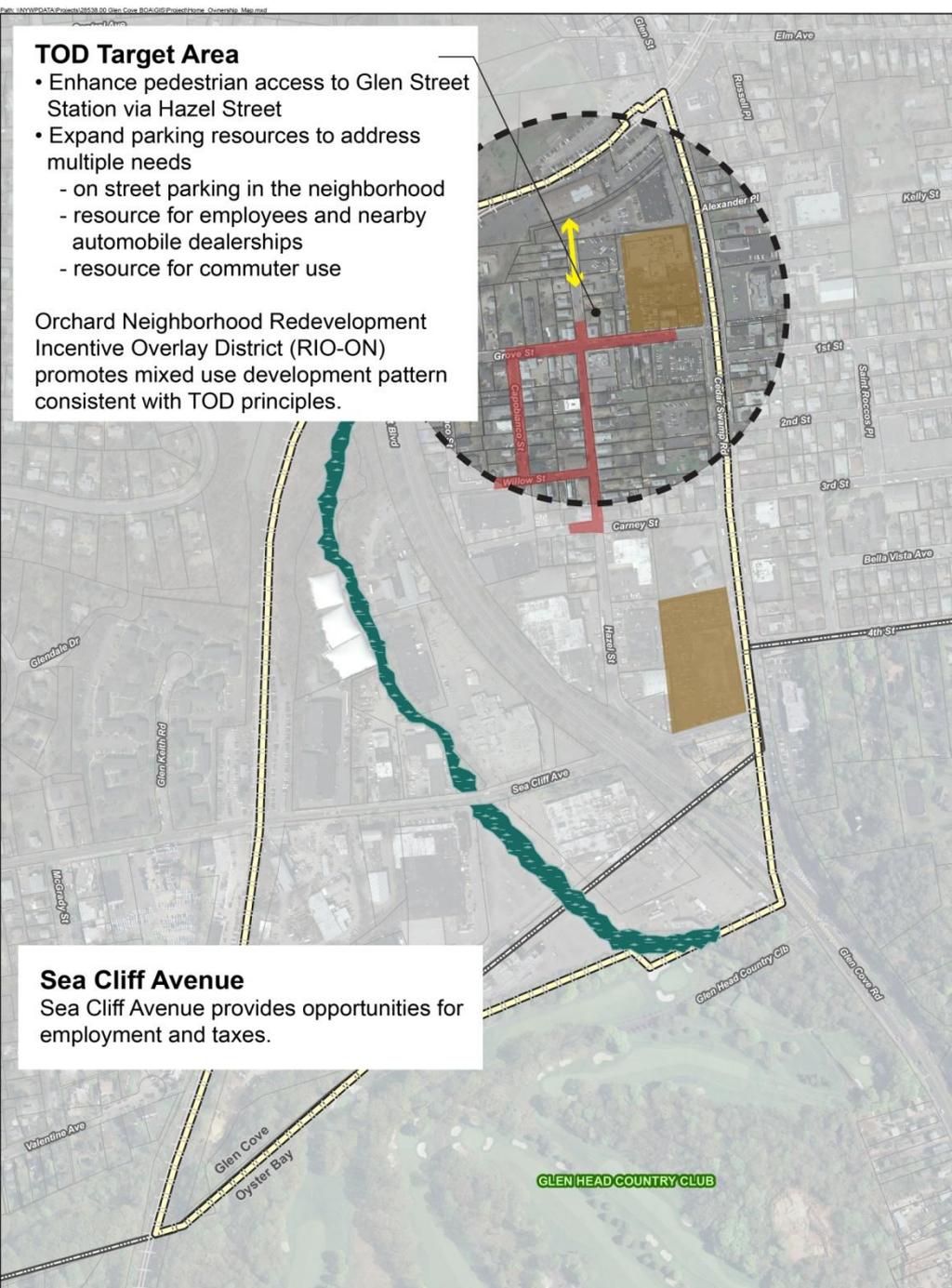
Brownfield Opportunity Area

TOD Opportunities

- Hazel Street connection – strategic site
- Promote Redevelopment Incentive Overlay Orchard Neighborhood (RIO-ON) as a zoning tool for positive redevelopment.
- Market exists for TOD but train service could be enhanced (LIRR discussion)

Legend

-  Approximate Assessor Parcel Boundary
-  Brownfield Opportunity Area (BOA)
-  Municipal Boundary
-  Open Water
-  Railroad
-  Congested Street System
-  Parking Intensive Uses



- Concentrated Code Enforcement
- Design guidelines for new construction, renovation and additions
- Residential rehabilitation support programs

- Enhance sidewalks
- Reintroduce landscaping (street trees)
- Create space for playground
- Encourage mixed use with first floor retail

Local flooding conditions due to lack of adequate drainage.

Green treatments for stormwater management:

- Green streets
- Stormwater planters
- Permeable pavers
- Bio-swales
- Bio-retention facilities
- Tree plantings and trenches
- Green roofs

Stream enhancement "daylighting"

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Brownfield Opportunity Area

Neighborhood Stabilization And Green Infrastructure

- Continue goals and objectives re: concentrated code enforcement, residential rehab support programs and design guidelines for new construction.
- Sidewalks, landscaping, playground, mixed use



GLEN HEAD COUNTRY CLUB

The Orchard

Brownfield Opportunity Area

Neighborhood Stabilization And Green Infrastructure



Commercial Corridor:
Pre-Construction



Commercial Corridor:
Post-Construction Enhanced Tree Pit



Low Density Residential Street:
Pre-Construction



Low Density Residential Street:
Post-Construction Infiltration Swale



Low Density Residential Street:
Pre-Construction



Low Density Residential Street:
Post-Construction Enhanced Tree Pit

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Brownfield Opportunity Area

Preliminary Traffic Enhancements

Pursue opportunity for creating more direct pedestrian connection to Glen Street Station.

Expand parking resources to address neighborhood, business and commuter uses

Overall enhancement of sidewalks particularly along Sea Cliff Avenue projects approved through the city is streetscape improvements

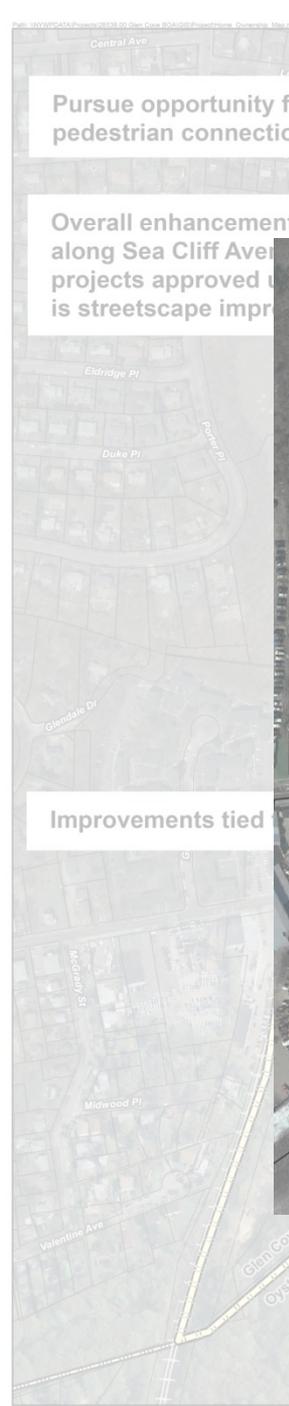
Improvements tied to



expand
S
commuter
system
elements of
mp road
a Cliff Avenue
way
Cove Daycare

Boundary
(OA)

-  Railroad
-  Congested Street System
-  Parking Intensive Uses



The Orchard

Brownfield Opportunity Area

Draft Concept Sea Cliff Avenue



The Orchard Brownfield Opportunity Area/ Sea Cliff Ave. Concept Plan



Next Steps

- Incorporate community input and feedback
- Draft of final Step 2 Report
- City submit application for Step 3 (end of September)
- Visit the project website for updates:

<http://www.glencove-li.com/>



The Orchard BOA Step 3 Implementation Strategies Presentation and Discussion

- Change Study Area Boundary to include Coles School
 - Community considers it to be part of neighborhood
 - Can serve open/space park needs
 - Currently vacant, with a community service requirement in deed

Addressing Infrastructure Deficiencies

- Area-wide Stormwater management and green infrastructure study
 - Area-wide stormwater flow and volume assessment, to address the area's range of elevations, disparate stormwater drainage infrastructure, the increasing severity of precipitation events, the presence of Mill Brook Creek, and flow into Mill Pond and Glen Cove Creek.
 - The study should result in recommendations and conceptual designs for green infrastructure, particularly with regards to the low-elevation areas in and around Sea Cliff Avenue, and opportunities to daylight Mill Brook Creek.



The Orchard BOA Step 3 Implementation Strategies Presentation and Discussion

- Traffic, roadway, and walkway improvement study.
 - Specific focus on intersection improvements at Route 107, Cedar Swamp Road, and Sea Cliff Avenue; circulation systems within the Orchard; and improving access to the Glen Cove Day Care property.
- Street lighting analysis and recommendations.
 - provide recommendations for street lighting as a way to improve circulation, safety, and visual appeal, residential comfort (glare) and energy efficiency.
- Parking Study
 - Quantify need for shared parking structure in Orchard neighborhood.
 - Conceptual design for parking structure resulting from assessment recommendations.



The Orchard BOA Step 3 Implementation Strategies Presentation and Discussion

- Feasibility study for Tax Increment Financing District
 - May provide financial resources for drainage, roadway & curbs, sewers, lighting, and or parking at the Sea Cliff Avenue Sites in advance of redevelopment
 - Financial consultation to advise on the TIF district boundary, financial consultation to estimate potential tax revenue for district, bond counsel to advise on proper legal protocol, engineering estimation services.



The Orchard BOA Step 3 Implementation Strategies Presentation and Discussion

Research for potential Redevelopment Opportunities

- Sites at northern end of Orchard, locations along Hazel Street
 - Outreach to property owners
 - Phase 1 Environmental reports
 - Property Appraisals
 - Title Searches

Conceptual Designs, Schematics

- TOD/ parking resource at north end of BOA, pedestrian stairway
- Pocket park on City-owned lot on Capobianco St
- Coles School



The Orchard BOA Step 3 Implementation Strategies Presentation and Discussion

Environmental

- Coles School: Energy efficiency & renewable energy assessment
- Sea Cliff Avenue sites: Renewable energy potential assessment
- Phase II Assessment: Glen Cove Day Care

Marketing

- Marketing plan and activities for Sea Cliff Avenue Strategic Sites.
 - Includes collection of market data on potential uses for Sea Cliff Avenue sites (active recreation, retail, film studios), conceptual designs, and marketing activities for the sites including information on TIF, IDA services (outreach, printing, website development)
- RFP and tenant attraction activities for Coles School
- Public Outreach- Printing, website development
- Grant writing (DOS, DEC, ESD, NYSDOT, Nassau County)



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|-------------------|----------------------|--------------|--|---------------------------|
| Willie Conboy | 14 Linden Rd | 516 652-5777 | | |
| Dan & Kim Brennan | 43 Grove St | 516-671-4261 | Y | dokgreennan@optonline.net |
| Patsy Gallo | 110 Frost Blvd | 676-6927 | | |
| Porquise Schue | 37 CEDAR SWAMP Rd | 671 5349 | | |
| FRANK Riolo | 7 Emerald Drive | 759-1519 | ✓ | frriolo@optonline.net |
| Cananick Jack | 27 Glen st | 516 671 701 | Y | |
| Valerie Thompson | 34 Grove Street | 516)351-9728 | ✓ | |
| Rosann Gallo | 52 Cedar Swamp Rd | 676 6671 | ✓ | |
| NICK DILEO | 23 Duke Pl Glen Cove | 516 784-6844 | | CAMINSURE@MSN.COM |
| FRANK CARUSO | | | | |
| TONY Jimenez | 15 MERCADANTE PL GC | 675-1812 | | AJIMENEZ55@AOL.COM |



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| | | | | |
|---|--|--------------|---|-----------------------------|
| LUANN MIDDLETON | 9 CAPOBIANCO ST | 516-695-1678 | Y | Maybelle1227@aol.com |
| MICHAEL CAVAZZONE (T.M. BIER & ASSOCIATES, INC) | 79 HAZEL ST. | 516-674-3700 | Y | MIKEC@TMB.A.COM |
| Peter Bozek | 34 Grove St | 516-277-1288 | Y | Code65@optimun.net |
| Ralph Healey, Town of Oyster Bay | 54 Audrey Ave Oyster Bay, NY | 516-624-7890 | Y | R.Healey@OysterBay-NY.gov |
| B NATH | 11 Grove St | 516-759-6217 | Y | Budinath@yahoo. |
| Jackie & Phil DiLeo | 29 Phillips Pt. 30 Capobianca St | 516 759-9212 | Y | PAIDY6@aol.com |
| R SPINELLO | Canylin Dr | | | RAF2@optonline.net |
| Joan Anzalone - Thill Michael Thill | 44 Grove St | 676-2890 | Y | Anzln36@aol.com |
| Richard MIDDLETON | 86 East Milton Street Freeport NY 11520 | | Y | Ironworker580usme@yahoo.com |
| Michael Bruschini | 16 Taft Place Glen Cove NY 11545 | 669-3128 | Y | MichaelBruschini@gmail.com |
| Louise Meyer | 10 Sea Cliff Ave Glen Cove | | | |



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| Name, affiliation | Address | Phone | Do you want to receive updates about this project? Y/N | e-mail |
|-------------------|-------------------|----------|--|--------------------------|
| Vito J M'Imese | 17 Grove St | 903-6750 | Yes | |
| Drew LAWRENCE CDA | 2 Inwood Rd | | | AWLAWRENCE@OPTONLINE.NET |
| Gaetano Calo | 42 Sea Cliff Ave. | 676-3930 | Yes | Sales@hardcoristone.com |
| E. PANTAZAKOS | 102 LAUDING RD | 759-5375 | Yes | — |
| | | | | |
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The Orchard Brownfield Opportunity Area



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COMMENTS AND POST-IT BOARD

Need community center with activities for youth, seniors, and veterans

- Direct to the city transportation
- Daycare location danger
- Fix traffic problem in Grove St.
- Fire truck access
- Improve soccer field recreation
- Clean up area of garbage
- Side walk beautification
- Police precinct
- Redevelop photocircuits into gated community like Knolls
- Would like to see cleaner streets
- Don't become Queens
- Recreation Center Sea Cliff Ave.
- Affordable housing 55+ years
- Police the neighborhood





Memorandum

July 5, 2012

To: File

From: David B. Smith

The following are notes taken from the three break-out sessions held as part of the first public meeting on the Orchard BOA planning study. The comments will be used to craft the Community Vision and Goals for the Orchard BOA and to help identify additional issues and opportunities related to the planning for the BOA.

Land Use

Comments on the Orchard Neighborhood area:

Many of the participants either grew up in the Orchard, live there or had a relative and visited the neighborhood on a regular basis. There was a distinct fondness of the neighborhood with descriptions like family oriented, born in the house, many goods and services available within the neighborhood (delis, bakery, butcher), these are uses the community would like to see reintroduced. The heritage that founded the neighborhood has left and moved on.

Over time families moved out and replaced with absentee landlords, overcrowding is now an issue expressed with a desire to have more of a police presence in the neighborhood. Boarded up buildings need to be addressed.

There is an architectural heritage in the neighborhood with craftsman like work on many of the homes. Future development/redevelopment options should take into consideration the architectural palette present in the neighborhood.

There were many more trees which were lost as a result of development and in-fill development.

Need someplace for the kids to play.

Not enough parking is available in the neighborhood. It was noted that employees from the some of the uses along Cedar Swamp Road park in the neighborhood and then walk to work leaving less parking available during the day for residents.

Newer development along Grove Street did not appear to be in keeping with the neighborhood character, too dense with not enough parking.

New uses suggested included active senior 55+ condominiums so that households that have lived in the area can downsize and stay.

The Glen Street Station is too slow and needs additional parking to service the facility.

Community playground needed.

Comments on the Sea Cliff Avenue area:

No homes off of Sea Cliff Avenue.

Need more variety of shopping such as big box type of uses like Trader Joe's, BJ's, Cosco, Wal-Mart, Target with some other supporting retail like the GAP, toy store, home goods. General discussion that the type of use that might go in, what kind of effect would it have on other goods and services available within the City. There were some that did not want to see a big box type of use go in along Sea Cliff Avenue.

Indoor recreation, including field use was a possible reuse option, private operators has created these facilities elsewhere in the metropolitan area.

It was recognized that roadway improvements would be needed in order to assist in the redevelopment and marketing of the properties along Sea Cliff Avenue.

General Comments from the Land Use Section:

Need more street trees

Flooding was noted as an issue in the south-west portion of the Orchard, possible use of a rain garden or other low impact measures to treat stormwater runoff suggested.

Explore the possibility of reopening the creek with a boardwalk as a community amenity.

Landscape

Recreation

It was noted that there are a lot of children in the neighborhood, but no recreation resources. It was suggested that a small playground or park would be a welcome addition. One resident noted that there is an underutilized parking lot between 18 and 16 Capobianco that could be a potential site. Ownership



was not known: some thought it might be a private lot supporting the adjacent apartments. Possible City ownership of lots in the area should be confirmed/researched.

Other suggestions included improving the soccer field near the Glen Street station and potentially adding other recreation options (e.g., a walking track/circuit). The wetland/creek area was also suggested for investigation as a potential location for recreation.

Sidewalks

It was reported that there are currently no sidewalks along the southern end of Hazel Street. Installation of sidewalks could complete the network and allow for connection to Sea Cliff Ave.

Refuse

Trash was cited frequently as a problem in the neighborhood. The general impression was that it is essentially due to the density of the rental community. While there are pickups scheduled twice a week, the private garbage cans are not adequate to contain the refuse and bags overflow. Some property owners also noted a potential problem with general littering. The tight parking conditions would present difficulties for street sweepers to effectively clean the streets.

Comfort and Security

Residents indicated a concern with traffic behavior at the two school bus pickups along Sea Cliff Avenue at Grove Street and Carney intersections. Vehicles do not stop when the busses are stopped. It was recommended that pedestrian crossing signs be installed and/or targeted enforcement be implemented. Perhaps additional streetscape elements could be installed to provide a prominent visual marker for motorists and shelter for transit riders.

In general, the neighborhood streetscape and lighting is not particularly appealing or comfortable. Pedestrian scale lighting may be one way to improve this condition. It was also noted that Stango's Restaurant is in the interior of the neighborhood in Grove Street and has an extensive history and could be an attraction. Perhaps an improvement in visual conditions along Grove Street could help induce more people to patronize the area.

Residents also indicated that it is very difficult to see when existing from Grove Street and that eliminating the spaces closest to the corner may improve visibility and safety. It was also noted that the overflow parking of employees from Rallye Lexus impacts the on-street parking conditions.

Trees/Landscaping

While many residents had fond memories of the Orchard's past, they indicated that the trees are just a remnant and that most of the ones in the neighborhood interior were dead or gone. It was noted that given the tight conditions in the neighborhood, there is not a lot of room for tree planting. Maybe a tree

planting program for private lots could be considered. Perhaps smaller scale landscaping in the public realm could be considered to create a more neighborly appearance.

Transportation

Narrow Streets and Parking

Many residents stated that the existing narrow streets with parking on both sides made traveling through the residential portion of the Orchard neighborhood problematic. The streets (with parking on both sides) are not wide enough to allow simultaneous, two-way travel. Parking near corners makes it difficult or impossible for trucks, including fire trucks, to turn. Parking on the opposite side of the street to driveways makes it difficult to exit those driveways. These conditions become critical after snowstorms, as there is nowhere to pile snow when the streets are plowed.

Much of the parking is by employees of vibrant local businesses (especially the car dealerships) who cannot find other places to park and so spill into the residential neighborhood.

Potential solutions suggested included widening the streets (although it was acknowledged that that would require property acquisition), providing more off-street parking, either structured or unstructured, although it was noted that a recently created parking lot on Capobianco Street was underutilized. In the short term, it was suggested that perhaps a lease agreement could be reached to allow local employees to park on the vacant Coles School property. Other measures suggested included requiring future development to provide adequate on-site parking, better enforcement of parking restrictions, especially at the corners of Willow Street with Hazel Street and Capobianco Street.

Inadequate Train Service

Many residents noted that the requirement to make a transfer at Jamaica for all trains except the 6:04 a.m. train made so degraded the quality of train service that it undermined the real estate value (and development potential) of the land surrounding the Glen Cove train stations.

It was suggested that the LIRR provide at least 2 direct-service trains to Penn Station during the peak hour each day. It was even suggested that perhaps the three Glen Cove Stations could be consolidated (remember Crugers and Montrose becoming Cortlandt on the Hudson Line) to facilitate the introduction of direct service, although it was noted that such an action would require the construction of more parking where service was consolidated (see Narrow Street and Parking above).

One individual commented that they knew others who used the bus service regularly and found it to be quite good.

Safety Concerns on Cedar Swamp Road

Many residents stated that the unloading of automobiles in the street on Cedar Swamp Road near Carney Street and, especially, Grove Street posed, congestions, safety and sight distance problems. It was also noted that buses which stop on Cedar Swamp Road at Grove Street do not pull in fully out of the travel lane and block traffic in the rightmost lane. Also, traffic frequently does not stop for stopped school buses at that location.

It was suggested that prohibition of stopping on the west side of Cedar Swamp Road for 100' to the north of Grove Street and better enforcement of such a regulation would improve sightlines for right-turns on red exiting Grove Street.

Additional Access

Residents noted that while the number of pedestrians in the residential portion of the neighborhood was modest, walking to and from the train station was circuitous. It was also noted that increased traffic from the redevelopment of the bowling alley would exacerbate traffic problems on Carney Street.

Suggested possible solutions included steps leading down from the north end of Hazel Street to a footpath to the Glen Street train station and a pedestrian crossing of Pratt Boulevard to a footpath leading to the Sea Cliff train station. It was suggested that Carney Street could be extended to Pratt Boulevard to provide a full-movement, signalized intersection, with a crosswalk, or a right-in, right-out, unsignalized intersection to accommodate traffic from new development in the neighborhood. If the latter connection were pursued, it was suggested that the pedestrian connection could be accomplished with the construction of a footbridge.

Non-Transportation

Coles School

It was suggested that conversion of the vacant Coles School to a Senior or Day-Care Center be encouraged.

Drainage

It was noted that there is virtually no drainage in the neighborhood and that every time it rains heavily, discarded garbage and trash gets wash down to the bottom of Carney, Willow and Grove Streets.

Apart from increasing street sweeping and trying to encourage people to do a better job of disposing their trash, it was suggested that installing a drainage system would stop the residents living at the bottom of these streets from being inundated with trash every time it rains heavily.

Neighborhood Image



Some commented that the neighborhood can be intimidating and that this discourages families from moving into the neighborhood.

It was suggested that increased Code and Police enforcement could make the neighborhood a more desirable place to live by preventing conditions and situations which can contribute to problematic behavior.

Development Potential

It was suggested that condominium development in the neighborhood would be more likely to take better advantage of the LIIR line than single/multi-family homes as the occupants of current housing stock are mostly employed locally, if they are fortunate enough to have employment at all.

DRAFT

The Orchard Brownfield Opportunity Area



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COMMENTS AND POST-IT BOARD

Need community center with activities for youth, seniors, and veterans

- Direct to the city transportation
- Daycare location danger
- Fix traffic problem in Grove St.
- Fire truck access
- Improve soccer field recreation
- Clean up area of garbage
- Side walk beautification
- Police precinct
- Redevelop photocircuits into gated community like Knolls
- Would like to see cleaner streets
- Don't become Queens
- Recreation Center Sea Cliff Ave.
- Affordable housing 55+ years
- Police the neighborhood





DRAFT – For Discussion Purposes

Date: May 18, 2012

To: Glen Cove The Orchard BOA Steering Committee

From: David B. Smith

RE: Meeting Minutes March 5, 2012

The following are draft minutes from the City of Glen Cove The Orchard BOA Steering Committee meeting. In attendance were: Kelly Morris (Glen Cove IDA/CDA), Erin Reilley (Glen Cove CDA), Curtis Cravens (NYS DOS), Patti Bourne (Glen Cove IDA), James Britz (LIHP), Graham Long (Glen Cove CDA) and Dave Smith (VHB).

Brief overview of the BOA program and the City's application was provided by Erin Reilley and Curtis Cravens, including background as to historical uses.

Dave Smith reviewed work conducted to date including the preparation of the draft existing conditions report which included a draft of the community participation plan and summary of notes from the interviews with various Department Heads for the City and stakeholder interviews.

A presentation was made of the existing conditions graphics with subsequent comments provided for correction and clarification.

An initial presentation was made relative to the TOD and Industrial Market analyses, additional outreach to Metro North/LIRR was discussed re: TOD and potential freight rail use. The TOD analysis included a case study methodology looking at comparable communities including: Patchogue, NY, South Orange, NJ, and South Amboy, NJ. Light industrial types of uses are problematic because of location vis a vis the LIE, however, there is some further consideration for big box type of uses.

Presentation issues and opportunities graphic which began to outline potential redevelopment opportunities in both the Orchard and the Sea Cliff Avenue areas. For consideration at the next Steering Committee meeting would be conceptual plans that would begin to visualize how redevelopment might occur given existing constraints.

Next meeting date to be determined.



DRAFT – For Discussion Purposes

Date: May 28, 2012

To: Glen Cove The Orchard BOA Steering Committee

From: David B. Smith

RE: Meeting Minutes May 21, 2012, Meeting #2

The following are draft minutes from the second City of Glen Cove The Orchard BOA Steering Committee meeting. In attendance were: Kelly Morris (Glen Cove IDA/CDA), Erin Reilley (Glen Cove CDA), Patti Bourne (Glen Cove IDA), James Britz (LIHP), Graham Long (Glen Cove CDA), Maureen Basdavanos, Deputy Mayor, Richard Summa (Glen Cove Building Department) and Dave Smith (VHB).

Brief overview of the BOA program and the City's application was provided by Erin Reilley for the benefit of the Deputy Mayor.

Dave Smith reviewed updates on the existing conditions graphics, copies of which were forwarded to the City under separate cover.

The City had reviewed the preliminary version of the TOD/Big Box/Light Industrial economic analysis prepared by RESG. The preliminary findings were discussed which pointed that there is a market for TOD at the Glen Street Station area given proximity to the station. Given location issues, light industrial uses were not anticipated to be a significantly viable use, however, given area demographics Big Box type retail is a viable redevelopment option. There were some concerns raised regarding the competitive issues for other supermarkets in the Glen Cove community that might be affected by certain big box types of use. As a follow up item Camille Byrne was to be coordinated with regarding a related grant report prepared by the City. In addition, RESG was to be asked about what other complimentary uses go with big box type of development so that there is a better understanding of the synergies between the two.

Concept was raised relative to the auto related uses along Cedar Swamp Road, potential for relocation to Sea Cliff Avenue area given large expanse of area available for parking. A number of the car dealers are renting space in downtown for storage. One of the concepts discussed for the Glen Street Station area was a parking structure that could accommodate multiple uses, the car dealer parking issue may point to a built in market.

A series of conceptual planning evaluations were presented which represented input from the various department heads, city officials, stakeholders, economic analysis and the steering committee. While preliminary in nature, the steering committee felt that it was too premature to begin presenting the concepts without first getting additional public input.

The next part of the meeting was spent discussing the format for the first public presentation. The City was going to coordinate on the preparation of a notice to be sent to property owners and residents of the study area. The general format of the meeting will include a general introduction by either Erin or Kelly on behalf of the City, some opening remarks by the Mayor to provide some context and history of the Orchard neighborhood. A review of existing conditions will be provided followed by a visioning exercise led by Ken Schwartz followed by public feedback session.

The next steering committee meeting is tentatively scheduled for Friday June 22, 2012 to review with the Steering Committee the preliminary outline of the presentation and public interaction format. The first public meeting is scheduled for Wednesday June 27 at a location to be determined by the City. Once a location has been established the City will coordinate with VHB regarding the room specifications.





DRAFT – For Discussion Purposes

Date: July 5, 2012

To: Glen Cove The Orchard BOA Steering Committee

From: David B. Smith

RE: Meeting Minutes 22, 2012

The following are draft minutes from the City of Glen Cove The Orchard BOA Steering Committee meeting. In attendance were: Kelly Morris (Glen Cove IDA/CDA), Erin Reilley (Glen Cove CDA), Patti Bourne (Glen Cove IDA), Graham Long (Glen Cove CDA), Maureen Basdavanos, Deputy Mayor, Richard Summa (Glen Cove Building Department), Mayor Suozzi, and Dave Smith (VHB).

The Steering Committee reviewed in detail the proposed power point presentation for the upcoming June 27th public presentation. A number of comments and edits were suggested for the presentation. Details regarding the presentation requirements related to room arrangement and layout were also discussed. Public outreach was discussed including the placement of flyers in both English and Spanish and locations throughout the community.

Next meeting date to be determined.

Glen Cove Orchard BOA Steering Committee

Meeting Notes taken by Lauren Wang (VHB)

8/29/12

Attending

SC = steering committee

ER = Erin Reilley

DS = Dave Smith

G = Graham Long

R = Richard Summa

M = Maureen Basdavanos

K = Kelly Morris

GC = Guy Calo

P = Patty Bourne

Administrative

- Submit as nomination to state on tight deadline: September 30 (ER)
 - VHB will work with SC to meet September 30 deadline
- End-goal of this meeting (DS): Come up with concrete recommendations/implementation ideas to offer the state

Meeting Notes – Draft

1. Review of draft visioning statement from first public meeting
 - ER will send edits to VHB: “cultural,” “context,” “infrastructure need”
 - Police services? Police currently do not have specific patrols for that area, and the feeling/residents/foot traffic will change if redeveloped. Pursue redevelopment as is. Is not relevant to funding of BOA, but helps with public support.
 - SC talks through each implementation goal:
 - i. Enhance parking resources...
 1. Public believes that the car dealerships cause parking problems. Residents want the dealerships gone, but SC believes they are successful enterprises and wants them to stay.
 2. “No parking” signs (R)
 - ii. Encourage transit-oriented development...
 1. Definitely want more pedestrian facilities (K)
 - iii. Enhance quality of life...
 - iv. Create a green infrastructure program...
 1. Existing plans to mitigate ponding issues (R)
 2. State has funding for stormwater management (DS)
 3. Boardwalk along the stream? (DS) Group is skeptical.

4. Flooding: Flood events are increasing in severity, though occasional (GC, G, R) Need to document flood issues (GC, K)
 - **hot topic
 - v. Expand the availability of recreational resources/open spaces...
 1. Need for playground (DS)
 2. Some suggestion to sell city lot, Kelly wants a playground there
 - vi. Encourage new commercial investment in the industrial area...
 - vii. Facilitate reinvestment in...housing stock and public spaces
 - viii. Enhance attractiveness... sense of history
 - ix. Improve transportation and circulation...
 1. Addition – Improve transportation north of Sea Cliff Avenue as well (ER will send comments)
 - x. Enhance pedestrian connections...
2. Review of logistics for meeting location including outreach
 3. Second public meeting overview
 - Format (DS)
 - i. General introduction and project overview
 - ii. Plan presentations (David Smith/Geoffrey Morrison-Logan)
 - iii. Public feedback
 - iv. Next steps
 - ER proposes solution, SC agrees:
 - i. General presentation
 - ii. Overview from ER
 - iii. Public feedback
 - Materials: will distribute handouts, but not the large printouts
 4. Implementation/Step 3
 - Eligible Activities
 - SC talks through the conceptual graphics
 - i. VHB will update conceptual graphics, i.e., parking coloration.
 1. ER emphasizes that a developer would take it to the next step (detailed traffic study, etc.)
 - ii. Getting to daycare – if not moving it, need better access
 1. Monitoring of vapor at Head Start (K is familiar; ER will follow up with City)
 - iii. Coles School (sp?) **hot topic (M, K) – will have trouble, potentially, filling up the building
 1. Changing the boundary to include Coles School (ER). Would need to be able to make an economic case for it. M thinks it would be great; an easy sell (G). Will it jeopardize existing funding (R)? Only an asset (K).

2. ER's pitch: It's not blighted, but it's empty. Although it's not impacted by the brownfield or related blighting influences, it can still help the BOA – "positive adaptive capacity." SC agrees.
 3. ER will follow up with Curtis
- iv. Odds and ends:
 1. Daycare (DS)? They cannot afford rent somewhere else (ER)
 2. DS – news article, \$20 million sports complex
 - v. Hazel Street extension – Potential for phase 2 money? Don't emphasize contamination.
 1. ER wants environmental assessment funding for that site – but SC agrees that's outside of scope of this project.
- Discussion of new strategic sites – City-owned lot, Glen Cove day care center, Hazel Street grade change
 - i. SC will examine multiple lot owners map before public meeting
 - Discussion of potential items for Step 3 Application
 - i. Build in money for website using city staff time – yes
 - ii. Development of community benefit agreements – no
 - iii. Establishing special economic districts – no. TIF? (DS) – SC agrees to propose a feasibility study to help fund traffic and stormwater infrastructure. Financing vehicle is ready to show a developer. "But for" those improvements, you won't get a developer.
 - iv. Absence of green space/pervious surface – SC agrees to propose a stormwater and drainage feasibility study for the creek
 - v. Street trees, greening the community – make Bianco a walking street. Would improve pedestrian facilities, but presents a parking problem.
 - vi. No stormwater drains at top the hill
 - vii. Daylighting the creek? Minimal discussion only.
 - viii. Phase 1 studies/appraisals –
 1. Gym – not the highest and best use. SC agrees.
 2. Hazel
 3. Evaluate the whole Orchard – appraisals on residential properties (R). Propose appraisals of select blocks, like down Hazel (ER)
 - ix. Conceptual design
 1. For a pocket park – Yes
 2. Connectivity from train station – Yes
 3. Industrial sites? No. K says, sure. ER: would it help attract tenants? K: That would be Phase 1 & 2, cleanups.
 4. Green design (DS) – SC is lukewarm, but DS emphasizes that "green" is linked to stormwater issues. ER and K agree.
 5. Coles School – conceptual and building design (M) – what can we do with it? Energy efficiency – geothermal (M) Convince major to have a paying tenant? Parking – pave the field? (M, K) Potentially pay for a marketing study, much later down the road (P). Develop

a new RFP for Coles School, dependent on conceptual design (M).

5. Tentative schedule for finalizing report

- SC email ER with new ideas, changes to report by Friday, August 31

Brownfields Inventory - The Orchard

City of Glen Cove Glen Cove, New York

Prepared for **City of Glen Cove
Community Development Agency
9 Glen Street
Glen Cove, NY 11542**

Prepared by ***VHB*/Vanasse Hangen Brustlin, Inc.**

August 2012

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1

Introduction

Purpose and Scope of Work

Vanasse Hangen Brustlin, Inc. (VHB) has completed an inventory of potential Brownfields in the area of Glen Cove, New York referred to as “The Orchard.” A “Brownfield” for the purposes of this project is generally defined as “real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant” which is the definition issued by the US Environmental Protection Agency (EPA). VHB has referred to properties contained in this inventory as “potential Brownfields” since current environmental conditions are not entirely known and inclusion is based solely on publicly available information reviewed during this inventory process.

The purpose of the inventory was to compile a list of potential Brownfields with particular focus on the City of Glen Cove’s (the City’s) Redevelopment of The Orchard (Figure 1).

The scope of work for the inventory included developing a database of potential Brownfields in the Brownfields Opportunity Area (BOA) identified by the City and outlined on Figure 1. The database was developed by utilizing public information that was readily available, including federal and state environmental databases, New York State Department of Environmental Conservation (NYSDEC) on-line records, Sanborn Fire Insurance Maps, and municipal information.

It is our understanding that the inventory will be used by the City to prioritize the potential Brownfield properties for further assessment, if appropriate. Additional assessments of prioritized Sites may occur based on several factors including but not limited to existing environmental conditions, owner cooperation, and availability of funding. This inventory is meant to be a work-in-progress and will be updated as property-specific information becomes available from property owners.

Methodology and Informational Sources

On September 14, 2011 VHB requested an environmental database search for potential Brownfields within the BOA utilizing FirstSearch™ Technology Corporation on-line database. This database contains both state and federal listings including; National

Priority List (NPL) sites; Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS); Resource Conservation and Recovery Act (RCRA) Treatment, Storage, and Disposal (TSD) facilities list; RCRA Corrective Action (RCRACORRACTs); RCRA hazardous waste generators and no longer registered (NLR) hazardous waste generators (RCRAGEN); state list of hazardous waste sites (State sites); state list of spills sites (Spill sites); Active Solid Waste Landfill (SWL) facilities; registered underground storage tanks (USTs); leaking USTs (LUSTs), environmental institutional controls or environmental engineering controls (IC/EC Registries), State Voluntary Cleanup Program (VCP), State Brownfields, and Connecticut Property Transfer Program (State Other). The FirstSearch™ report is attached as Appendix A and serves as the inventory of properties known or suspected of having documented contamination within The Orchard BOA.

VHB incorporated this information into a Geographic Information System (GIS) database for data management and geographic referencing purposes. The FirstSearch™ report contained numerous spill listings, the majority of which were considered to be insignificant releases of small quantities of typical motor vehicle fluids resulting from motor vehicle accidents. These types of releases would not by themselves indicate a property is a potential Brownfield and therefore properties with spill listings were only incorporated into the GIS database if it was included in another database listing (such as a UST, LUST, or State site) related to the spill incident. Similarly, having a registered UST does not by itself indicate a property is a potential Brownfield. However, for purposes of constructing the inventory, UST properties were included.

An online search of NYSDECs website (<http://www.dec.ny.gov>) for properties in Glen Cove on the Site Remediation or Spills Database was conducted, in addition to identifying land uses of concern such as dry cleaners and auto body/auto repair identified through other planning research and investigation activities being conducted concurrently with the Brownfields inventory. Information obtained from these online searches was added to the GIS database. To obtain additional data concerning Brownfield Sites of suspected concern based on initial database results, VHB sent letters to the Nassua County Department of Health to request information on the refined list of properties, and received responses regarding the availability or absence of files in February of 2012.

VHB also reviewed available Sanborn Fire Insurance Maps (Sanborn Maps) dated 1908 through 1972 for The Orchard BOA which were provided through the FirstSearch™ database request. Information contained in the Sanborn Maps was added to the GIS database.

Various names associated with the properties identified in the inventory are based on publicly available state, federal, and municipal information obtained during the project. If a facility was found to have more than one name then it was included within additional fields in the GIS database.

2

Inventory

The following is a written summary of the potential Brownfields inventory completed for this project. For mapping of these properties see Figure 1. Sanborn Map properties of interest were also overlain on the study area base map. These six maps are dated 1908 through 1972 and are provided as Figures 2 through 7.

City-wide Potential Brownfields

The inventory identified numerous potential Brownfields in the initial Orchard BOA search radii which was larger than the area shown on Figure 1. The majority of these potential Brownfields were identified via listings in the FirstSearch™ report. In several cases properties were listed on multiple databases, and, therefore, registered multiple times. The FirstSearch™ report contained 13 listings for properties that currently generate or have generated hazardous wastes (RCRA GEN), 13 listings for properties that are known or suspected NYSDEC hazardous waste sites (State sites), 4 listings for properties that are/were subject to corrective actions involving hazardous wastes (RCRACOR), and 2 listings for hazardous waste treatment, storage, and disposal facilities (RCRA TSD). In addition, 36 listings for properties reported as having leaking underground storage tanks (LUSTs) and 56 listings for properties reported as having registered underground storage tanks (USTs) or aboveground storage tanks (ASTs). Three properties were identified as CERCLIS sites; however, only one (the Glen Cove Gas Plant) was within the study boundary. CERCLIS sites are potential hazardous waste sites that the U.S. EPA is investigating under the Comprehensive Response, Compensation and Liability Information Act (CERCLA).

Additional possible Brownfields identified but which were not listed in the state and federal databases reviewed included:

- 44 Sea Cliff Avenue – Auto Repair and Detailing;
- Scalici Kitchen and Bath – 13 Hazel Street;
- Laundry – 16 Grove Street; and
- Shines Auto Detailing – 85 Hazel Street.

These appear at the bottom of Table 1 which is a summary of the potential Brownfield properties identified.

The Orchard Proposed Redevelopment Area

A total of 27 potential Brownfields were identified in the The Orchard BOA; 21 of these were identified based on FirstSearch™ information, and 6 were identified by municipal input, and/or were identified during VHB's other research activities in the area. A summary of these potential Brownfields is provided in the following table along with current tenant information obtained via research or windshield surveys.

**Environmental Database Sites
The Orchards Brownfield Redevelopment Area**

| NUMBER | ON MAP | FIRST SEARCH MAP ID | OWNER/RESPONSIBLE PARTY | ADDRESS | SANBORN INFO | DATABASE | USE/TENANT | STATUS | COMMENTS |
|--------|----------|---------------------|---|---|--|--|--|----------------------------|---|
| 1 | Yes | 11 | Candemore Realty Co | 10 CEDAR SWAMP RD | Standard Oil Co. (1908) | RCRAGEN | Retail Plaza | | Tanks associated with Standard Oil. |
| 2 | Yes | 34 | Minicozzi, Francis | 33-35 GROVE ST (34) | Auto (1915) | | Electrical, Plumbing & Heat | CLOSED | DEC website address is 34. Unknown spill to soil. Closed 12/25/08. Abuts MGP. |
| 3 | Yes | 16/10/18 | Rallye Leasing Inc. | 34 CEDAR SWAMP RD | | SPILLS | Lexus Parking | | Maps as Parking Lot for Rallye. |
| | Yes | 14 | Troffa VF | 15 HAZEL ST | | UST | 15 Hazel St | | Linked to 34 Cedar Swamp. FS report notes that the house was knocked down to make parking for Lexus dealer and there was a UST removed so oil release occurred. Related to 7 Hazel Street too. |
| | Yes | 15 | | 7 HAZEL STREET | Standard Oil Co (1915, 1925) | UST | | | See above. Note says cleaned up to standards. |
| | Yes | 16/10/18 | Rallye Leasing Inc. | 20 Cedar Swamp Road and GROVE ST | | RCRAGEN, UST, LUST | Lexus Dealer | | |
| | Yes | 10/16/2018 | Rallye Leasing Inc. | 20 Cedar Swamp Rd | Rallye Lex Rally Motors Lexus Car Dealer Historic Fire | UST GEN, SPILLS, LUST UST | | | Sanborn mapping shows the 20-34 Cedar Swamp Road block occupied by a variety of Auto Sales and Services businesses, in addition to a portion of Standard Oil. Oil and gasoline tanks noted on various portions of the properties. Slaughter house at 6 Grove which is part of current day Rallye Motors. |
| Yes | 18/10/16 | | 12 Grove Street | Holzcamp Residence | | SPILLS, LUST, | | | Previously part of historic auto associated with Rallye. |
| 4 | Yes | 5 | Luyster Motors, Inc | 50 CEDAR SWAMP RD (ADDRESS WRONG IS 70 CEDAR SWAMP RD) | Not on Sanborns | UST, RCRAGEN, ERNS, SPILLS | Land Rover Dealership | ACTIVE | Spill Record - Asbestos and Motor Oil Release. 3/16/11. Cause noted as poor housekeeping. Based on anonymous call to DEC. Unresolved Oil and transmission fluid in tanks. CESQG for cleaning solvents and petroleum products. |
| 5 | Yes | 2 | Glen Cove Gas Plant | ROUND SWAMP RD. Does not exist. Address is Grove and Stanco Streets | Nassau Gas Construction Co (1908) Sea Cliff & Glen Cove Gas Co (1915, 1925, 1931) Long Island Lighting Co (1947) | STATE, CERCLIS | Electrical Substation Former MGP | ACTIVE (DEC #130089) | First phase remediation done August 2011. Soil excavation in source areas. Contaminants are Coal Tar, SVOC/PAHs, and metals. Also BTEX in soil. GW impacted as well. Highly permeable sand and gravel media. Groundwater flow direction to the west/northwest. Sanborn maps show gas holders, purifier, retort house, oil tanks and other gas production support structures. |
| 6 | Yes | 22 | Anzalone Michael | 44 GROVE ST | | UST/SPILLS | 44 Grove Street | CLOSED | Closed per DEC website 2/14/07. Leave open/adjacent to MGP. |
| 7 | No | 23 | | 20 GROVE ST | Residence | SPILLS | | | Closed per DEC website 12/23/94. 1 gallon #2 to soil. Deminimus? |
| 8 | Yes | 3 | Photo Circuits | 31 SEA CLIFF AVE | Slater Electrical Mfg, Co, (1972) | RCRAGEN, COR, TSD, STATE, CERCLIS, UST, LUST | Photo Circuits | Active (DEC #130009) | CVOCs (111 and PCE) in soil and groundwater. Deemed significant and impacting soil source aquifer. Disposal on site from 1954 to present. Daughter compounds as well. "Site represents significant environmental threat due to the levels of VOC contamination in groundwater." Threat from soil contact limited due to restricted access. Mfg printed circuit boards. SVE installed 4/2000. Hydraulic restraint system along Sea Cliff 1/02 to prevent off-Site migration. 12/06 FS. ROD 3/08. |
| 9 | Yes | 9 | Photo Circuits | 45 SEA CLIFF AVE | A-1 Recycling Keyco Mosier Freight Pass & Seymour Slater Electric Planet Waste Mgt | STATE, SWL, LUST, UST, SPILLS | Pass & Seymour | Active (DEC #130053A) | PCE degreasing and storage tanks. Past disposal on Site. SVE installed at the site. Indoor air sampling at nearest downgradient non-industrial properties show threat to indoor air from contaminated groundwater. PA 1994; SI 1997; RI/IRM 1997; Pilot Test 1999; AS/SVE 2000. 2001 groundwater data showed unacceptable levels. Modified SVE 2002-2005. Feb 2007 still operating SVE. |
| 10 | Yes | 8 | Pall Corporation | 30 SEA CLIFF AVE | Knickerbocker Ice Co (1931) F. K. Hoffmann Co, Inc. (1947) | STATE, UST, RCRAGEN, OTHER | Photo Circuits | Active (DEC #130053B) | Site boundary includes both properties. Pall is at 30 and August is at 36. Historically tennis court and Glen Cove Head Start Child Care. Currently vacant. Well field also north of site. Same well field closed due to sites noted above (Carney St). PCE, TCE, Freon and daughters in soil and groundwater. Concentrations higher than upgradient sources. GW flow to the N/NW. SVE installed but running errors due to water infiltration. 2001 FS for ISCO pilot; 2002 potassium permanganate injections; 2004 ROD for ISCO on surface and shallow contamination; 2005 2nd pilot using Fenton's Reagent through injection wells. 2006 report; 2008 DEC retains consultant to design remedy; 2010 predesign site investigations begin. Vapor intrusion is a concern. GW is not being used for potable and soil is covered with pavement |
| 11 | Yes | 8, 13 | August Thompsen Corp AKA Pall Corporation | 30-36 SEA CLIFF AVE | Glen Components Corp (1972) | UST, GEN, INST, STATE | Tennis Courts Glen Cove Head Start Child Care | | |
| 12 | Yes | 29 | MAC Properties, Inc | 10 SEA CLIFF AVE | | UST/LUST | Maccarone Plumbing & Heat Harbor Fuel Co. | Active (MAC) Inactive (HF) | Harbor Fuel - Waste oil UST and Deisel Fuel UST. Tank test failure resulted in LUST designation. First Search notes indicate "clean up" met the appropriate standards. Maccarone - only notes an unregistered, active UST at the Site. |
| 13 | Yes | 12 | ?? | 59 Sea Cliff | Sea Cliff Coal & Lumber Co., (1931, 1947, 1972) | UST RCRAGEN ERNS | Moretto Boat Shop T & D Towing O & D Auto Repair | Active | Sanborns for '72, '47, and '31 show Sea Cliff Coal and Lumber there. Gasoline tank and coal storage. First Search identified 3 occupants of the Site. Moretto - UST (unidentified); T & D Towing (RCRAGEN) solvents; and O & D Auto Repair (ERNS) for complaint about spilling antifreeze and oil on ground. |
| 14 | Yes | 32 | 55 Sea Cliff Ave Inc | 55 SEA CLIFF AVE | Iweezerman (FS) Zoomar Corp. (1972) | OTHER (FED BROWNFIELD) | Mallcom | | No info on First Search other than Federal Brownfield. Sanborn says Zoomar manufactured optical equipment. |
| 15 | Yes | 28 | Carney Realty Corporation | 100 CARNEY ST | | LUST/UST | Clean Water Revival, Community Coupon, and Elite Tent and Party Rental | | First Search notes Man Products as the RP. LUST due to failed tank test. Removed in 1987 with no holes or soil contamination noted. Case closed. |
| 16 | Yes | 25 | 200 Carney Street Inc. | 200 CARNEY ST | | SPILLS | Bowling Alley, Batting Cages & Master Q Billiards | | First Search notes transformer oil spill due to traffic accident. Vehicle hit pad mounted transformer. Release contained to concrete. NFA. |
| 17 | Yes | 31 | TM Bier & Assoc Inc. | 79 HAZEL AVE (corn Hazel and Carney) | | OTHER | TMBA Energy (HVAC) | ACTIVE | Other = Fed Brownfield. FS Notes that a Phase I Assessment recommended a Phase II to identify potential contamination at the Site. |
| 18 | No | 17 | | 2nd St & Cedar Swamp | Glenn Street Yard | SPILLS | | | Leaking fuel cap from a rail car. Cleaned up release and closed. |
| 19 | Yes | 39 | | 297 GLEN ST | | SPILLS | Train Station? | | Citizen Complaint - Resolved |
| 20 | Yes | 68 | | 225 GLEN ST | | LUST | Train Station? | | Out of Bounds. Tank test failed. Manway repaired and tank past next test. NFA. |
| 21 | Yes | NA | City of Glen Cove | GLEN ST | | | Train Station | | |
| 22 | No | 24 | Unknown Landlord | 11 CAPOBIANCO ST | | | | | 2 gallons #2 oil released to basement floor. NFA |
| 23 | No | NA | | 34 CARNEY ST | | | Glen Cove Iron Works | | Not on FirstSearch |
| 24 | No | NA | 44 Sea Cliff Avenue LLC | 44 SEA CLIFF AVE | Auto Sales & Service (1972) | | Auto Repair Detailing | | Not on FirstSearch |
| 25 | No | NA | Scalici Salvatore & RS | 13 HAZEL ST | | | Scalici Kitchen & Bath | | Not on FirstSearch |
| 26 | No | NA | Gulmo et al Joseph | 16 GROVE ST | | | Laundry Mat | | Not on FirstSearch |
| 27 | No | NA | 85 Hazel St Corp | HAZEL ST | | | Shines Auto Detailing and TWE (HVAL) and Service Pro | | Not on FirstSearch |

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Summary

Figure 1 shows potential redevelopment areas outlined in Blue. VHB conducted more in depth review of the currently available information as it relates to these areas in particular. For ease of reference, there are six localized areas targeted for consideration defined and referenced as follows:

- Glen Cove Gas Plant/Glen Street Train Station Area;
- 200 Carney Street Vicinity;
- Head Start;
- Sea Cliff Avenue Potential Big Box Reuse;
- Sea Cliff Avenue Potential Active Recreation Uses; and
- Sea Cliff Avenue Miscellaneous.

Each of the unique aspects of these locations are discussed briefly below.

GLEN COVE GAS PLANT/TRAIN STATION AREA

This area is located in the northern most section of The Orchard BOA. The encircling area under consideration encounters portions of the following Brownfield properties identified during this task:

- Glen Cove Gas Plant – Grove/Stanco Street;
- Rallye Lease Inc. – Includes Properties at:
 - 20 through 34 Cedar Swamp Road;
 - 7, 13 and 15 Hazel Street;
 - 12, 16 and 20 Grove Street.
- Candemore Realty Co – 10 Cedar Swamp Road; and
- The Train Station – Includes/Potentially Includes Properties at:
 - 297 Glen Street;
 - 225 Glen Street; and
 - Glen Street/City of Glen Cove (not otherwise identified).

Sanborn mapping dating between 1908 and 1972 shows the 20-34 Cedar Swamp Road block occupied by a variety of Auto Sales and Services businesses, in addition to a portion of Standard Oil. Oil and gasoline tanks are noted on various portions of the properties. A slaughter house is also identified at a property located at 6 Grove Street which appears to be part of the current Rallye Motors property.

FirstSearch™ information notes that the houses at 7 and 15 Hazel Streets were knocked down to make parking for the Lexus dealer. During the demolition, a UST not previously identified as damaged and released to the ground surface. Notes indicate that the oil was remediation to regulatory standards; however, residual petroleum at these properties is a possibility.

The Nassau Gas Construction Company appears on the 1908 Sanborn Map. The 1915 through 1931 Sanborn Maps identify the property as the Sea Cliff & Glen Cove Gas Company. The 1947 Sanborn shows it as Long Island Lighting Company. Throughout these years, the property is showing increasing in development to include multiple gas holders and oil tanks, in addition to purifiers, a retort house, and other structures supporting the production of gas. By 1972, the aboveground components were reportedly removed; however, subsurface contamination in the form of coal tar, semi-volatile organic compounds (SVOCs)/polycyclic aromatic hydrocarbons (PAHs), heavy metals, and volatile organic compounds (VOCs) predominantly benzene, toluene, ethyl benzene and xylene (BTEX).

Information summaries available on the NYSDEC website and in the FirstSearch™ report indicate that the first phase remediation was done August 2011. This involved soil excavation in source areas. Groundwater and soil impacts are present at the property. The direction of groundwater flow is reported to be to the west/northwest. The NYSDEC summary indicates that groundwater depth ranges between 8 and 22 feet below ground surface (fbgs). Soil contamination and residual contaminants in piping and/or other subsurface structures represents a risk during demolition or subsurface excavation. Vapor intrusion into structures is not reported as being a concern.

This area is characterized by the historical presence of the Standard Oil Company, the MGP Site, and numerous automobile service and repair businesses. Historical maps show the presence of oil and gasoline tanks at various properties in the area. On line, and First Search summary information indicates that some of the properties have no further action (NFA) recommended, however, the potential exists for petroleum related contamination to exist in this area.

200 CARNEY STREET VICINITY

This area is centrally located in the The Orchard BOA. The encircling area under consideration, and immediately abutting, encounters portions of the following Brownfield properties identified during this task:

- 200 Carney Street – 200 Carney Street, Inc.;
- Carney Realty - 100 Carney Street;
- Glen Cove Iron Works – 34 Carney Street (not on FirstSearch™ Database).

200 Carney Street is recorded as a Spill Site. The spill is recorded as resulting from a traffic accident involving an electrical transformer. According to information in the FirstSearch™ Report and the NYSDEC on-line spill information, the release was contained to concrete and No Further Action (NFA) was required.

100 Carney Street abuts 200 Carney Street to the south. 100 Carney Street is identified as a LUST Site. FirstSearch™ information notes that Man Products is the Responsible Party (RP) associated with a LUST identified through a failed tightness test. The tank was reported as removed in 1987 with no holes or soil contamination reported. The case is listed as “closed.”

Glen Cove Iron Works was identified based on local research. Internet searches indicate the company manufactures hardware and is located at 34 Carney Street. The company/site did not appear on FirstSearch™ or on NYSDEC’s website.

The 1915, 1925 and 1931 Sanborn Maps show an un-named junk yard located at the corner of Stanco and Willow Streets. This abuts the 200 Carney Street property to the north.

Environmental research revealed that the former bowling alley area has had an industrial and commercial history. Available information indicates that a transformer spill at the former bowling alley site required NFA and a LUST Site abutting the former bowling alley has been closed. Sanborn Map reviews identified a junk yard abutting the former bowling alley Site to the north which operated from approximately 1915 through 1931. The potential exists for contamination to exist in the vicinity of the former bowling alley Site due to the historical junk yard and LUST site noted as abutting the property, however, NSYDEC indicates that the release on the former bowling alley Site, specifically, required NFA.

HEAD START

Head Start is located northwest of Pall Corp (30 Sea Cliff Avenue), and north of historic automotive service operations located at 44 and 60 Sea Cliff Avenue. Sanborn Mapping provided by FirstSearch™ did not include this area. Available environmental information suggests that groundwater flow direction is to the northwest in this area. This puts the Head Start area downgradient of the groundwater contamination Sites associated with Pall Corporation, PhotoCircuits, and Pass & Seymour located along Sea View Avenue (see discussions below).

While no properties were identified for this area by FirstSearch™ and the Sanborn Maps did not include coverage of this area, the upgradient groundwater contamination associated with Pall Corporation, PhotoCircuits, and Pass & Seymour may represent an environmental concern to the site.

SEA CLIFF AVENUE - POTENTIAL FOR ACTIVE RECREATION/COVERED FACILITIES

This area is generally centrally located in the The Orchard BOA (refer to Figure 1). The encircling area under consideration includes the Brownfield Site referred to as Pall Corp, located at 30 – 36 Sea Cliff Avenue. Pall Corporation is an Active State NYSDEC Site with the file number 130053B. According to information provided in the FirstSearch Report and available on-line, the Site has also been associated with the following tenants and/or owners:

- August Thompsen Corp;

- Knickerbocker Ice Co;
- F.R. Hormann Co, Inc;
- Pall Corp Micro Metallic Division;
- Glen Components Corp; and
- PhotoCircuits.

The Pall Corporation State Site boundary appears to include both the properties 30 and 36 Sea Cliff Avenue. Historically tennis courts and the Glen Cove Head Start Child Care also existed on the Site. The Site is currently vacant. File information indicates that a public well field north of the site in the vicinity of Carney Street was closed due to contamination from this Site as well as other sites located along Sea Cliff Avenue and discussed in the next section heading. Chlorinated volatile organic compounds (CVOCs) including tetrachloroethylene (PCE), trichloroethylene (TCE), Freon and their degradation products (i.e. daughter compounds) are reported as being present in soil and groundwater at the Site. While comingled with the groundwater contamination from upgradient sources, concentrations at this Site are also reported as being at higher concentrations than upgradient sources. Groundwater flow direction is reported as being to the north/northwest. A soil vapor extraction (SVE) system was installed to address contaminated vapors at the Site; however, it is reported as not operating as designed due to water infiltration to the system. In 2001 a Feasibility Study (FS) for in-situ chemical oxidation (ISCO) pilot test was filed with NYSDEC. In 2002 potassium permanganate injections to the subsurface were conducted. In 2004 a Record of Decision (ROD) approving the use of ISCO on surface and shallow contamination was issued. In 2005 a second pilot test was conducted at the Site using Fenton's Reagent administered through injection wells. The results were submitted to NYSDEC in 2006. In 2008 NYSDEC retained a consultant to design a remedy for the Site. In 2010 predesign site investigations were initiated. Report information indicates that vapor intrusion into buildings is a concern for the Site, and that immediate risks have been minimized since groundwater is not being used for potable purposes and impacted soil is covered with pavement.

The historical use of this property by various industrial tenants has resulted in contamination of surface and subsurface soil, and groundwater. Though several contaminants are present at the Site, the contaminants driving remedial actions appear to be related to CVOCs. The presence of CVOCs in soil and groundwater at this, and other upgradient sites, has resulted in a concern for contact with on-Site contaminated soils and a concern for contaminated vapor intrusion into on-Site buildings. Contaminated groundwater migration has reportedly caused/contributed to the closure of a downgradient well field on Carney Street. Information pertaining to the Site on the NYSDEC website indicates that the potential for exposure to soil vapor intrusion into structures on or near the Site will be evaluated and addressed as appropriate. The Site is listed as Active.

SEA CLIFF AVENUE - POTENTIAL BIG BOX REUSE/MISCELLANEOUS

This area is generally located in the southern portion of The Orchard BOA (refer to Figure 1). The encircling area under consideration includes the following Brownfield Sites and properties of concern:

- PhotoCircuits (Active State NYSDEC File #130009);
- A-1 Recycling;
- Keyco Moster Freight;
- Pass & Seymour (Active State NYSDEC File #130053A);
- Slater Electric;
- Mason Supply Sun Casting, Co;
- Planet Waste Management;
- Tweezerman/Zoomar;
- Sea Cliff Coal & Lumber;
- Moretto Boat Shop;
- T & D Towing;
- O & D Auto Repair; and
- Various Automotive Service Operations.

The automotive businesses located between 40 and 60 Sea Cliff Avenue were not identified on the FirstSearch Report. These are located in the “miscellaneous” use area associated with Sea Cliff Avenue and are located on the north side of Sea Cliff Avenue, due west of Pall Corporation discussed above.

Primary properties of concern identified on the south side of Sea Cliff Avenue, and identified by FirstSearch include PhotoCircuits, Pass & Seymour, Tweezerman, and Sea Cliff Coal & Lumber. These properties encompass essentially the entire southern portion of The Orchard BOA. PhotoCircuits and Pass & Seymour are both active State contamination sites.

PhotoCircuits is reported to have manufactured printed circuit boards. Available report information for PhotoCircuits indicate CVOC contamination in soil and groundwater at the Site. Primary CVOCs include PCE and 1,1,1-trichloroethane (111-TCA), in addition to their degradation products. Contamination was “deemed significant and impacting a sole source aquifer.” Reports also indicated that the threat from contact with impacted soil was mitigated due to “restricted site access.” Waste disposal is reported to have occurred on-Site from 1954 through the present. An SVE system was installed at the Site in April of 2000, and a hydraulic containment system to prevent further off-Site migration of contaminated groundwater was installed in 2002. A FS was completed for the Site in 2006, and a ROD was issued in 2008. The Site is Active.

Reports for Pass & Seymour describe similar contamination conditions. PCE is reported to have been stored in bulk tanks at the Site and was used for degreasing. A history of on-Site disposal was also reported for Pass & Seymour. Indoor air sampling was reportedly conducted at the nearest downgradient, non-industrial property and showed a threat to indoor air from contaminated groundwater. A Preliminary Assessment (PA) was completed in 1994; a Site

Investigation (SI) was completed in 1997; Pilot Testing was conducted in 1999; an Air Sparging/SVE system was installed in 2000. In 2001 the results of groundwater sampling and analysis are reported as having shown “unacceptable” levels of contaminants. The SVE system was modified between 2002 and 2005. As of 2007 the SVE system was still reported as operating.

Tweezerman and Zoomar were located at 55 Sea Cliff Avenue. FirstSearch information for this address indicates only that it is a Federal Brownfield Site. Sanborn Maps indicate that Zoomar was a manufacturer of optical equipment. No other information was available.

Sea Cliff Coal & Lumber was shown at 59 Sea Cliff Avenue on the 1931, 1947, and 1972 Sanborn Maps. FirstSearch did not specifically identify Sea Cliff Coal & Lumber, but did identify Moretto Boat Shop (UST); T & D Towing (RCRAGEN); and O & D Auto Repair (ERNS) at 59 Sea Cliff Avenue. The Sanborn Maps showed gasoline tanks and coal storage associated with the Coal & Lumber yard. FirstSearch indicated that T & D Towing generated waste solvents, and O & D Auto was reported for spilling antifreeze and oil on the ground. No further details concerning these Sites were identified through this preliminary work.

The historical use of the properties along Sea Cliff Avenue in the Study Area has included various industrial and commercial entities. These uses have resulted in contamination of surface and subsurface soil, and groundwater. The most significant contamination currently investigated and reported on involves the PhotoCircuits and Pass & Seymour properties. Investigations for other properties along Sea Cliff Avenue were not identified. Though several contaminants are present at the PhotoCircuit and Pass & Seymour Sites, the contaminants driving remedial actions appear to be related to CVOCs. The presence of CVOCs in soil and groundwater at these sites has resulted in a concern for contact with on-Site contaminated soils and a concern for contaminated vapor intrusion into on-Site buildings. Contaminated groundwater migration has reportedly caused/contributed to the closure of a downgradient well field on Carney Street. Remediation scenarios are being evaluated and the Sites are considered Active.

4

Limitations

The properties identified in this inventory are only considered potential Brownfields based on the premise of “known or suspected contamination” as defined herein and either their listing on a federal, state, or municipal environmental database or the fact that they are abandoned/vacant commercial or industrial properties.

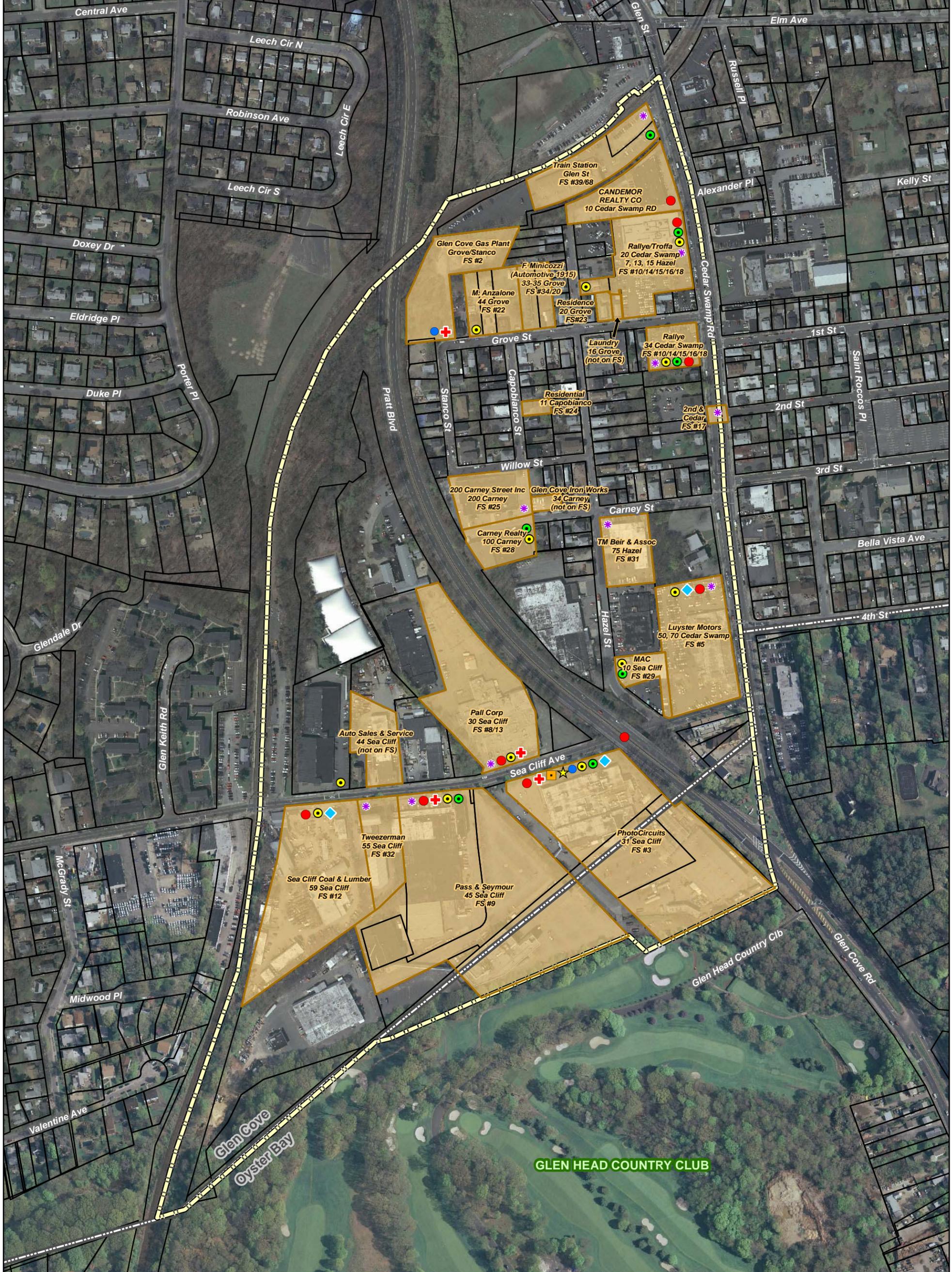
During the conduct of this inventory, VHB relied on information obtained sources as cited in this document. No attempts were made to confirm the accuracy of the information obtained, and comprehensive reviews of reports were not conducted. VHB did not review files at NYSDEC. Limited information was available from the municipality with regard to vacant/abandoned buildings within the City, properties with environmental issues, or properties with tax liens. In some cases, there was a discrepancy between addresses listed in the FirstSearch™ Report, the assessor’s parcel information provided, and/or the Sanborn Maps for this project. In these instances, VHB made attempts to correctly identify the properties based on other attributes such as owner, occupant, and information garnered from the municipality or through on-line research. However, there may be discrepancies associated with some locations.

The FirstSearch™ environmental database report utilized as the basis for the inventory was completed on September 14, 2011 and conducted under the Notice of Disclaimer/Waiver of Liability included in the summary report.

The current environmental condition of potential Brownfields contained in this inventory is unknown. Additional file review and/or investigation is needed for each property listed in the GIS database to determine whether an environmental condition actually exists.

Due to inherent limitations of available environmental databases, detailed municipal information, and time and budget stipulations of the contract, other potential Brownfields may exist in the study area that were not specifically identified by the investigative tasks conducted as part of this inventory.

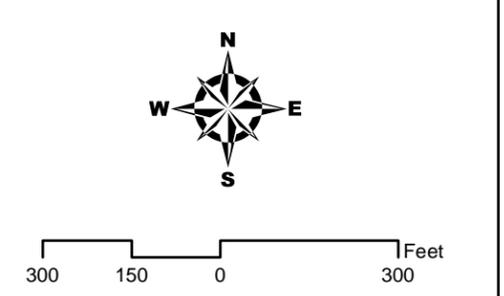
Figures



| Legend | |
|----------------------|---|
| | Brownfield Opportunity Area (BOA) |
| | Potential Brownfield Inventory Property |
| | Approximate Assessor Parcel Boundary |
| | Municipal Boundary |
| FirstSearch Database | |
| | CERCLIS |
| | ERNS |
| | LUST |
| | UST |
| | STATE |
| | RCRACOR |
| | RCRAGEN |
| | RCRATSD |
| | OTHER |

The Orchard Brownfields Opportunity Area Preliminary Potential Brownfield Inventory Map

Based on Environmental FirstSearch Databases

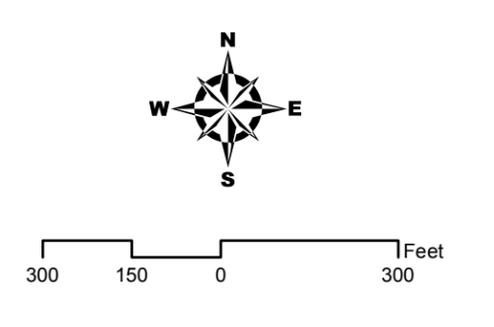


Base Map Source: 2007 Glen Cove Orthophotography Imagery



- Legend**
- Brownfield Opportunity Area (BOA)
 - Properties of Concern (1908)
 - City Owned Parcels
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - Open Water

***The Orchard
Brownfields Opportunity Area
Preliminary
Potential Brownfield Inventory Map
Based on 1908 Sanborn Fire Insurance Maps***

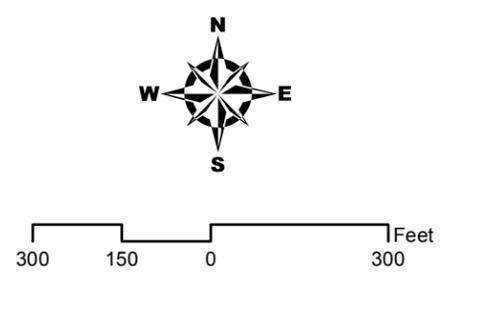


Base Map Source: 2007 Glen Cove Orthophotography Imagery



- Legend**
- Brownfield Opportunity Area (BOA)
 - Properties of Concern (1915)
 - City Owned Parcels
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - Open Water

***The Orchard
Brownfields Opportunity Area
Preliminary
Potential Brownfield Inventory Map
Based on 1915 Sanborn Fire Insurance Maps***

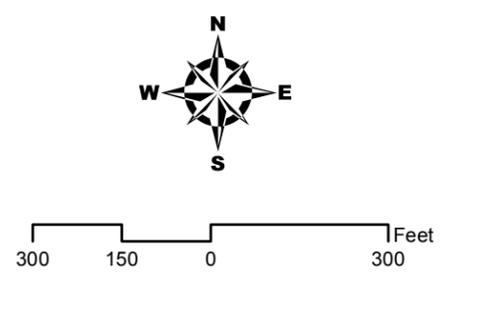


Base Map Source: 2007 Glen Cove Orthophotography Imagery



- Legend**
- Brownfield Opportunity Area (BOA)
 - Properties of Concern (1925)
 - City Owned Parcels
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - Open Water

**The Orchard
Brownfields Opportunity Area
Preliminary
Potential Brownfield Inventory Map
Based on 1925 Sanborn Fire Insurance Maps**



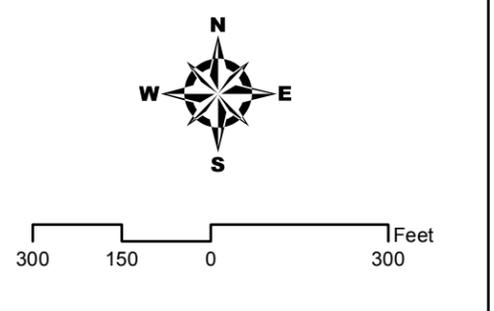
Base Map Source: 2007 Glen Cove Orthophotography Imagery



- Legend**
- Brownfield Opportunity Area (BOA)
 - Properties of Concern (1931)
 - City Owned Parcels
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - Open Water

Base Map Source: 2007 Glen Cove Orthophotography Imagery

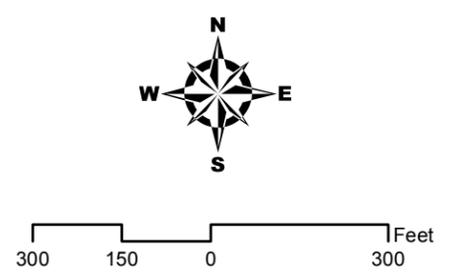
**The Orchard
Brownfields Opportunity Area
Preliminary
Potential Brownfield Inventory Map
Based on 1931 Sanborn Fire Insurance Maps**





- Legend**
- Brownfield Opportunity Area (BOA)
 - Properties of Concern (1947)
 - City Owned Parcels
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - Open Water

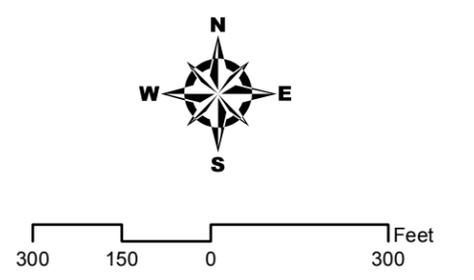
***The Orchard
Brownfields Opportunity Area
Preliminary
Potential Brownfield Inventory Map
Based on 1947 Sanborn Fire Insurance Maps***





- Legend**
- Brownfield Opportunity Area (BOA)
 - Properties of Concern (1972)
 - City Owned Parcels
 - Approximate Assessor Parcel Boundary
 - Municipal Boundary
 - Open Water
- Base Map Source: 2007 Glen Cove Orthophotography Imagery

**The Orchard
Brownfields Opportunity Area
Preliminary
Potential Brownfield Inventory Map
Based on 1972 Sanborn Fire Insurance Maps**



Appendix A

FirstSearch™ Environmental Database Report

FirstSearch Technology Corporation

Environmental FirstSearch™ Report

Target Property:

GLEN COVE NY 11542

Job Number: 28538.00

PREPARED FOR:

Vanasse Hangen Brustlin, Inc.

54 Tuttle Place

Middletown, CT 06457-1847

09-14-11



Tel: (781) 551-0470

Fax: (781) 551-0471

Environmental FirstSearch Search Summary Report

Target Site:

GLEN COVE NY 11542

FirstSearch Summary

| Database | Sel | Updated | Radius | Site | 1/8 | 1/4 | 1/2 | 1/2> | ZIP | TOTALS |
|--------------------------|-----|----------|--------|------|-----|-----|-----|------|-----|--------|
| NPL | Y | 08-15-11 | 1.00 | 1 | 0 | 0 | 0 | 1 | 0 | 2 |
| NPL Delisted | Y | 08-15-11 | 0.50 | 0 | 0 | 0 | 0 | - | 0 | 0 |
| CERCLIS | Y | 07-26-11 | 0.50 | 1 | 0 | 0 | 0 | - | 2 | 3 |
| NFRAP | Y | 07-26-11 | 0.50 | 1 | 0 | 0 | 0 | - | 0 | 1 |
| RCRA COR ACT | Y | 07-11-11 | 1.00 | 1 | 0 | 0 | 0 | 2 | 1 | 4 |
| RCRA TSD | Y | 07-11-11 | 0.50 | 1 | 0 | 0 | 0 | - | 1 | 2 |
| RCRA GEN | Y | 07-11-11 | 0.25 | 10 | 1 | 1 | - | - | 1 | 13 |
| Federal Brownfield | Y | 07-05-11 | 0.50 | 2 | 0 | 0 | 1 | - | 0 | 3 |
| ERNS | Y | 07-18-11 | 0.12 | 2 | 1 | - | - | - | 3 | 6 |
| Tribal Lands | Y | 12-01-05 | 1.00 | 0 | 0 | 0 | 0 | 0 | 2 | 2 |
| State/Tribal Sites | Y | 07-26-11 | 1.00 | 4 | 0 | 0 | 0 | 6 | 3 | 13 |
| State Spills 90 | Y | 05-01-11 | 0.12 | 22 | 16 | - | - | - | 44 | 82 |
| State/Tribal SWL | Y | 02-01-11 | 0.50 | 2 | 0 | 0 | 1 | - | 0 | 3 |
| State/Tribal LUST | Y | 07-26-11 | 0.50 | 7 | 4 | 6 | 12 | - | 7 | 36 |
| State/Tribal UST/AST | Y | 07-26-11 | 0.25 | 24 | 10 | 7 | - | - | 15 | 56 |
| State/Tribal EC | Y | 07-26-11 | 0.50 | 0 | 0 | 0 | 0 | - | 0 | 0 |
| State/Tribal IC | Y | 07-26-11 | 0.25 | 1 | 0 | 0 | - | - | 0 | 1 |
| State/Tribal VCP | Y | 07-26-11 | 0.50 | 1 | 0 | 0 | 0 | - | 0 | 1 |
| State/Tribal Brownfields | Y | 07-26-11 | 0.50 | 0 | 0 | 0 | 0 | - | 0 | 0 |
| Federal IC/EC | Y | 08-01-11 | 0.50 | 0 | 0 | 0 | 0 | - | 0 | 0 |
| - TOTALS - | | | | 80 | 32 | 14 | 14 | 9 | 79 | 228 |

Notice of Disclaimer

Due to the limitations, constraints, inaccuracies and incompleteness of government information and computer mapping data currently available to FirstSearch Technology Corp., certain conventions have been utilized in preparing the locations of all federal, state and local agency sites residing in FirstSearch Technology Corp.'s databases. All EPA NPL and state landfill sites are depicted by a rectangle approximating their location and size. The boundaries of the rectangles represent the eastern and western most longitudes; the northern and southern most latitudes. As such, the mapped areas may exceed the actual areas and do not represent the actual boundaries of these properties. All other sites are depicted by a point representing their approximate address location and make no attempt to represent the actual areas of the associated property. Actual boundaries and locations of individual properties can be found in the files residing at the agency responsible for such information.

Waiver of Liability

Although FirstSearch Technology Corp. uses its best efforts to research the actual location of each site, FirstSearch Technology Corp. does not and can not warrant the accuracy of these sites with regard to exact location and size. All authorized users of FirstSearch Technology Corp.'s services proceeding are signifying an understanding of FirstSearch Technology Corp.'s searching and mapping conventions, and agree to waive any and all liability claims associated with search and map results showing incomplete and or inaccurate site locations.

**Environmental FirstSearch
Site Information Report**

Request Date: 09-14-11
Requestor Name: jenna/vhbct/mike
Standard: AAI

Search Type: AREA
 0.19 sq mile(s)
Job Number: 28538.00
Filtered Report

Target Site:

GLEN COVE NY 11542

Demographics

| | | |
|---|-------------------------|-----------------------|
| Sites: 228 | Non-Geocoded: 79 | Population: NA |
| Radon: OF THE 5 HOMES TESTED, THE AVG. PCI/L LEVEL WAS 1.8 | | |

Site Location

| | <u>Degrees (Decimal)</u> | <u>Degrees (Min/Sec)</u> | | <u>UTMs</u> |
|-------------------|--------------------------|--------------------------|------------------|-------------|
| Longitude: | -73.622722 | -73:37:22 | Easting: | 616092.487 |
| Latitude: | 40.853238 | 40:51:12 | Northing: | 4523166.461 |
| Elevation: | N/A | | Zone: | 18 |

Comment

Comment:

Additional Requests/Services

Adjacent ZIP Codes: 1 Mile(s)

Services:

| ZIP Code | City Name | ST | Dist/Dir | Sel |
|----------|---------------|----|----------|-----|
| 11545 | GLEN HEAD | NY | 0.00 -- | Y |
| 11560 | LOCUST VALLEY | NY | 0.54 NE | N |
| 11579 | SEA CLIFF | NY | 0.46 NW | N |

| | Requested? | Date |
|------------------------|------------|----------|
| Fire Insurance Maps | Yes | 09-14-11 |
| Aerial Photographs | No | |
| Historical Topos | No | |
| City Directories | No | |
| Title Search/Env Liens | No | |
| Municipal Reports | No | |
| Online Topos | No | |

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|---------|--|---|----------|----------|----------|
| 1 | NPL | MATTIACE PETROCHEMICAL CO., IN NYD000512459/FINAL | GARVIES POINT ROAD GLENWOOD LANDI NY 11542 | 0.00 -- | N/A | 2 |
| 2 | CERCLIS | GLEN COVE GAS PLANT NYD986881696/NOT PROPOSED | ROUND SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 6 |
| 2 | STATE | LILCO, GLEN COVE GAS PLANT HS1016/HISTORIC-INACTIVE | GROVE ST and STANCO ST GLEN COVE NY 11542 | 0.00 -- | N/A | 8 |
| 3 | SPILLS | PHOTO CIRCUITS CORP 0004815/CLOSED | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 9 |
| 3 | SPILLS | PHOTO CIRCUITS 9302725/CLOSED | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 10 |
| 3 | RCRAGN | PHOTOCIRCUITS NYD096920483/LGN | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 11 |
| 3 | STATE | PHOTOCIRCUITS CORPORATION 130009 | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 13 |
| 3 | SPILLS | PHOTO CIRCUITS CORP 9609700/CLOSED | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 14 |
| 3 | RCRACOR | NYSDEC-REMEDICATION/PHOTOCIRCUIT NYD096920483/CA | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 16 |
| 3 | UST | PHOTOCIRCUITS CORP. CBS1-000001/UNREGULATED | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 21 |
| 3 | RCRATSD | PHOTOCIRCUITS NYD096920483/TSD | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 23 |
| 3 | NFRAP | PHOTOCIRCUITS DIV/KOLLMORGEN C NYD096920483/NFRAP-N | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 25 |
| 3 | UST | PHOTOCIRCUITS CORPORATION N-000003/HISTORIC-ACTIVE FACI | 31 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 27 |
| 4 | RCRAGN | JERICHO PUBLIC SCHOOLS NYD987007143/VGN | RT 107 and CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 36 |
| 5 | SPILLS | LANDROVER OF GLEN COVE 1012512/ACTIVE | 70 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 38 |
| 5 | UST | LAND ROVER GLEN COVE N-058153/HISTORIC-ACTIVE FACI | 70 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 40 |
| 5 | UST | LAND ROVER OF GLEN COVE N-056995/HISTORIC-ACTIVE FACI | 70 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 42 |
| 5 | UST | CONFIDENTIAL NAFM-3315/HISTORIC-NC FIRE MAR | 70 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 43 |
| 5 | ERNS | 70 CEDAR SWAMP RD NRC-970242/FIXED | 70 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 44 |
| 5 | RCRAGN | LAND ROVER GLEN COVE NYD013600135/VGN | 70 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 46 |
| 6 | RCRAGN | LONG ISLAND POWER AUTH ORCHARD NYR000066464/LGN | GROVE ST and CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 48 |

Environmental FirstSearch Sites Summary Report

Target Property:
GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|------------|---|--|----------|----------|----------|
| 7 | RCRAGN | NYSDOT BIN 1036889 NY0000348441/VGN | RTE 107 OVER SEA CLIFF GLEN COVE NY 11542 | 0.00 -- | N/A | 50 |
| 8 | UST | CONFIDENTIAL NAFM-4354/HISTORIC-NC FIRE MAR | 30 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 51 |
| 8 | RCRAGN | PALL CORPORATION NYD002054419/LGN | 30 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 53 |
| 8 | INSTCONTRO | PALL CORPORATION 130053B/HISTORIC-IC | 30 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 56 |
| 8 | UST | PALL CORPORATION N-000004/HISTORIC-ACTIVE FACI | 30 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 57 |
| 9 | UST | CONFIDENTIAL NAFM-4462/HISTORIC-NC FIRE MAR | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 58 |
| 9 | SWL | A-1 RECYCLING AND SALVAGE 1-30M42R/INACTIVE | 45 SEACLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 59 |
| 9 | LUST | A-1 RECYCLING and SALVAGE 9012049/CLOSED | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 60 |
| 9 | LUST | KEYCO MOTOR FREIGHT 8800337/CLOSED | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 61 |
| 9 | UST | A-1 RECYCLING and SALVAGE N-055569/HISTORIC- | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 62 |
| 9 | STATE | PASS AND SEYMOUR 130053A | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 64 |
| 9 | UST | SLATER ELECTRIC INC. CBS1-000038/UNREGULATED | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 66 |
| 9 | VCP | PASS AND SEYMORE V00091/HISTORIC-VCP | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 67 |
| 9 | UST | PASS and SEYMOUR/LEGRAND N-001288 | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 68 |
| 9 | LUST | SLATER ELECTRIC INC 8707417/CLOSED | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 69 |
| 9 | UST | CONFIDENTIAL NAFM-4463/HISTORIC-NC FIRE MAR | 45B SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 70 |
| 9 | SPILLS | A-1 RECYCLING and SALVAGE 9012049/CLOSED | 45 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 71 |
| 9 | RCRAGN | PLANET WASTE MGMT INC NYD986984276/TR | 45 B SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 72 |
| 10 | UST | RALLYE LEX PBS1-000441/UNREGISTERED | 20 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 72 |
| 10 | RCRAGN | RALLYE MOTORS, INC. NYD013600523/VGN | 20 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 73 |

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|---------|---|---|----------|----------|----------|
| 10 | SPILLS | RALLY MOTORS 9515671/CLOSED | 20 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 74 |
| 10 | LUST | LEXUS CAR DEALER 8907042/CLOSED | 20 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 75 |
| 10 | UST | CONFIDENTIAL NAFM-4609/HISTORIC-NC FIRE MAR | 20 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 76 |
| 10 | UST | RALLYE LEXUS, INC. N-041132/HISTORIC-ACTIVE FACI | 20 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 77 |
| 11 | RCRAGN | S and G CLEANERS NYD982737678/SGN | 10 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 78 |
| 12 | UST | CONFIDENTIAL NAFM-5786/HISTORIC-NC FIRE MAR | 59 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 79 |
| 12 | RCRAGN | T and D TOWING CORP NYR000072298/VGN | 59 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 81 |
| 12 | UST | MORRETTO PBS1-000483/UNREGISTERED | 59 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 82 |
| 12 | ERNS | NRC-749886/FIXED | 59 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 84 |
| 13 | STATE | PALL CORPORATION 130053B | 30-36 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 87 |
| 14 | UST | CONFIDENTIAL NAFM-5473/HISTORIC-NC FIRE MAR | 15 HAZEL ST GLEN COVE NY 11542 | 0.00 -- | N/A | 88 |
| 14 | SPILLS | 15 HAZEL STREET 0202440/CLOSED | 15 HAZEL ST GLEN COVE NY 11542 | 0.00 -- | N/A | 89 |
| 15 | SPILLS | 7 HAZEL STREET 0202811/CLOSED | 7 HAZEL ST GLEN COVE NY 11542 | 0.00 -- | N/A | 91 |
| 16 | SPILLS | FORMER CHURCH 0551689/CLOSED | 34 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 92 |
| 17 | SPILLS | GLEN STREET YARD 0609810/CLOSED | 2ND ST and CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 93 |
| 17 | SPILLS | UNKNOWN 0502667/CLOSED | 2ND ST and CEDAR SWAMP RD GLEN COVE NY 11542 | 0.00 -- | N/A | 94 |
| 18 | SPILLS | RESIDENCE 0111825/CLOSED | 12 GROVE ST GLEN HEAD NY 11542 | 0.00 -- | N/A | 95 |
| 18 | SPILLS | HOLZCAMP RESIDENCE 0511448/CLOSED | 12 GROVE ST GLEN HEAD NY 11542 | 0.00 -- | N/A | 97 |
| 18 | SPILLS | HOLZKAMP RESIDENCE 9700936/CLOSED | 12 GROVE ST GLEN HEAD NY 11542 | 0.00 -- | N/A | 98 |
| 18 | LUST | HOLZKAMP RESIDENCE 9700936/CLOSED | 12 GROVE ST GLEN HEAD NY 11542 | 0.00 -- | N/A | 99 |

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|-----------|---|---|----------|----------|----------|
| 19 | SPILLS | MINICOZZI RESIDENCE 0401117/CLOSED | 20 HAZEL ST GLEN COVE NY 11542 | 0.00 -- | N/A | 100 |
| 20 | SPILLS | ORCHARD COLONY 0203420/CLOSED | 34 GROVE ST GLEN COVE NY 11542 | 0.00 -- | N/A | 102 |
| 21 | SPILLS | PHOTO CIRCUITS 9813638/CLOSED | 33 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 103 |
| 22 | SPILLS | RESIDENCE 0205313/CLOSED | 44 GROVE ST GLEN COVE NY 11542 | 0.00 -- | N/A | 104 |
| 22 | UST | CONFIDENTIAL NAFM-244/HISTORIC-NC FIRE MAR | 44 GROVE ST GLEN COVE NY 11542 | 0.00 -- | N/A | 105 |
| 23 | SPILLS | RESIDENCE 9412745/CLOSED | 20 GROVE ST GLEN COVE NY 11542 | 0.00 -- | N/A | 106 |
| 24 | SPILLS | UNK LANDLORD 9204971/CLOSED | 11 CAPOBIANCO ST GLEN COVE NY 11542 | 0.00 -- | N/A | 107 |
| 25 | SPILLS | 9714498/CLOSED | 200 CARNEY ST GLEN COVE NY 11542 | 0.00 -- | N/A | 108 |
| 26 | SPILLS | 9902653/CLOSED | GROVE ST and HAZEL ST GLEN COVE NY 11542 | 0.00 -- | N/A | 109 |
| 27 | SWL | A-1 AUTO PARTS 6-NYSW-0106-014/ACTIVE | 67 BARNES AVE UTICA (C) NY 13502 | 0.00 -- | N/A | 110 |
| 28 | LUST | MAN PRODUCTS 8702257/CLOSED | 100 CARNEY ST GLEN COVE NY 11542 | 0.00 -- | N/A | 111 |
| 28 | UST | CONFIDENTIAL NAFM-3609/HISTORIC-NC FIRE MAR | 100 CARNEY ST GLEN COVE NY 11542 | 0.00 -- | N/A | 112 |
| 29 | UST | MACCARONE PBS1-000433/UNREGISTERED | 10 SEACLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 112 |
| 29 | UST | HARBOR FUEL COMPANY N-055586/HISTORIC- | 10 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 113 |
| 29 | UST | CONFIDENTIAL NAFM-3552/HISTORIC-NC FIRE MAR | 10 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 114 |
| 29 | LUST | HARBOR FUEL 8701073/CLOSED | 10 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 115 |
| 30 | UST | CONFIDENTIAL NAFM-1037/HISTORIC-NC FIRE MAR | 60 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 116 |
| 31 | FEDBROWNF | T.M. BER and ASSOCIATES, INC. 96221/EPA BROWNFIELD | 79 HAZEL AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 118 |
| 32 | FEDBROWNF | TWEEZERMAN 69597463-1/EPA BROWNFIELD | 55 SEA CLIFF AVE GLEN COVE NY 11542 | 0.00 -- | N/A | 119 |
| 33 | RCRAGN | PORTA SYSTEMS CORP NYD002055820/SGN | 1 ALEXANDER PL GLEN COVE NY 11542 | 0.02 NE | N/A | 121 |

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|---------|---|--|----------|----------|----------|
| 34 | ERNS | 21 CEDAR SWAMP RD NRC-966882/MOBILE | 21 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 122 |
| 34 | SPILLS | VITTORIOS 1011229/CLOSED | 21 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 123 |
| 34 | SPILLS | VITTORIOS 1011232/CLOSED | 21 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 125 |
| 34 | SPILLS | VITTORIOS 1011228/CLOSED | 21 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 127 |
| 35 | SPILLS | ANGS S/S 9009792/CLOSED | 73 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 129 |
| 35 | UST | CONFIDENTIAL NAFM-2555/HISTORIC-NC FIRE MAR | 73 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 131 |
| 36 | SPILLS | COMMERCIAL PROPERTY 0750878/CLOSED | 63 SEA CLIFF AVE GLEN COVE NY 11542 | 0.02 NW | N/A | 133 |
| 37 | LUST | GLEN COVE SCHOOL DISTRICT 9207082/CLOSED | CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 134 |
| 37 | SPILLS | SOLOMAN SCHECTER SCHOOL 9810672/CLOSED | CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 135 |
| 37 | LUST | GLEN COVE SCHOOLS 8901128/CLOSED | CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 136 |
| 37 | SPILLS | GLEN COVE SCHOOL DISTRICT 9207082/CLOSED | CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 137 |
| 38 | UST | CONFIDENTIAL NAFM-4945/HISTORIC-NC FIRE MAR | 61 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.02 NE | N/A | 138 |
| 39 | SPILLS | CandJ SERVICE STATION 0025408/CLOSED | 297 GLEN COVE ST GLEN COVE NY 11542 | 0.03 NE | N/A | 139 |
| 39 | UST | CandJ SERVICE STATION, INC. PBS1-000027/UNREGULATED | 297 GLEN ST GLEN COVE NY 11542 | 0.03 NE | N/A | 141 |
| 39 | SPILLS | CandJ S/S 9203012/ACTIVE | 297 GLEN ST GLEN COVE NY 11542 | 0.03 NE | N/A | 143 |
| 39 | UST | CONFIDENTIAL NAFM-1962/HISTORIC-NC FIRE MAR | 297 GLEN ST GLEN COVE NY 11542 | 0.03 NE | N/A | 144 |
| 40 | SPILLS | VOLVO DEALERSHIP 0303627/CLOSED | 79 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.03 NE | N/A | 145 |
| 40 | UST | HASSEL AUTO WEST, INC. N-057699/HISTORIC-ACTIVE FACI | 79 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.03 NE | N/A | 146 |
| 41 | SPILLS | 9707664/CLOSED | 129 CEDAR SWAMP RD GLEN COVE NY 11545 | 0.03 NE | N/A | 147 |
| 42 | SPILLS | UNKNOWN 0551685/CLOSED | 4 2ND ST GLEN COVE NY 11542 | 0.04 NE | N/A | 148 |

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|---------|--|---|----------|----------|----------|
| 43 | SPILLS | KUCHARSKI RESIDENCE 0104869/CLOSED | 6 E LEECH CIR GLEN COVE NY 11542 | 0.05 NW | N/A | 150 |
| 44 | SPILLS | ON ROAD 1010214/CLOSED | 27 CEDAR SWAMP RD GLEN COVE NY 11542 | 0.05 NE | N/A | 151 |
| 45 | LUST | TROUSDALL VILLAGE APTS 8801971/CLOSED | SEA CLIFF AVE GLEN COVE NY 11542 | 0.05 NW | N/A | 152 |
| 45 | LUST | TROUSDELL VILLAGE 8809146/CLOSED | SEA CLIFF AVE GLEN COVE NY 11542 | 0.05 NW | N/A | 153 |
| 46 | UST | GLEN HEAD COUNTRY CLUB N-001119/HISTORIC-ACTIVE FACI | CEDAR SWAMP RD GLEN HEAD NY 11545 | 0.08 SE | N/A | 154 |
| 47 | UST | CONFIDENTIAL NAFM-2589/HISTORIC-NC FIRE MAR | 275 GLEN ST GLEN COVE NY 11542 | 0.09 NW | N/A | 155 |
| 48 | SPILLS | HOFFMAN RESIDENCE 9400635/CLOSED | 50 PORTER PL GLEN COVE NY 11542 | 0.10 NW | N/A | 156 |
| 49 | UST | GETY - NICKS AUTO REPAIR PBS1-000526/UNREGISTERED | 85 SEA CLIFF AVE GLEN COVE NY 11542 | 0.11 NW | N/A | 157 |
| 49 | UST | GETTY PBS1-000535/UNREGISTERED | 85 SEA CLIFF AVE GLEN COVE NY 11542 | 0.11 NW | N/A | 159 |
| 49 | SPILLS | GETTY 98948 0511370/CLOSED | 85 SEA CLIFF AVE GLEN COVE NY 11542 | 0.11 NW | N/A | 161 |
| 50 | UST | CONFIDENTIAL NAFM-2049/HISTORIC-NC FIRE MAR | 34 MC GRADY ST GLEN COVE NY 11542 | 0.12 NW | N/A | 162 |
| 51 | UST | NICK S AUTO REPAIR CENTRE N-055379/HISTORIC-ACTIVE FACI | SEA CLIFF AVE and MCGRADY S GLEN COVE NY 11542 | 0.13 NW | N/A | 164 |
| 52 | LUST | MASSARO BROS FUEL OIL 9414844/CLOSED | 8 MCGRADY ST GLEN COVE NY 11542 | 0.13 NW | N/A | 165 |
| 53 | LUST | SAINT PATRICKS RC CHURCH 8703053/CLOSED | 235 GLEN ST GLEN COVE NY 11542 | 0.14 NW | N/A | 166 |
| 53 | UST | ST. PATRICK S R.C.CHURCH N-035000/HISTORIC- | 235 GLEN ST GLEN COVE NY 11542 | 0.14 NW | N/A | 167 |
| 54 | LUST | BONO RESIDENCE 9913119/CLOSED | 27 1ST ST GLEN COVE NY 11542 | 0.14 NE | N/A | 168 |
| 55 | UST | GLEN COVE KELLY ST WELL N-001261/HISTORIC-ACTIVE FACI | KELLY ST GLEN COVE NY 11542 | 0.15 NE | N/A | 170 |
| 55 | LUST | GLEN COVE WATER DISTRICT 9409395/CLOSED | KELLY ST GLEN COVE NY 11542 | 0.15 NE | N/A | 171 |
| 56 | UST | CONFIDENTIAL NAFM-3738/HISTORIC-NC FIRE MAR | 220 GLEN ST GLEN COVE NY 11542 | 0.18 NW | N/A | 172 |
| 57 | UST | GLEN PEARSALL APARTMENTS N-032008/HISTORIC-ACTIVE FACI | 30 PEARSALL AVE GLEN COVE NY 11542 | 0.19 NW | N/A | 173 |

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|-----------|--|--|----------|----------|----------|
| 57 | LUST | GLEN PEARSALL CO OP 9313094/CLOSED | 30 PEARSALL AVE GLEN COVE NY 11542 | 0.19 NW | N/A | 174 |
| 58 | UST | CONFIDENTIAL NAFM-1430/HISTORIC-NC FIRE MAR | 24 CENTRAL DR OYSTER BAY NY 11545 | 0.21 SW | N/A | 175 |
| 59 | UST | ST. HYANCINTH RC CHURCH N-035014/UST | 319 CEDAR SWAMP RD GLEN HEAD NY 11545 | 0.22 SE | N/A | 175 |
| 59 | LUST | SAINT HYACINAS CHURCH 8702021/CLOSED | 319 CEDAR SWAMP RD GLEN HEAD NY 11545 | 0.22 SE | N/A | 176 |
| 60 | RCRAGN | BLUE BAY CLEANERS NYD981183106/SGN | 208 GLEN ST GLEN COVE NY 11542 | 0.25 NW | N/A | 177 |
| 61 | LUST | FRANK MCHUGH RESIDENCE 9208628/CLOSED | 133 SEA CLIFF AVE GLEN COVE NY 11542 | 0.28 NW | N/A | 178 |
| 62 | LUST | CITY GLEN COVE POLICE DPT 8600896/CLOSED | 146 GLEN ST GLEN COVE NY 11542 | 0.30 NW | N/A | 179 |
| 63 | LUST | EXXON 8800073/CLOSED | 161 GLEN ST GLEN COVE NY 11542 | 0.30 NW | N/A | 180 |
| 63 | LUST | EXXON OIL CORP 9202115/CLOSED | 161 GLEN ST GLEN COVE NY 11542 | 0.30 NW | N/A | 181 |
| 63 | LUST | EXXON S/S 9202034/CLOSED | 161 GLEN ST GLEN COVE NY 11542 | 0.30 NW | N/A | 182 |
| 64 | SWL | GLEN COVE AUTO SALVAGE 1-30J09/ACTIVE | 232 GLEN COVE AVE GLEN COVE NY 11542 | 0.40 SW | N/A | 183 |
| 65 | LUST | MARTONE REALTY 0510320/HISTORIC-CLOSED | 166 SEA CLIFF AVE GLEN COVE NY 11542 | 0.41 NW | N/A | 184 |
| 66 | LUST | STANKA RESIDENCE 9310063/CLOSED | 44 FROST POND RD GLEN COVE NY 11542 | 0.43 NE | N/A | 185 |
| 67 | LUST | GAS STATION 0712217/CLOSED | 170 SEA CLIFF AVE GLEN COVE NY 11542 | 0.46 NW | N/A | 187 |
| 68 | LUST | SAINT PATRICKS CHURCH 8705351/CLOSED | 225 GLEN ST SEA CLIFF NY 11579 | 0.47 NW | N/A | 188 |
| 69 | LUST | ROBERT PUICCIRELLO 9408737/CLOSED | 7 LITTLEWORTH LN SEA CLIFF NY 11579 | 0.48 SW | N/A | 189 |
| 70 | LUST | BROOKSTEIN RESIDENCE 0308140/CLOSED | 30 N CEDAR LN GLEN HEAD NY 11545 | 0.49 SE | N/A | 191 |
| 71 | LUST | NASSAU DOWNS OTB 9811621/CLOSED | 20 PRATT BLVD GLEN COVE NY 11542 | 0.49 NW | N/A | 193 |
| 72 | FEDBROWNF | LONG ISLAND PAINT 69597463-2/EPA BROWNFIELD | 1 CONTINENTAL HILL GLEN COVE NY 11542 | 0.50 NW | N/A | 194 |
| 73 | NPL | LI TUNGSTEN CORP. NYD986882660/FINAL | GARVIES POINT ROAD GLEN COVE NY 11542 | 0.75 NW | N/A | 196 |

***Environmental FirstSearch
Sites Summary Report***

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|---------------|----------------|--|---|-----------------|-----------------|-----------------|
| 74 | STATE | LI TUNGSTEN 130046 | 63 HERB HILL RD GLEN COVE NY 11542 | 0.83 NW | N/A | 205 |
| 75 | STATE | TRANS TECHNOLOGY 130101 | 1 ROBERT LN GLEN HEAD NY 11545 | 0.83 SW | N/A | 207 |
| 76 | STATE | POWERS CHEMCO 130028 | 26 CHARLES ST GLEN COVE NY 11542 | 0.84 NW | N/A | 209 |
| 77 | STATE | CROWN DYKMAN 130054 | 66 HERB HILL RD GLEN COVE NY 11542 | 0.86 NW | N/A | 211 |
| 78 | RCRACOR | EDMOS CORP NYD047648472/CA | 20 GARVIES POINT RD GLEN COVE NY 11542 | 0.90 NW | N/A | 214 |
| 79 | RCRACOR | FABRIC LEATHER CORP NYD008918450/CA | 40 GARVIES POINT RD GLEN COVE NY 11542 | 0.96 NW | N/A | 216 |
| 80 | STATE | FORMER FRESH and CLEAN LAUNDRY 130111 | 22 RAILROAD AVE OYSTER BAY NY 11545 | 0.96 SE | N/A | 219 |
| 81 | STATE | RONHILL CLEANERS 130071 | 71 FOREST AVE GLEN COVE NY 11542 | 0.96 NW | N/A | 221 |

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|---------|--|---|----------|----------|----------|
| | SPILLS | UNK 9012391/CLOSED | GLEN COVE CREEK GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | LILCO 9713597/CLOSED | PINE PLC and GLEN COVE RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | MANHOLE 0802005/CLOSED | GLEN COVE RD GLEN COVE NY | NON GC | N/A | N/A |
| | SPILLS | NY TECH 9206328/CLOSED | GLEN COVE AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | ON ROADWAY 0909856/CLOSED | KNOTT DR GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | ON ROADWAY 1011303/CLOSED | HENDRICK AVE and PORTA PL GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | PUMP STATION 0906833/CLOSED | LONG MEADOW LN GLEN COVE NY | NON GC | N/A | N/A |
| | SPILLS | PUMP STATION LONG MEADOW 0910009/CLOSED | LONG MEADOW LN GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | RESIDENCE 0800836/CLOSED | 13 MEADOW SPRING LN GLEN COVE NY | NON GC | N/A | N/A |
| | SPILLS | ROADWAY 1006769/CLOSED | GLEN COVE AVE and HERB HILL GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | UNK 9201019/CLOSED | GLEN COVE CREEK GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | GLEN COVE FIRE DEPT 0002390/CLOSED | GLEN COVE AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | UNK 9910981/CLOSED | FOREST AVE and GLEN COVE RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | UNKNOWN 9306883/CLOSED | GLEN COVE CREEK GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | UNKNOWN 1005655/CLOSED | GLEN COVE AVE and CHARLES S GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | UNKNOWN 1002671/CLOSED | 648 GLEN COVE AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | UNKNOWN 0901758/CLOSED | 1ST ST GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | TOM GIMBLE RESIDENCE 0807956/CLOSED | 1 MEADOW SPRINGS RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | STATE | EDMOS CORP. 130036/HISTORIC | GARVIES POINT RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-3496/HISTORIC-NC FIRE MAR | LONGMEADOW LN GLEN COVE NY 11542 | NON GC | N/A | N/A |

Environmental FirstSearch Sites Summary Report

Target Property:
GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|---------|--|---|----------|----------|----------|
| | CERCLIS | LI TUNGSTEN CORP. NYD986882660/FINAL | GARVIES POINT RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | CERCLIS | MATTIACE PETROCHEMICAL CO., IN NYD000512459/FINAL | GARVIES POINT RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | RCRATSD | MATTIACE PETRO CHEM/USEPA II NYD013600259/TSD | GARVIES POINT RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | RCRACOR | MATTIACE PETRO CHEM/USEPA II NYD013600259/CA | GARVIES POINT RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | RCRAGN | ROUTE 107/HENDRICK AVENUE BIN NYD986985620/LGN | ROUTE 107 and HENDRICK AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | ERNS | M/V REGINA MARIS 592878/UNKNOWN | GLEN COVE HARBOR GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | IN EASEMENT 1001021/CLOSED | GLEN COVE RD and CEDAR SWAM GLEN COVE NY | NON GC | N/A | N/A |
| | ERNS | 491482/UNKNOWN | 3 MI EAST OF GLENN COVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | IN GLEN COVE HARBOR 9806750/CLOSED | GLEN COVE HARBOR GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | STATE | K - GLEN COVE (C) MGP 130089 | STANCO ST GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | STATE | MATTIACE PETRO CHEMICALS 130017 | GARVIES POINT RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | APARTMENT 0808377/CLOSED | 228 GLEN COVE APT AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | EASEMENT 0907674/CLOSED | PRATT BLVD GLEN COVE NY | NON GC | N/A | N/A |
| | SPILLS | GAS STATION 9310059/CLOSED | GLEN COVE AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | GLEN COVE DAY CARE CENTER 9701060/CLOSED | CARNEY ST GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | UNKNOWN 0650957/CLOSED | GLEN COVE AERTERIAL HWY and GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | HARTMAN RESIDENCE 0806876/CLOSED | 82 ELM AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | ERNS | 338107/UNKNOWN | GLEN COVE CREEK GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | LUST | CITY OF GLEN COVE 9302021/CLOSED | DANAS HWY GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-1839/HISTORIC-NC FIRE MAR | CEDAR SWAMP RD OLD BROOKVILLE NY 11545 | NON GC | N/A | N/A |

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|------------|--|---|----------|----------|----------|
| | UST | CONFIDENTIAL NAFM-1805/HISTORIC-NC FIRE MAR | GLEN HEAD RD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-3584/HISTORIC-NC FIRE MAR | GLENBY LN BROOKVILLE NY 11545 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-3049/HISTORIC-NC FIRE MAR | GLEN COVE RD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-362/HISTORIC-NC FIRE MAR | MEADOWRIDGE LN OLD BROOKVILLE NY 11545 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-961/HISTORIC-NC FIRE MAR | VALENTINES LN OLD BROOKVILLE NY 11545 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-2583/HISTORIC-NC FIRE MAR | GLENBY LN BROOKVILLE NY 11545 | NON GC | N/A | N/A |
| | SPILLS | UNKNOWN 0811186/CLOSED | 44 HIGH ELMS LN GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | UST | RICHARD MOHRING N-058285/HISTORIC-ACTIVE FACI | 360 GLEN COVE AVE GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-4152/HISTORIC-NC FIRE MAR | SEA CLIFF AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | LUST | GLEN COVE FIRE DEPT 0002390/CLOSED | GLEN COVE AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | LUST | GLEN COVE WATER DIST 8802903/CLOSED | DUCK POND RD GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | LUST | MOBIL OIL CO 8807465/CLOSED | GLEN COVE AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | LUST | BENNET RESIDENCE 0912255/CLOSED | 1885 MUTTONTOWN RD MUTTONTOWN NY 11545 | NON GC | N/A | N/A |
| | LUST | OLD WESTBURY WATER DISTRI 9503229/CLOSED | CEDAR SWAMP RD OLD BROOKVILLE NY 11545 | NON GC | N/A | N/A |
| | LUST | RALPH PARISI RESIDENCE 9212903/CLOSED | GLENBY LN BROOKVILLE NY 11545 | NON GC | N/A | N/A |
| | TRIBALLAND | BUREAU OF INDIAN AFFAIRS CONTA BIA-11542 | UNKNOWN NY 11542 | NON GC | N/A | N/A |
| | TRIBALLAND | BUREAU OF INDIAN AFFAIRS CONTA BIA-11545 | UNKNOWN NY 11545 | NON GC | N/A | N/A |
| | UST | GLENWOOD LANDING ENERGY CENTER CBS1-000549/ACTIVE | E/S SHORE N/O GLENHEAD RD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | SPILLS | OLD WESTBURY WATER DISTRI 9503229/CLOSED | CEDAR SWAMP RD OLD BROOKVILLE NY 11545 | NON GC | N/A | N/A |
| | SPILLS | UNKNOWN 9903868/CLOSED | CEDAR SWAMP RD GLEN COVE NY 11542 | NON GC | N/A | N/A |

Environmental FirstSearch Sites Summary Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

TOTAL: 228 **GEOCODED:** 149 **NON GEOCODED:** 79 **SELECTED:** 0

| Map ID | DB Type | Site Name/ID/Status | Address | Dist/Dir | ElevDiff | Page No. |
|--------|---------|--|---|-----------------|----------|----------|
| | SPILLS | 4GH SUBSTATION 0201254/CLOSED | GLEN HEAD RD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | SPILLS | COMMERCIAL VACANT 0706529/CLOSED | GLEN HEAD RD/ SHORE GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | SPILLS | FIRST NATIONAL BANK OF LONG IS 0808192/ACTIVE | 209 GLEN HEAD RD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | SPILLS | GREEN MANSONS TREE CO 0310467/CLOSED | GLEN COVE ROAD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | SPILLS | HEMPSTEAD HARBOR 0902733/CLOSED | SHORE NEAR OUTFALL GLEN HEAD NY 11545 | GLENWOOD NON GC | N/A | N/A |
| | SPILLS | KEVIN FITZGERALD 9400062/CLOSED | GLEN COVE RD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | SPILLS | LILCO 9002735/CLOSED | GLEN COVE AVE GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | UST | KELLY STREET WELL SITE CBS1-000065/ACTIVE | GLEN ST GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | LILCO 9009182/CLOSED | GLENWOOD RD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-2950/HISTORIC-NC FIRE MAR | HENDRICK AVE GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | PRIDE SOLVENTS 9009575/CLOSED | GLEN COVE RD OLD BROOKVILLE NY 11545 | NON GC | N/A | N/A |
| | SPILLS | RALPH PARISI RESIDENCE 9212903/CLOSED | GLENBY LN BROOKVILLE NY 11545 | NON GC | N/A | N/A |
| | SPILLS | RESIDENCE 0811703/CLOSED | 189 VALENTINE LN GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | SPILLS | UNK 9006858/CLOSED | CEDAR SWAMP RD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | SPILLS | UNKNOWN 9802530/CLOSED | CEDAR SWAMP RD GLEN HEAD NY 11545 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-1788/HISTORIC-NC FIRE MAR | MEADOWFIELD LN GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | UST | CONFIDENTIAL NAFM-1795/HISTORIC-NC FIRE MAR | GLENGARIFF DR GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | UNKNOWN 0803379/CLOSED | VALENTINE / PEARL POLE ST GLEN COVE NY 11542 | NON GC | N/A | N/A |
| | SPILLS | LILCO 9305111/CLOSED | CEDAR SWAMP RD OLD BROOKVILLE NY 11545 | NON GC | N/A | N/A |

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 2 **DIST/DIR:** 0.00 -- **ELEVATION:** **MAP ID:** 1

NAME: MATTIACE PETROCHEMICAL CO., INC.
ADDRESS: GARVIES POINT ROAD
GLEN COVE NY 11542
NASSAU
CONTACT: MARK SAVEDOFF
SOURCE: EPA

REV: 8/15/11
ID1: NYD000512459
ID2: 0201219
STATUS: FINAL
PHONE: 9083214341

SITE INFORMATION

EVENT TYPE

| | | | |
|---------------------------|-----|-------------------------|----------|
| SITE DISCOVERY BY: | EPA | DISCOVERY DATE: | 04-10-80 |
| SITE PROPOSED BY: | EPA | PROPOSED DATE: | 06-24-88 |
| FINAL LIST BY: | EPA | FINAL LIST DATE: | 03-31-89 |

ACTIVITIES: CHEMICAL REPACKAGING, DISTRIBUTION AND DRUM CLEANING

CONTAMINANTS: VOLATILE ORGANIC COMPOUNDS
SOURCE OF CONTAMINATION: DRUMS OF VOLATILE ORGANIC COMPOUNDS BURIED ON SITE. WASTEWATER FROM DRUM CLEANING DISCHARGED TO LEACHING POOLS

CONTAMINATED: GROUNDWATER, SURFACE WATER, SEDIMENT, SOIL
THREATENED: GROUNDWATER, SURFACE WATER, SEDIMENT, PUBLIC WATER SUPPLY

CONSTRUCTION COMPLETED DATE: 06/30/2000

SITE DESCRIPTION

Conditions at proposal (June 24, 1988): The Mattiace Petrochemical Co., Inc., Site covers 2.5 acres on Garvies Point Road in Glen Cove on Long Island, Nassau County, New York. The site is a graded, unpaved lot with a trailer, a shed, and a concrete platform with 20 aboveground and 20 buried tanks. Mattiace received chemicals by tank truck and redistributed them to its customers. Operations stopped in September 1987. M and M Drum Cleaning Co., owned by Mattiace Industries, also operated at the site until sometime in 1982.

In October 1980, the New York State Department of Environmental Conservation (NYSDEC) discovered that drums containing volatile organic liquids were buried on-site and that waste water generated by cleaning of drums was being discharged into subsurface leaching pools. NYSDEC found toluene, 1,1,1-trichloroethane, ethylbenzene, and xylene in soil and shallow ground water, which provides drinking water. Shallow water is hydraulically linked to deeper water, permitting contamination to reach the deeper water. An estimated 44,000 people obtain drinking water from public and private wells within 3 miles of the site.

Immediately adjacent to the site are industrial areas, Garvies Point Preserve (designated by the State as a significant natural habitat), and tidal wetlands. Surrounding these areas are schools and residential areas. Glen Cove Creek is 500 feet south of the site. Surface water within 3 miles downstream is used for recreational activities.

In April 1986, several creditors filed a petition to place Mattiace in involuntary bankruptcy. Mattiace successfully moved to convert to voluntary bankruptcy under Chapter 11 of the Federal bankruptcy code. However, the court later removed Mattiace from the protection of the bankruptcy laws.

In August 1986, a grand jury handed up a 21-count indictment against the company and three of its officers. The charge included unlawful possession and disposal of hazardous wastes and falsification of shipping manifests. In May 1988, two officers were fined and the third was sentenced to a year in jail, and a jury returned felony charges against the company and its president.

During February-June 1988, EPA used CERCLA emergency funds to secure the site, collect samples, and remove 100,000 gallons of flammable liquids, 20,000 gallons of contaminated water, and 1,800 gallons of liquids containing PCBs. All materials were transported to EPA-regulated disposal facilities.

The facility acquired Interim Status under Subtitle C of the Resource Conservation and Recovery Act (RCRA) when the owner filed a Notification of Hazardous Waste Activity and Part A of a permit application to treat, store, or dispose of hazardous waste. Interim Status was terminated in November 1984 when the facility did not file a Part B application. The site is being proposed for the NPL because it satisfies a component of EPA's NPL/RCRA policy: the owner has demonstrated inability to finance appropriate remedial action by invoking bankruptcy laws, as well as unwillingness to undertake

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 2 **DIST/DIR:** 0.00 -- **ELEVATION:** **MAP ID:** 1

NAME: MATTIACE PETROCHEMICAL CO., INC.
ADDRESS: GARVIES POINT ROAD
 GLEN COVE NY 11542
 NASSAU
CONTACT: MARK SAVEDOFF
SOURCE: EPA

REV: 8/15/11
ID1: NYD000512459
ID2: 0201219
STATUS: FINAL
PHONE: 9083214341

corrective action.

Status (March 31, 1989): EPA is preparing a workplan for a remedial investigation/feasibility study to determine the type and extent of contamination at the site and identify alternatives for remedial action.

FINAL DATE: 03/31/1989

CERCLIS DETAILS

FEDERAL LIEN FILED: 8/12/1988
ESTIMATED VALUE: \$1,000,000+

THE ABOVE LIEN INFORMATION IS FROM THE FEDERAL SUPERFUND LIENS LIST AS OF OCTOBER 15, 1991

| ACTION/QUALITY | AGENCY/RPS | START/RAA | END |
|--|----------------------------------|-------------------------------------|-----------|
| potentially responsible party long-term response action | Responsible Party | 6/17/2003 | |
| | | New Action Resulting from Take Over | |
| state support agency cooperative agreement | EPA Fund-Financed Primary | 9/19/1991 | 8/30/2001 |
| state support agency cooperative agreement | EPA Fund-Financed | 5/10/1989 | 8/30/2001 |
| remedial investigation/feasibility study workplan approval by hq | EPA Fund-Financed | 9/29/1988 | 4/4/1989 |
| combined remedial investigation/feasibility study | EPA Fund-Financed Primary | 9/29/1988 | 9/27/1990 |
| combined remedial investigation/feasibility study | EPA Fund-Financed Primary | 9/29/1988 | 6/27/1991 |
| remedial investigation/feasibility study negotiations | Federal Enforcement Alternate | 7/8/1988 | 8/8/1988 |
| national priorities list responsible party search | Federal Enforcement | 10/1/1987 | 6/30/1988 |
| proposal to national priorities list | EPA Fund-Financed | | 6/24/1988 |
| notice letters issued | Federal Enforcement | | 7/8/1988 |

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 2 **DIST/DIR:** 0.00 -- **ELEVATION:** **MAP ID:** 1

| | |
|---|---|
| <p>NAME: MATTIACE PETROCHEMICAL CO., INC. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA</p> | <p>REV: 8/15/11 ID1: NYD000512459 ID2: 0201219 STATUS: FINAL PHONE: 9083214341</p> |
|---|---|

| | | |
|---|------------------------------|--|
| lien on potentially responsible party property | Federal Enforcement | 8/12/1988 |
| final listing on national priorities list | EPA Fund-Financed | 3/31/1989 |
| notice letters issued | Federal Enforcement | 11/16/1990 |
| risk/health assessment | EPA Fund-Financed | 4/15/1991 |
| preliminary close-out report prepared | EPA Fund-Financed | 6/30/2000 |
| issue request letters (104e) | Federal Enforcement | 11/13/2001 |
| issue request letters (104e) | Federal Enforcement | 11/13/2001 |
| issue request letters (104e) | Federal Enforcement | 1/10/2002 |
| lodged by doj | Federal Enforcement | 3/21/2003 |
| five-year review | EPA Fund-Financed | 9/30/2005 |
| five-year review | EPA Fund-Financed | 8/23/2010 |
| consent decree | Federal Enforcement | 3/14/2003 6/17/2003 |
| cost recovery negotiations | Federal Enforcement | 9/26/2002 3/14/2003 |
| discovery | EPA Fund-Financed | 4/10/1980 |
| long term response action | EPA Fund-Financed Primary | 9/1/1999 6/17/2003 Original Action Take Over |
| preliminary assessment Low priority for further assessment | State, Fund Financed | 9/1/1984 |
| record of decision | EPA Fund-Financed Primary | 9/27/1990 |
| record of decision Final Remedy Selected at Site | EPA Fund-Financed Primary | 6/27/1991 |

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 2 **DIST/DIR:** 0.00 -- **ELEVATION:** **MAP ID:** 1

| | |
|---|---|
| <p>NAME: MATTIACE PETROCHEMICAL CO., INC. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA</p> | <p>REV: 8/15/11 ID1: NYD000512459 ID2: 0201219 STATUS: FINAL PHONE: 9083214341</p> |
|---|---|

| | | | |
|---|------------------------------|------------|--|
| remedial action | EPA Fund-Financed Primary | 9/20/1996 | 9/29/2000 |
| remedial action | EPA Fund-Financed Primary | 9/30/1993 | 9/29/2000 |
| remedial action | EPA Fund-Financed Primary | 6/30/1993 | 6/11/1995 |
| remedial action | EPA Fund-Financed Primary | 6/30/1993 | 3/26/1997 |
| remedial action | EPA Fund-Financed | 6/30/1993 | 10/29/1997 Other Completion Anomaly |
| remedial action | EPA Fund-Financed Primary | 3/25/1991 | 3/31/1992 |
| remedial design | EPA Fund-Financed Primary | 9/30/1992 | 9/29/1995 |
| remedial design | EPA Fund-Financed Primary | 9/30/1992 | 9/30/1996 |
| remedial design | EPA Fund-Financed Primary | 9/30/1991 | 6/30/1993 |
| removal Stabilized | EPA Fund-Financed Primary | 10/29/1990 | 11/6/1990 |
| removal Cleaned up | EPA Fund-Financed Primary | 2/5/1988 | 6/15/1988 |
| removal assessment Stabilized | EPA Fund-Financed Primary | 11/28/1990 | 2/20/1991 |
| removal assessment Stabilized | EPA Fund-Financed Primary | 3/23/1990 | 9/9/1990 |
| section 107 litigation | Federal Enforcement | 10/1/1987 | 6/30/1988 |
| site inspection Higher priority for further assessment | State, Fund Financed | 5/20/1987 | 6/8/1987 |
| technical assistance | EPA Fund-Financed | 12/15/2006 | |
| treatability study | EPA Fund-Financed | 2/26/1996 | 3/13/1996 |

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

NPL

| | | | |
|---------------------|--------------------------|-------------------|------------------|
| SEARCH ID: 2 | DIST/DIR: 0.00 -- | ELEVATION: | MAP ID: 1 |
|---------------------|--------------------------|-------------------|------------------|

NAME: MATTIACE PETROCHEMICAL CO., INC.
ADDRESS: GARVIES POINT ROAD
GLEN COVE NY 11542
NASSAU
CONTACT: MARK SAVEDOFF
SOURCE: EPA

REV: 8/15/11
ID1: NYD000512459
ID2: 0201219
STATUS: FINAL
PHONE: 9083214341

DESCRIPTION:

AN ABANDONED ORGENIC SOLVENT BLENDING AND RECYCLING FACILITY. ABOVE AND BELOW GROUND WATRT TANKS, DRUMS AND APPROXIMATALY 100,000 GALLONS OF WASTE SOLVENTS WERE IDENTIFIED.

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

CERCLIS

SEARCH ID: 3 **DIST/DIR:** 0.00 -- **ELEVATION:** 87 **MAP ID:** 2

NAME: GLEN COVE GAS PLANT
ADDRESS: ROUND SWAMP RD
 GLEN COVE NY 11542
 NASSAU

REV: 7/26/11
ID1: NYD986881696
ID2: 0202896
STATUS: NOT PROPOSED
PHONE:

CONTACT:
SOURCE: EPA

| ACTION/QUALITY | AGENCY/RPS | START/RAA | END |
|---|-------------------|-----------|-----------|
| discovery | EPA Fund-Financed | | 1/3/1989 |
| preliminary assessment Low priority for further assessment | EPA Fund-Financed | 3/24/1989 | 6/24/1989 |

DESCRIPTION:

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 27 **DIST/DIR:** 0.00 -- **ELEVATION:** 87 **MAP ID:** 2

| | |
|---|--|
| <p>NAME: LILCO, GLEN COVE GAS PLANT ADDRESS: GROVE ST and STANCO ST GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 10-01-97 ID1: HS1016 ID2: NYD986881696 STATUS: HISTORIC-INACTIVE PHONE:</p> |
|---|--|

OWNER TYPE: PRIVATE
OWNER: LILCO
ADDRESS: 173 E. OLD COUNTRY ROAD
 HICKSVILLE
TELEPHONE: (516)933-4590

OPERATOR TYPE: SAME
OPERATOR: U
ADDRESS: U
TELEPHONE: U

YEARS OF OPERATION: 1904 **TO:** 1917

| | |
|---|---------------------------|
| REGION: 1 | COMPLETED: PA/SIFD |
| REGISTRY: NO | HRS SCORE: 1.11 |
| REG. SITE ID: U | HRS DATE: 04/04/89 |
| RCRA: U | ACRES: 1.5 |
| QUADRANGLE: HICKSVILLE | |
| SITE TYPE: COAL GASIFICATION PLANT | |

DOES A THREAT TO THE ENVIRONMENT OR THE PUBLIC HEALTH EXIST?
 ENVIRONMENT/PUBLIC HEALTH

DESCRIBE THE THREAT POSED BY DISPOSED HAZARDOUS SUBSTANCE:
 ASSESSMENT OF THE CONTAINMENT OF PREVIOUS FEEDSTOCK AND WASTE STORAGE LOCATIONS HAS INDICATED THE POTENTIAL FOR SOIL CONTAMINATION. THE RESIDUAL FLUIDS INSIDE PIPING AND TANKS PRESENTED THE POTENTIAL FOR SOIL CONTAMINATION DURING DEMOLITION OF THE FACILITY.

DESCRIBE THE SITE:
 THE SITE IS IN AN URBAN/COMMERCIAL AREA NEAR THE HEMPSTEAD BAY. A CARBURETTED WATER GAS MANUFACTURING FACILITY WAS ON SITE FROM 1904-1917, AFTER WHICH GAS WAS PIPED INTO THE AREA. A HORTONSPHERE GAS HOLDER WAS CONSTRUCTED AT THE SITE IN 1927. ALL PRODUCTION RELATED STRUCTURES WERE DEMOLISHED PRIOR TO 1950.

HAZARDOUS SUBSTANCES DISPOSED:
 COAL ASH, ALUMINUM, IRON, PAH S - PHENANTHRENE, FLUORANTHENE, BENZO(A)ANTHRCENE, CHRYSENE, PYRENE

| | | |
|--------------------|---------------------|-------------------|
| VOCs N | PCBs N | METALS Y |
| SEMI-VOCs Y | PESTICIDES N | ASBESTOS N |

SAMPLES COLLECTED:
 NONE

SELECTED ANALYTICAL INFORMATION:

AIR:

GROUNDWATER:

SURFACE WATER:

SEDIMENT:

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 27 **DIST/DIR:** 0.00 -- **ELEVATION:** 87 **MAP ID:** 2

NAME: LILCO, GLEN COVE GAS PLANT
ADDRESS: GROVE ST and STANCO ST
GLEN COVE NY 11542
NASSAU

REV: 10-01-97
ID1: HS1016
ID2: NYD986881696
STATUS: HISTORIC-INACTIVE
PHONE:

CONTACT:
SOURCE:

SURFACE SOIL:

SUBSURFACE SOIL:

WASTE:

LEACHATE:

EPTOXICITY:

TCLP:

SITE IMPACT DATA - AFFECTED MEDIA:

| | | | |
|------------------------|---|--------------------------------------|---|
| SURFACE WATER: | U | SURFACE WATER CLASS: | U |
| GROUNDWATER: | U | GROUNDWATER CLASS: | U |
| DRINKING WATER: | U | ACTIVE DRINKING WATER SUPPLY? | U |

| | | | |
|-------------------------------------|---|---|---|
| HAZARDOUS SUBSTANCE EXPOSED? | Y | AMBIENT AIR CONTAMINATION? | U |
| CONTROLLED SITE ACCESS? | U | DOCUMENTED FISH OR WILDLIFE MORTALITY? | N |
| THREAT OF DIRECT CONTACT? | Y | IMPACT ON SPECIAL FISH OR WILDLIFE? | N |

SITE IMPACT DATA:

SURFACE WATER:
NEAREST SURFACE WATER: 660FT., WEST

GROUNDWATER:

DRINKING WATER:

FISH OR WILDLIFE MORTALITY:

SPECIAL FISH OR WILDLIFE:

BUILDING:

REGULATORY AGENCIES INVOLVED:

USEPA

PREPARER:

JULIA SLACK ENGINEERING AIDE NYSDEC MAY 26, 1994

LAST DEC UPDATE:

24-FEB-95

Environmental FirstSearch
Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 56 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|----------------------------------|-----------------------|
| NAME: PHOTO CIRCUITS CORP | REV: 7/26/11 |
| ADDRESS: 31 SEA CLIFF AVE | ID1: 0004815 |
| GLEN COVE NY | ID2: 197258 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 7/21/2000
DATE REPORTED: 7/21/2000
CLOSED DATE: 7/24/2000

INSP DATE:
CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: FIRE DEPARTMENT
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT:
TELEPHONE:

SPILLER: PHOTO CIRCUITS CORP
CHARLES NEHRIG MGR
ADDRESS: 31 SEACLIFF AVENUE
GLEN COVE, NY
TELEPHONE:

REPORTED BY: FIRE DEPARTMENT

LAST DEC UPDATE: 11/22/2010
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: EPA NYD096920483 - CALLER WENT THERE EARLIER W/ THE GLENWOOD FIRE COMPANY FOR AN ODOR OF CHLORINE - AN EMPLOYEE TOLD THEN THERE WAS A PROBLEM W/ A VALVE and THAT IT HAD BEEN FIXED - BUT THE ODOR WAS STILL PRESENT 1/4 MILE FROM THE PLANT EVEN AFTER 30 MINUTES FROM THE ORIGINAL TIME OF THE CALL

DEC REMARKS:
Prior to Sept, 2004 data translation this spill Lead_DEC Field was NONE SODIUM CHLORATE (GAS) TELECON TON JIM HADLEY(NEHRIG S ASST) VALVES FAILED ON PIPE LINE TO REACTOR CAUSING TOO MUCH SODIUM CHLORATE TO ENTER THE REACTOR. THE RELEASE WAS OF SODIUM CHLORATE IN THE GASIOUS PHASE AT THE REACTOR. DAMAGE AND AN ASSESSMENT OF REPAIRS TO BE MADE TODAY REFERRED TO AIR COPY TO CBS FILE, NO SITE VISIT NEEDED

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 53 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|--|--|
| <p>NAME: PHOTO CIRCUITS ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 9302725 ID2: 96604 STATUS: CLOSED PHONE:</p> |
|--|--|

SITE INFORMATION

| | | | |
|--------------------------|-------------------|--------------------------|-----|
| SPILL DATE: | 5/29/1993 | AMOUNT SPILLED: | 0 G |
| DATE REPORTED: | 5/29/1993 | AMOUNT RECOVERED: | 0 G |
| CLOSED DATE: | 9/2/1994 | | |
| INSP DATE: | | | |
| MATERIAL SPILLED: | UNKNOWN PETROLEUM | | |
| MATERIAL CLASS: | PETROLEUM | | |

RESOURCE AFFECTED

| | | | |
|-----------------------|-------|-------------------------------|-------|
| SOIL: | True | AIR: | False |
| INDOOR AIR: | False | GROUNDWATER: | False |
| SURFACE WATER: | False | DRINKING WATER: | False |
| SEWER: | False | IMPERVIOUS SURFACE: | False |
| SUBWAY: | False | UNDERGROUND UTILITIES: | False |

CAUSE OF SPILL: OTHER
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: FIRE DEPARTMENT
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: GIBBONS
SPILL CONTACT:
TELEPHONE:

SPILLER: PHOTO CIRCUITS

ADDRESS: , ZZ
TELEPHONE:

REPORTED BY: FIRE DEPARTMENT

LAST DEC UPDATE: 3/31/2004
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: EXPLOSION IN BLDG, ROOF COLLAPSED IN VAT ROOM, STEAM USED TO RUN DRYING PROCESS, CARBON PELLETS SCATTERED OVER AREA, 2-55 GAL CHEM DRUMS IN AREA

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 15 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|--|--|
| <p>NAME: PHOTOCIRCUITS ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: EPA</p> | <p>REV: 12/9/02 ID1: NYD096920483 ID2: STATUS: LGN PHONE:</p> |
|--|--|

CT MANIFEST INFORMATION

| <u>MANIFEST ID</u> | <u>SHIPPED</u> | <u>TSD ID</u> | <u>TRANS ID</u> | <u>QTY</u> | <u>MATERIAL</u> |
|--------------------|----------------|---------------|-----------------|------------|--|
| CTC0227906 | 01/03/1990 | CTD001164599 | CTD001164599 | 3800 G | WASTE ALKA LIQ MAT L NOS COPPER CHLORIDE |
| CTC0227910 | 01/05/1990 | CTD001184894 | CTD981069099 | 2328 P | WASTE POTASSIUM CYANIDE SOLN |
| CTC0227911 | 04/06/1990 | CTD001184894 | CTD981069099 | 0100 G | WASTE POTASSIUM CYANIDE SOLUTION |
| CTC0227913 | 11/30/1990 | CTD001184894 | CTD981069099 | 0250 G | WASTE POTASSIUM CYANIDE SOLUTION |
| CTC0227903 | 02/08/1991 | CTD001184894 | CTD981069099 | 0125 G | WASTE POTASSIUM CYANIDE SOLUTION |
| CTC0227950 | 05/24/1991 | CTD001184894 | CTD981069099 | 0132 G | WASTE POTASSIUM CYANIDE SOLUTION |
| CTC0227912 | 09/20/1991 | CTD001184894 | CTD981069099 | 0137 G | WASTE POTASSIUM CYANIDE SOLUTION |
| CTC0227921 | 12/20/1991 | CTD001184894 | CTD981069099 | 0124 G | WASTE CYANIDE, NOS |
| CTC0227932 | 08/14/1992 | CTD981205271 | CTD981069099 | 0355 P | WASTE POTASSIUM CYANIDE RESIN |
| CTF0329383 | 08/24/1994 | CTD001156009 | ILD984908202 | 0005 G | WASTE COMPOUND CLEANING LIQUID |
| MAH103584 | 11/16/1994 | CTD001156009 | ILD984908202 | 0005 D | WASTE COMPOUND CLEANING LIQUID |
| CTF0313535 | 05/07/1996 | CTD000604488 | NJD054126164 | 40000 P | ENVIRONMENTALLY HAZ. SUBSTANCES,SOLID |

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 30 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|---|---|
| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 130009 ID2: 57697.00 STATUS: PHONE:</p> |
|---|---|

SITE INFORMATION

REGION: 1 **SIZE (ACRES):** 9.970

| | |
|--------------------------|-----|
| <u>SITE TYPE:</u> | |
| OPEN DUMP: | NO |
| LAGOON: | NO |
| POND: | NO |
| STRUCTURE: | YES |
| LANDFILL: | NO |

SITE OWNER/OPERATOR INFORMATION:

NAME:
COMPANY: POWERS CHEMCO/KOLLMORGEN/PHOTOCIRCUI
ADDRESS:
 ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: PHOTOCIRCUITS CORPORATION
ADDRESS: 31 SEA CLIFF AVENUE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: PHOTOCIRCUITS CORPORATION
ADDRESS: 31 SEA CLIFF AVENUE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: PHOTOCIRCUITS CORPORATION
ADDRESS: 31 SEA CLIFF AVENUE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: PHOTOCIRCUITS CORPORATION
ADDRESS: 31 SEA CLIFF AVENUE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

| | |
|----------------------------------|-------------------------|
| <u>HAZARDOUS WASTE:</u> | <u>QUANTITY:</u> |
| 1,1,1-TRICHLOROETHANE TCA (F001) | UNKNOWN |
| TETRACHLOROETHYLENE (PCE) | UNKNOWN |
| 1,1,1 TCA | UNKNOWN |

HAZARDOUS WASTE DISPOSAL PERIOD: 1954 TO present

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 30 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

NAME: PHOTOCIRCUITS CORPORATION

REV: 7/26/11

ADDRESS: 31 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

ID1: 130009
ID2: 57697.00

CONTACT:

STATUS:
PHONE:

SOURCE: NYSDEC

The primary contaminants on the site are VOCs including PCE and TCA. Soil on the premises has been contaminated with VOCs, and this contamination has spread to the underlying sole-source aquifer. Exceedances of standards, criteria, and guidance indicate that that PCE, TCA and several breakdown products exceed standards in groundwater. The site presents a significant environmental threat due to the levels of VOC contamination in groundwater.

ASSESSMENT OF HEALTH PROBLEMS:

Human exposure to contaminated soil and groundwater is not expected because fencing limits access and public water serves the area. The potential for exposure from soil vapor intrusion into structures on or near the site will be evaluated and actions taken as appropriate.

DESCRIPTION:

The Photocircuits site is located in Glen Cove, Nassau County, NY. The site is bounded by Sea Cliff Avenue to the north, the Pass and Seymour Site to the west, and an arterial highway to the east. The Carney Street well field is located north (downgradient) of the site. The Pall site is located north across Sea Cliff Avenue from the Photocircuits site. Most of the site is paved with several industrial buildings. The property was for manufacturing printed circuit boards. Past investigations of this area have documented chlorinated organics exceeding standards in the groundwater underlying the site. Site investigations completed include a Preliminary Site Assessment (PSA) that was conducted by the Nassau County Department of Public Works (NCDPW) through a Municipal Delegation Agreement with the NYSDEC (September 1992 Source Area Investigation for the Sea Cliff Industrial Area) and a Remedial Investigation conducted from January 1997 through September 1998. A Remedial Investigation/Interim Remedial Measure report was completed in September in 1998. In April 2000, a soil vapor extraction (SVE) system IRM was installed in the drum storage/tank farm area. In addition, a pilot study to use bioremediation to remediate groundwater contamination in the same area was conducted beginning August 2000. As part of these projects, additional groundwater monitoring points were installed in the drum storage/tank farm area. In January 2002, a hydraulic restraint system was installed along Sea Cliff Avenue to prevent downgradient migration of VOCs. Photocircuits submitted an FS for OU-1 (soils and groundwater less than 60 ft bgs) in December 2006. The ROD was signed March 31, 2008.

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 55 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|----------------------------------|-----------------------|
| NAME: PHOTO CIRCUITS CORP | REV: 7/26/11 |
| ADDRESS: 31 SEA CLIFF AVE | ID1: 9609700 |
| GLEN COVE NY | ID2: 197259 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

| | |
|-------------------------------------|--------------------------------|
| SPILL DATE: | 11/4/1996 |
| DATE REPORTED: | 11/4/1996 |
| CLOSED DATE: | 11/4/1996 |
| INSP DATE: | |
| MATERIAL SPILLED: WASTEWATER | AMOUNT SPILLED: 10000 G |
| MATERIAL CLASS: OTHER | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: True | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|-----------------------|
| CAUSE OF SPILL: | EQUIPMENT FAILURE |
| WATERBODY AFFECTED: | GLENCOVE CREEK |
| SOURCE OF SPILL: | COMMERCIAL/INDUSTRIAL |
| REPORTED BY: | RESPONSIBLE PARTY |
| REGION: | |
| UST TRUST? | NO |

| | |
|----------------------------|----------------|
| SPILL INVESTIGATOR: | UNASSIGNED |
| SPILL CONTACT: | KEVIN HILDRETH |
| TELEPHONE: | (516) 674-1274 |

| | |
|-------------------|----------------------|
| SPILLER: | PHOTO CIRCUITS CORP |
| | KEVIN HILDRETH |
| ADDRESS: | 31 SEACLIFF AVENUE |
| | GLEN COVE, NY 11542- |
| TELEPHONE: | |

| | |
|---------------------|-------------------|
| REPORTED BY: | RESPONSIBLE PARTY |
|---------------------|-------------------|

| | |
|---------------------------------|-----------|
| LAST DEC UPDATE: | 11/5/1996 |
| CLEAN UP MEET STANDARDS? | YES |
| PENALTY RECOMMENDED? | NO |

CALLER REMARKS: UNDERGROUND WASTEWATER PIPE BROKE - 10000 GAL IS AN ESTIMATE AT THIS TIME - MOST IS AFFECTING THE SURROUNDING SOIL AND SOME GOT INTO THE CREEK - NOTICED AT 7AM - SHUT DOWN AT 9AM AFTER REALIZING WHAT THE WATER WAS - REPAIRS TO START SHORTLY

DEC REMARKS:
Prior to Sept, 2004 data translation this spill Lead_DEC Field was NONE

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 8 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|--|---|
| <p>NAME: NYSDEC-REMEDATION/PHOTOCIRCUITS ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: EPA</p> | <p>REV: 7/11/11 ID1: NYD096920483 ID2: STATUS: CA PHONE:</p> |
|--|---|

SITE INFORMATION

CONTACT INFORMATION: JOSEPH SHAULYS
 31 SEA CLIFF AVE
 GLEN COVE NY 11542

PHONE: 5164481000

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

| | |
|--|--------|
| GPRA PERMIT: | N - NO |
| GPRA POST CLOSURE: | N - NO |
| GPRA CA: | N - NO |
| GPRA COMPLIANCE MONITORING and ENFORCEMENT: | Y |

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

| | |
|-------------------------|----------------------------------|
| SUBJCA: | Y - SUBJECT TO CORRECTIVE ACTION |
| SUBJCA TSD 3004: | N - NO |
| SUBJCA NON TSD: | N - NO |

SIGNIFICANT NON-COMPLIANCE(SNC): Y - SNC

BEGINNING OF THE YEAR SNC: N - NO

PERMIT WORKLOAD: ----

CLOSURE WORKLOAD: ----

POST CLOSURE WORKLOAD: ----

PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: ---ST

CORRECTIVE ACTION WORKLOAD: Y - CORRECTIVE ACTION WORKLOAD

GENERATOR STATUS: LQG - LARGE QUANTITY GENERATORS: GENERATES MORE THAN 1000 KG/MONTH OF H

NAIC INFORMATION

334419 - OTHER ELECTRONIC COMPONENT MANUFACTURING
 313312 - TEXTILE AND FABRIC FINISHING (EXCEPT BROADWOVEN FABRIC) MILLS
 334412 - BARE PRINTED CIRCUIT BOARD MANUFACTURING

ENFORCEMENT INFORMATION:

| | | | |
|----------------|------------------------|--------------|-----------|
| AGENCY: | S - STATE | DATE: | 7/26/2002 |
| TYPE: | 120 - WRITTEN INFORMAL | | |

| | | | |
|----------------|------------------------|--------------|------------|
| AGENCY: | E - EPA | DATE: | 11/18/1988 |
| TYPE: | 120 - WRITTEN INFORMAL | | |

| | | | |
|----------------|------------------------|--------------|-----------|
| AGENCY: | E - EPA | DATE: | 8/23/1999 |
| TYPE: | 120 - WRITTEN INFORMAL | | |

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 8 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|--|--------------------------|
| NAME: NYSDEC-REMEDATION/PHOTOCIRCUITS | REV: 7/11/11 |
| ADDRESS: 31 SEA CLIFF AVE | ID1: NYD096920483 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: CA |
| CONTACT: | PHONE: |
| SOURCE: EPA | |

| | | | |
|----------------|------------------------|--------------|------------|
| AGENCY: | S - STATE | DATE: | 1/10/1995 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 1/28/1999 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 12/16/1986 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 2/28/1986 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 3/29/1988 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 6/10/1988 |
| TYPE: | 120 - WRITTEN INFORMAL | | |

VIOLATION INFORMATION:

| | | | |
|--------------------------|--|-----------------------|-----------|
| VIOLATION NUMBER: | 0001 | RESPONSIBLE: | E - EPA |
| DETERMINED: | 7/23/1999 | DETERMINED BY: | E - EPA |
| CITATION: | 6nycrr 373-3.2(g)(4)i see copy | | |
| VIOLATION NUMBER: | 0001 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 12/11/1985 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 8/26/1999 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |
| RESOLVED: | 2/26/1987 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |
| VIOLATION NUMBER: | 0002 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 10/31/1986 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 2/26/1987 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |
| VIOLATION NUMBER: | 0003 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 3/29/1988 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 9/23/1988 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |
| VIOLATION NUMBER: | 0004 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 5/20/1988 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 8/12/1988 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |
| VIOLATION NUMBER: | 0005 | RESPONSIBLE: | S - STATE |

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 8 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|--|--------------------------|
| NAME: NYSDEC-REMEDATION/PHOTOCIRCUITS | REV: 7/11/11 |
| ADDRESS: 31 SEA CLIFF AVE | ID1: NYD096920483 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: CA |
| CONTACT: | PHONE: |
| SOURCE: EPA | |

| | | | |
|--------------------|---------------------------------|-----------------------|-----------|
| DETERMINED: | 5/20/1988 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 12/5/1988 | | |
| TYPE: | GENERATOR-LAND BAN REQUIREMENTS | | |

| | | | |
|--------------------------|--|-----------------------|-----------|
| VIOLATION NUMBER: | 0006 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 1/10/1995 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 6/1/1995 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |

| | | | |
|--------------------------|---------------------------------|-----------------------|-----------|
| VIOLATION NUMBER: | 0007 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 1/28/1999 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 6/26/1999 | | |
| TYPE: | GENERATOR-MANIFEST REQUIREMENTS | | |

| | | | |
|--------------------------|---------------------------------|-----------------------|-----------|
| VIOLATION NUMBER: | 0008 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 1/28/1999 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 6/26/1999 | | |
| TYPE: | GENERATOR-LAND BAN REQUIREMENTS | | |

| | | | |
|--------------------------|--|-----------------------|-----------|
| VIOLATION NUMBER: | 0009 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 1/28/1999 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 6/26/1999 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |

| | | | |
|--------------------------|--|-----------------------|-----------|
| VIOLATION NUMBER: | 0010 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 6/24/2002 | DETERMINED BY: | S - STATE |
| CITATION: | 373-3.9(d),373-3.4(c)(5)and(6) | | |
| RESOLVED: | 9/5/2002 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |

| | | | |
|--------------------------|--|-----------------------|-----------|
| VIOLATION NUMBER: | 0011 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 6/24/2002 | DETERMINED BY: | S - STATE |
| CITATION: | 373-3.2(g)(1),(2),(3) | | |
| RESOLVED: | 9/5/2002 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |

| | | | |
|--------------------------|--|-----------------------|-----------|
| VIOLATION NUMBER: | 0012 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 12/6/2005 | DETERMINED BY: | S - STATE |
| CITATION: | 373-3.9(d)(1) | | |
| RESOLVED: | | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |

| | | | |
|--------------------------|--|-----------------------|-----------|
| VIOLATION NUMBER: | 0013 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 12/6/2005 | DETERMINED BY: | S - STATE |
| CITATION: | 373-3.9(d)(2) | | |
| RESOLVED: | | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 8 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|--|--------------------------|
| NAME: NYSDEC-REMEDATION/PHOTOCIRCUITS | REV: 7/11/11 |
| ADDRESS: 31 SEA CLIFF AVE | ID1: NYD096920483 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: CA |
| CONTACT: | PHONE: |
| SOURCE: EPA | |

VIOLATION NUMBER: 0014 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 372.2(a)(8)(ii)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0015 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.9(d)(3)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0016 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-1.1(d)(1)(iv)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0017 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.2(g)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0018 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.4(c)(5)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0019 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.4(d)(2)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0020 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.3(g)(1)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0021 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.3(g)(1)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0022 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 372.2(b)(2)(i),(ii)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 8 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|--|---|
| <p>NAME: NYSDEC-REMEDATION/PHOTOCIRCUITS ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: EPA</p> | <p>REV: 7/11/11 ID1: NYD096920483 ID2: STATUS: CA PHONE:</p> |
|--|---|

VIOLATION NUMBER: 0023 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 374-3.2(d)(4)(i)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0024 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.3(b)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0025 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.3(f)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0026 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.9(h)(1)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0027 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 373-3.3(d)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0028 **RESPONSIBLE:** S - STATE
DETERMINED: 12/6/2005 **DETERMINED BY:** S - STATE
CITATION: 372.2(b)(1)
RESOLVED:
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

CORRECTIVE ACTION INFORMATION

CA EVENT: 8/9/1994 CA050 - RFA COMPLETED
CA EVENT: 9/27/1995 CA075LO - CA PRIORITIZATION-LOW CA PRIORITY
CA EVENT: 3/30/1997 CA150 - RFI WORKPLAN APPROVED

HAZARDOUS WASTE INFORMATION:

Reactive waste
 Trichloroethylene
 The following spent halogenated solvents: Tetrachloroethylene, methylene chloride, trichloroethylene, 1,1,1-trichloroethane, chlorobenzene, 1,1,2-trichloro-1,2,2-trifluoroethane, ortho-dichlorobenzene, trichlorofluoromethane
 Tetrachloroethylene
 Spent stripping and cleaning bath solutions from electroplating operations in which cyanides are used in the process.

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

| | | | |
|---------------------|--------------------------|----------------------|------------------|
| SEARCH ID: 8 | DIST/DIR: 0.00 -- | ELEVATION: 59 | MAP ID: 3 |
|---------------------|--------------------------|----------------------|------------------|

| | |
|--|--------------------------|
| NAME: NYSDEC-REMEDICATION/PHOTOCIRCUITS | REV: 7/11/11 |
| ADDRESS: 31 SEA CLIFF AVE | ID1: NYD096920483 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: CA |
| CONTACT: | PHONE: |
| SOURCE: EPA | |

Spent cyanide plating bath solutions from electroplating operations.
Plating bath residues from the bottom of plating baths from electroplating operations in which cyanides are used in the process.
Lead
Ignitable waste
Cadmium
1,4-Dichlorobenzene
Wastewater treatment sludges from electroplating operations except from the following processes: (1) sulfuric acid anodizing of aluminum; (2) tin plating on carbon steel; (3) zinc plating (segregated basis) on carbon steel;
Benzene

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

| | | | |
|-----------------------|--------------------------|----------------------|------------------|
| SEARCH ID: 109 | DIST/DIR: 0.00 -- | ELEVATION: 59 | MAP ID: 3 |
|-----------------------|--------------------------|----------------------|------------------|

NAME: PHOTOCIRCUITS CORP.
ADDRESS: 31 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: CBS1-000001
ID2: 340302.00
STATUS: UNREGULATED
PHONE:

CONTACT:
SOURCE: NY DEC

DETAILS TOO LARGE TO LOAD

Environmental FirstSearch Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRATSD

SEARCH ID: 5 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|---|--|
| <p>NAME: PHOTOCIRCUITS ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: JOSEPH SHAULYS SOURCE: EPA</p> | <p>REV: 6/8/02 ID1: NYD096920483 ID2: STATUS: TSD PHONE: 5164481000</p> |
|---|--|

SITE INFORMATION

CONTACT INFORMATION: JOSEPH SHAULYS
 MGR CHEM RECOVER
 31 SEA CLIFF AVE
 GLEN COVE NY 11542

PHONE: 5164481000

CONTACT INFORMATION: JOSEPH SHAULYS
 MGR.CHEM.RECOVER
 31 SEA CLIFF AVE
 GLEN COVE NY 11542

PHONE: 5164481000

UNIVERSE NAME:

SUBJECT TO CORRECTIVE ACTION
 INCINERATOR
 TSDS SUBJECT TO CORRECTIVE ACT
 DF: LAND DISPOSAL FACILITY
 SUBJECT TO CEI
 ST: STORAGE AND TREATMENT

SIC INFORMATION:

3679 - MANUFACTURING - ELECTRONIC COMPONENTS, NEC

ENFORCEMENT INFORMATION:

| | | | |
|----------------|------------------------|--------------|-----------|
| AGENCY: | S - STATE | DATE: | 29-MAR-88 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 10-JUN-88 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 10-JAN-95 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | E - EPA | DATE: | 23-AUG-99 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | E - EPA | DATE: | 18-NOV-88 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 16-DEC-86 |
| TYPE: | 120 - WRITTEN INFORMAL | | |

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Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRATSD

SEARCH ID: 5 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|---|--|
| <p>NAME: PHOTOCIRCUITS ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: JOSEPH SHAULYS SOURCE: EPA</p> | <p>REV: 6/8/02 ID1: NYD096920483 ID2: STATUS: TSD PHONE: 5164481000</p> |
|---|--|

AGENCY: S - STATE **DATE:** 28-JAN-99
TYPE: 120 - WRITTEN INFORMAL

AGENCY: S - STATE **DATE:** 28-FEB-86
TYPE: 120 - WRITTEN INFORMAL

VIOLATION INFORMATION:

VIOLATION NUMBER: 0001 **RESPONSIBLE:** E - EPA
DETERMINED: 23-JUL-99 **DETERMINED BY:** E - EPA
CITATION: 6nycrr 373-3.2(g)(4)i see copy **RESOLVED:** 08/26/1999
TYPE: GER - GENERATOR ALL REQUIREMENTS

VIOLATION NUMBER: 0001 **RESPONSIBLE:** S - STATE
DETERMINED: 11-DEC-85 **DETERMINED BY:** S - STATE
CITATION: **RESOLVED:** 02/26/1987
TYPE: GER - GENERATOR ALL REQUIREMENTS

VIOLATION NUMBER: 0002 **RESPONSIBLE:** S - STATE
DETERMINED: 31-OCT-86 **DETERMINED BY:** S - STATE
CITATION: **RESOLVED:** 02/26/1987
TYPE: GER - GENERATOR ALL REQUIREMENTS

VIOLATION NUMBER: 0003 **RESPONSIBLE:** S - STATE
DETERMINED: 29-MAR-88 **DETERMINED BY:** S - STATE
CITATION: **RESOLVED:** 09/23/1988
TYPE: GER - GENERATOR ALL REQUIREMENTS

VIOLATION NUMBER: 0004 **RESPONSIBLE:** S - STATE
DETERMINED: 20-MAY-88 **DETERMINED BY:** S - STATE
CITATION: **RESOLVED:** 08/12/1988
TYPE: GER - GENERATOR ALL REQUIREMENTS

VIOLATION NUMBER: 0005 **RESPONSIBLE:** S - STATE
DETERMINED: 20-MAY-88 **DETERMINED BY:** S - STATE
CITATION: **RESOLVED:** 12/05/1988
TYPE: GLB - GENERATOR LAND BAN REQUIREMENTS

VIOLATION NUMBER: 0006 **RESPONSIBLE:** S - STATE
DETERMINED: 10-JAN-95 **DETERMINED BY:** S - STATE
CITATION: **RESOLVED:** 06/01/1995
TYPE: GER - GENERATOR ALL REQUIREMENTS

VIOLATION NUMBER: 0007 **RESPONSIBLE:** S - STATE
DETERMINED: 28-JAN-99 **DETERMINED BY:** S - STATE
CITATION: **RESOLVED:** 06/26/1999
TYPE: GMR - GENERATOR MANIFEST REQUIREMENTS

VIOLATION NUMBER: 0008 **RESPONSIBLE:** S - STATE
DETERMINED: 28-JAN-99 **DETERMINED BY:** S - STATE
CITATION: **RESOLVED:** 06/26/1999

- Continued on next page -

Environmental FirstSearch
Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRATSD

SEARCH ID: 5 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

NAME: PHOTOCIRCUITS
ADDRESS: 31 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU
CONTACT: JOSEPH SHAULYS
SOURCE: EPA

REV: 6/8/02
ID1: NYD096920483
ID2:
STATUS: TSD
PHONE: 5164481000

TYPE: GLB - GENERATOR LAND BAN REQUIREMENTS

VIOLATION NUMBER: 0009 **RESPONSIBLE:** S - STATE
DETERMINED: 28-JAN-99 **DETERMINED BY:** S - STATE
CITATION: **RESOLVED:** 06/26/1999
TYPE: GER - GENERATOR ALL REQUIREMENTS

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

NFRAP

SEARCH ID: 4 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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|--|--|
| <p>NAME: PHOTOCIRCUITS DIV/KOLLMORGEN CORP ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: EPA</p> | <p>REV: 7/26/11 ID1: NYD096920483 ID2: 0201660 STATUS: NFRAP-N PHONE:</p> |
|--|--|

DESCRIPTION:
 PHOTOCIRCUITS PRODU PRINTED CIRCUIT BOARDS FOR ELECTR IND. METALPLATING IS DONE WITH COPPER,TIN,NICKEL, and GOLD, CHROME-PLATING HAS BEEN DISCONTINUED. HYDROCARBON SOLVENTS USED FOR CLEANING IMAGE FORMATION. VARIOUS WSTE STREAMS ARE PRODUCED.

| ACTION/QUALITY | AGENCY/RPS | START/RAA | END |
|---|-------------------|------------|------------|
| ARCHIVE SITE | EPA In-House | | 1/31/1997 |
| DISCOVERY | EPA Fund-Financed | | 10/6/1986 |
| PRELIMINARY ASSESSMENT LOW PRIORITY FOR FURTHER ASSESSMENT | EPA Fund-Financed | /1-86-11/6 | 12/30/1986 |
| SITE INSPECTION DEFERRED TO RCRA (SUBTITLE C) | EPA Fund-Financed | /1-89-6/30 | 9/27/1989 |

Environmental FirstSearch Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-000003 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
|--|---|

SITE INFORMATION

OWNER: PHOTOCIRCUITS CORPORATION
 31 SEACLIFF AVE.
 GLEN COVE NY 11542

PERMITTEE: PHOTOCIRCUITS CORPORATION
 31 SEACLIFF AVE.
 GLEN COVE NY 11542

TANK INFORMATION

| | | | |
|-----------------------|------------------|-----------------------|-----------------|
| TANK NUMBER: | 0003 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041980 | MATERIAL TYPE: | WASTE |
| TANK CAPACITY: | 00005000 GALLONS | PRODUCT: | COPPER CHLORIDE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: OUTDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: FIBERGLASS REINFORCED PLASTIC
PIPING: FIBERGLASS

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: GRAVITY
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|-----------------|
| TANK NUMBER: | 0009 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041972 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00006000 GALLONS | PRODUCT: | SULPHURIC ACID |

TANK TYPE: STEEL
TANK LOCATION: OUTDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: STEEL / IRON

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUBMERSIBLE PUMP
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|-----------------|
| TANK NUMBER: | 0010 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041972 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00005500 GALLONS | PRODUCT: | COPPER SULFATE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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|--|---|
| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-000003 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
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TANK LOCATION: OUTDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: FIBERGLASS REINFORCED PLASTIC
PIPING: FIBERGLASS

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUBMERSIBLE PUMP
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | |
|--|---------------------------------------|
| TANK NUMBER: 0011 | TANK STATUS: IN SERVICE |
| INSTALLED: 041972 | MATERIAL TYPE: FRESH / PRODUCT |
| TANK CAPACITY: 00004000 GALLONS | PRODUCT: COPPER SULFATE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: OUTDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: FIBERGLASS REINFORCED PLASTIC
PIPING: FIBERGLASS

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUBMERSIBLE PUMP
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | |
|--|---------------------------------------|
| TANK NUMBER: 0014 | TANK STATUS: IN SERVICE |
| INSTALLED: 041972 | MATERIAL TYPE: FRESH / PRODUCT |
| TANK CAPACITY: 00004000 GALLONS | PRODUCT: SODIUM PERSULFATE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: OUTDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: FIBERGLASS

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUBMERSIBLE PUMP
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | |
|--|---------------------------------------|
| TANK NUMBER: 0016 | TANK STATUS: IN SERVICE |
| INSTALLED: 041972 | MATERIAL TYPE: FRESH / PRODUCT |
| TANK CAPACITY: 00005500 GALLONS | PRODUCT: COPPER SULFATE |

TANK TYPE: STEEL
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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|--|---|
| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-000003 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
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EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: STEEL/ IRON

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUBMERSIBLE PUMP
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|--------------------|
| TANK NUMBER: | 0019 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041984 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00007000 GALLONS | PRODUCT: | AMMONIUM HYDROXIDE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: FIBERGLASS

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUBMERSIBLE PUMP
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|------------------|
| TANK NUMBER: | 0023 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041972 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00005500 GALLONS | PRODUCT: | SODIUM HYDROXIDE |

TANK TYPE: STEEL
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: STEEL/ IRON

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUBMERSIBLE PUMP
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|------------------|
| TANK NUMBER: | 0024 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041980 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00006000 GALLONS | PRODUCT: | HYDROGEN SULFIDE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: FIBERGLASS REINFORCED PLASTIC
PIPING: FIBERGLASS

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-000003 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
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SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUBMERSIBLE PUMP
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|------------------|
| TANK NUMBER: | 0025 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041980 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00006000 GALLONS | PRODUCT: | SODIUM HYDROXIDE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: FIBERGLASS REINFORCED PLASTIC
PIPING: FIBERGLASS

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUBMERSIBLE PUMP
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|-------------------|
| TANK NUMBER: | 0036 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 011983 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000300 GALLONS | PRODUCT: | TANK, WATER RINSE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | | | |
|-----------------------|------------------|-----------------------|-------------------|
| TANK NUMBER: | 0037 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 011983 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000300 GALLONS | PRODUCT: | TANK, WATER RINSE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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|--|---|
| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU</p> <p>CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-000003 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
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LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | |
|--|---------------------------------------|
| TANK NUMBER: 0038 | TANK STATUS: IN SERVICE |
| INSTALLED: 011983 | MATERIAL TYPE: FRESH / PRODUCT |
| TANK CAPACITY: 00000300 GALLONS | PRODUCT: SODIUM CHLORIDE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | |
|--|---------------------------------------|
| TANK NUMBER: 0039 | TANK STATUS: IN SERVICE |
| INSTALLED: 011983 | MATERIAL TYPE: FRESH / PRODUCT |
| TANK CAPACITY: 00000300 GALLONS | PRODUCT: TANK, WATER RINSE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | |
|--|---------------------------------------|
| TANK NUMBER: 0040 | TANK STATUS: IN SERVICE |
| INSTALLED: 011983 | MATERIAL TYPE: FRESH / PRODUCT |
| TANK CAPACITY: 00000300 GALLONS | PRODUCT: SODIUM HYDROXIDE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-000003 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
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FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | | |
|--|---------------------------------------|--|
| TANK NUMBER: 0041 | TANK STATUS: IN SERVICE | |
| INSTALLED: 011983 | MATERIAL TYPE: FRESH / PRODUCT | |
| TANK CAPACITY: 00000300 GALLONS | PRODUCT: SODIUM HYDROXIDE | |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | | |
|--|---------------------------------------|--|
| TANK NUMBER: 0042 | TANK STATUS: IN SERVICE | |
| INSTALLED: 011983 | MATERIAL TYPE: FRESH / PRODUCT | |
| TANK CAPACITY: 00000300 GALLONS | PRODUCT: TANK, WATER RINSE | |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | | |
|--|---------------------------------------|--|
| TANK NUMBER: 0043 | TANK STATUS: IN SERVICE | |
| INSTALLED: 011983 | MATERIAL TYPE: FRESH / PRODUCT | |
| TANK CAPACITY: 00000300 GALLONS | PRODUCT: SULPHURIC ACID | |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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|--|---|
| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-000003 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
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| | | | |
|-------------------------------|-------------------------------|-----------------------|-------------------|
| TANK NUMBER: | 0044 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 011983 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000300 GALLONS | PRODUCT: | TANK, WATER RINSE |
| TANK TYPE: | FIBERGLASS REINFORCED PLASTIC | | |
| TANK LOCATION: | INDOORS ABOVE GROUND | | |
| INTERNAL PROTECTION: | NONE | | |
| EXTERNAL PROTECTION: | NONE | | |
| PIPING: | OTHER | | |
| SECONDARY CONTAINMENT: | DIKING AND PAD | | |
| LEAK DETECTION: | NONE | | |
| DISPENSER: | SUCTION | | |
| FILL TYPE: | PUMPED | | |
| PRODUCT GAUGE: | NO | | |

| | | | |
|-------------------------------|-------------------------------|-----------------------|-----------------|
| TANK NUMBER: | 0045 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 011983 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000300 GALLONS | PRODUCT: | SULPHURIC ACID |
| TANK TYPE: | FIBERGLASS REINFORCED PLASTIC | | |
| TANK LOCATION: | INDOORS ABOVE GROUND | | |
| INTERNAL PROTECTION: | NONE | | |
| EXTERNAL PROTECTION: | NONE | | |
| PIPING: | OTHER | | |
| SECONDARY CONTAINMENT: | DIKING AND PAD | | |
| LEAK DETECTION: | NONE | | |
| DISPENSER: | SUCTION | | |
| FILL TYPE: | PUMPED | | |
| PRODUCT GAUGE: | NO | | |

| | | | |
|-------------------------------|-------------------------------|-----------------------|-------------------|
| TANK NUMBER: | 0046 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 011983 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000300 GALLONS | PRODUCT: | TANK, WATER RINSE |
| TANK TYPE: | FIBERGLASS REINFORCED PLASTIC | | |
| TANK LOCATION: | INDOORS ABOVE GROUND | | |
| INTERNAL PROTECTION: | NONE | | |
| EXTERNAL PROTECTION: | NONE | | |
| PIPING: | OTHER | | |
| SECONDARY CONTAINMENT: | DIKING AND PAD | | |
| LEAK DETECTION: | NONE | | |
| DISPENSER: | SUCTION | | |
| FILL TYPE: | PUMPED | | |
| PRODUCT GAUGE: | NO | | |

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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|--|---|
| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-000003 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
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| | | | |
|-----------------------|------------------|-----------------------|-------------------|
| TANK NUMBER: | 0058 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041980 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00006000 GALLONS | PRODUCT: | HYDROGEN PEROXIDE |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: OUTDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|-----------------------|
| TANK NUMBER: | 0059 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041980 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00006000 GALLONS | PRODUCT: | TANK, WASTE TREATMENT |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|------------------|
| TANK NUMBER: | 0061 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041980 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00015000 GALLONS | PRODUCT: | INORGANICS, MISC |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|---------------------|--------|-----------------------|-----------------|
| TANK NUMBER: | 0062 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041980 | MATERIAL TYPE: | FRESH / PRODUCT |

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

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| <p>NAME: PHOTOCIRCUITS CORPORATION ADDRESS: 31 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU</p> <p>CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-000003 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
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TANK CAPACITY: 00015000 GALLONS **PRODUCT:** INORGANICS, MISC

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

TANK NUMBER: 0063 **TANK STATUS:** IN SERVICE
INSTALLED: 041980 **MATERIAL TYPE:** FRESH / PRODUCT
TANK CAPACITY: 00015000 GALLONS **PRODUCT:** INORGANICS, MISC

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

TANK NUMBER: 0064 **TANK STATUS:** IN SERVICE
INSTALLED: 041980 **MATERIAL TYPE:** FRESH / PRODUCT
TANK CAPACITY: 00015000 GALLONS **PRODUCT:** INORGANICS, MISC

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

TANK NUMBER: 0068 **TANK STATUS:** IN SERVICE
INSTALLED: 041980 **MATERIAL TYPE:** WASTE
TANK CAPACITY: 00012000 GALLONS **PRODUCT:** INORGANICS, MISC

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 110 **DIST/DIR:** 0.00 -- **ELEVATION:** 59 **MAP ID:** 3

| | |
|--|---|
| NAME: PHOTOCIRCUITS CORPORATION | REV: 5/28/02 |
| ADDRESS: 31 SEA CLIFF AVE | ID1: N-000003 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-ACTIVE FACILITY |
| CONTACT: | PHONE: |
| SOURCE: | |

TANK TYPE: STEEL
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: INTERNAL LINING
EXTERNAL PROTECTION: NONE
PIPING: STEEL/ IRON

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | | |
|--|---------------------------------------|--|
| TANK NUMBER: 0069 | TANK STATUS: IN SERVICE | |
| INSTALLED: 041980 | MATERIAL TYPE: WASTE | |
| TANK CAPACITY: 00008000 GALLONS | PRODUCT: TANK, WASTE TREATMENT | |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | | |
|--|---------------------------------------|--|
| TANK NUMBER: 0070 | TANK STATUS: IN SERVICE | |
| INSTALLED: 041980 | MATERIAL TYPE: WASTE | |
| TANK CAPACITY: 00008000 GALLONS | PRODUCT: TANK, WASTE TREATMENT | |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: NO

| | | |
|--|---------------------------------------|--|
| TANK NUMBER: 0083 | TANK STATUS: IN SERVICE | |
| INSTALLED: 101978 | MATERIAL TYPE: FRESH / PRODUCT | |
| TANK CAPACITY: 00000900 GALLONS | PRODUCT: TANK, WATER RINSE | |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS ABOVE GROUND

- More Details Exist For This Site; Max Page Limit Reached -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 10 **DIST/DIR:** 0.00 -- **ELEVATION:** 71 **MAP ID:** 4

| | |
|---|--------------------------|
| NAME: JERICO PUBLIC SCHOOLS | REV: 7/11/11 |
| ADDRESS: RT 107 and CEDAR SWAMP RD | ID1: NYD987007143 |
| JERICO NY 11753 | ID2: |
| NASSAU | STATUS: VGN |
| CONTACT: | PHONE: |
| SOURCE: EPA | |

SITE INFORMATION

CONTACT INFORMATION: THOMAS E WILENSKI
CEDAR SWAMP RD and RTE 107 JERICO HIGH SCHOOL CAMPUS
JERICO NY 11753

PHONE: 5166814100

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

| | |
|--|--------|
| GPRA PERMIT: | N - NO |
| GPRA POST CLOSURE: | N - NO |
| GPRA CA: | N - NO |
| GPRA COMPLIANCE MONITORING and ENFORCEMENT: | N - NO |

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

| | |
|-------------------------|--------|
| SUBJCA: | N - NO |
| SUBJCA TSD 3004: | N - NO |
| SUBJCA NON TSD: | N - NO |

| | |
|---|--------|
| SIGNIFICANT NON-COMPLIANCE(SNC): | N - NO |
| BEGINNING OF THE YEAR SNC: | N - NO |
| PERMIT WORKLOAD: | ---- |
| CLOSURE WORKLOAD: | ---- |
| POST CLOSURE WORKLOAD: | ---- |
| PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: | ---- |
| CORRECTIVE ACTION WORKLOAD: | N - NO |

GENERATOR STATUS: CEG - CONDITIONALLY EXEMPT SMALL QUANTITY GENERATORS: GENERATES LESS THAN 100 KG/MONTH OF HAZA

NAIC INFORMATION

ENFORCEMENT INFORMATION:

VIOLATION INFORMATION:

HAZARDOUS WASTE INFORMATION:

Ignitable waste
Lead
Benzene
Tetrachloroethylene

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 49 **DIST/DIR:** 0.00 -- **ELEVATION:** 69 **MAP ID:** 5

| | |
|---|---|
| <p>NAME: LANDROVER OF GLEN COVE ADDRESS: 70 CEDAR SWAMP RD GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 1012512 ID2: 446688 STATUS: ACTIVE PHONE:</p> |
|---|---|

SITE INFORMATION

| | |
|---|----------------------------|
| SPILL DATE: | 3/16/2011 |
| DATE REPORTED: | 3/16/2011 |
| CLOSED DATE: | |
| INSP DATE: | |
| MATERIAL SPILLED: MOTOR OIL | AMOUNT SPILLED: G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: G |
| MATERIAL SPILLED: ASBESTOS | AMOUNT SPILLED: L |
| MATERIAL CLASS: HAZARDOUS MATERIAL | AMOUNT RECOVERED: L |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: HOUSEKEEPING
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: OTHER
REGION:
UST TRUST? NO
SPILL INVESTIGATOR: TJDMEEO
SPILL CONTACT: MIKE LEVITTAN
TELEPHONE: (516) 674-8500
SPILLER: LANDROVER OF GLEN COVE
ADDRESS: , NY
TELEPHONE:
REPORTED BY: OTHER
LAST DEC UPDATE: 3/17/2011
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO
CALLER REMARKS: CALLER CLAIMS IMPROPER HANDELING AND DUMPING OF MATERIAL ON SITE
DEC REMARKS:

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 49 **DIST/DIR:** 0.00 -- **ELEVATION:** 69 **MAP ID:** 5

NAME: LANDROVER OF GLEN COVE
ADDRESS: 70 CEDAR SWAMP RD
GLEN COVE NY
NASSAU

REV: 7/26/11
ID1: 1012512
ID2: 446688
STATUS: ACTIVE
PHONE:

CONTACT:
SOURCE: NYSDEC

DO NOT APPEAR TO BE ANY PRIOR REPORTS HERE DR 03/17/11 ____ Hrs: As per MH, the owner left a message for TD. DR
03/17/11 1325 Hrs: Received NRC report 970242- anonymous alleges incorrect handling and disposal of mold, asbestos, and waste oil at the building.
DR 03/17/11 1330 Hrs: Notified TD. DR

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 102 **DIST/DIR:** 0.00 -- **ELEVATION:** 69 **MAP ID:** 5

| | |
|--|---|
| <p>NAME: LAND ROVER GLEN COVE ADDRESS: 70 CEDAR SWAMP RD GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-058153 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
|--|---|

SITE INFORMATION

OWNER: LONG ISLAND AUTOMOTIVE GR
 124 GREENE AVE.
 AMITYVILLE NY 11701

PERMITTEE: LUYSER MOTORS INC.

TANK INFORMATION

| | | | |
|-----------------------|------------------|-----------------------|-----------------|
| TANK NUMBER: | 0001 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 061995 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000280 GALLONS | PRODUCT: | OIL, MOTOR |

TANK TYPE: STEEL
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: INTERNAL LINING
EXTERNAL PROTECTION: UNKNOWN
PIPING: STEEL / IRON

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|--------------------|
| TANK NUMBER: | 0002 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 061995 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000280 GALLONS | PRODUCT: | TRANSMISSION FLUID |

TANK TYPE: STEEL
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: INTERNAL LINING
EXTERNAL PROTECTION: UNKNOWN
PIPING: STEEL / IRON

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|-----------------|
| TANK NUMBER: | 0003 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 061995 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000280 GALLONS | PRODUCT: | WASTE OIL |

TANK TYPE: STEEL

- Continued on next page -

Environmental FirstSearch
Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 102 **DIST/DIR:** 0.00 -- **ELEVATION:** 69 **MAP ID:** 5

NAME: LAND ROVER GLEN COVE
ADDRESS: 70 CEDAR SWAMP RD
GLEN COVE NY 11542
NASSAU

REV: 5/28/02
ID1: N-058153
ID2:
STATUS: HISTORIC-ACTIVE FACILITY
PHONE:

CONTACT:
SOURCE:

| | |
|-------------------------------|----------------------|
| TANK LOCATION: | INDOORS ABOVE GROUND |
| INTERNAL PROTECTION: | INTERNAL LINING |
| EXTERNAL PROTECTION: | UNKNOWN |
| PIPING: | STEEL/ IRON |
| SECONDARY CONTAINMENT: | DOUBLE WALLED TANK |
| LEAK DETECTION: | NONE |
| DISPENSER: | SUCTION |
| FILL TYPE: | GRAVITY |
| PRODUCT GAUGE: | YES |

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 103 **DIST/DIR:** 0.00 -- **ELEVATION:** 69 **MAP ID:** 5

| | |
|---|--|
| <p>NAME: LAND ROVER OF GLEN COVE ADDRESS: 70 CEDAR SWAMP RD GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 4/2/01 ID1: N-056995 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
|---|--|

SITE INFORMATION

OWNER: BRYAN LAZARUS
 1325 WOLVER HOLLOW RD.
 UPPER BRKVILLE

PERMITTEE: CHUCK LUYSTER
 11 AUSTIN LA.
 HUNTINGTON NY 11743

TANK INFORMATION

| | | | |
|-----------------------|------------------|-----------------------|-----------------|
| TANK NUMBER: | 0001 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 111996 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000280 GALLONS | PRODUCT: | OIL, MOTOR |

TANK TYPE: STEEL
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: STEEL/ IRON

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: OTHER
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|--------------------|
| TANK NUMBER: | 0002 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 111996 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000280 GALLONS | PRODUCT: | TRANSMISSION FLUID |

TANK TYPE: STEEL
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: STEEL/ IRON

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: OTHER
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|------------|
| TANK NUMBER: | 0003 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 111996 | MATERIAL TYPE: | WASTE |
| TANK CAPACITY: | 00000280 GALLONS | PRODUCT: | WASTE OIL |

TANK TYPE: STEEL

- Continued on next page -

Environmental FirstSearch
Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 103 **DIST/DIR:** 0.00 -- **ELEVATION:** 69 **MAP ID:** 5

NAME: LAND ROVER OF GLEN COVE **REV:** 4/2/01
ADDRESS: 70 CEDAR SWAMP RD **ID1:** N-056995
GLEN COVE NY 11542 **ID2:**
NASSAU **STATUS:** HISTORIC-ACTIVE FACILITY
CONTACT: **PHONE:**
SOURCE:

TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: STEEL/ IRON

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: OTHER
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: YES

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

| | | | |
|----------------------|--------------------------|----------------------|------------------|
| SEARCH ID: 92 | DIST/DIR: 0.00 -- | ELEVATION: 69 | MAP ID: 5 |
|----------------------|--------------------------|----------------------|------------------|

| | |
|-----------------------------------|---|
| NAME: CONFIDENTIAL | REV: 11/22/02 |
| ADDRESS: 70 CEDAR SWAMP RD | ID1: NAFM-3315 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-NC FIRE MARSHAL |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

Environmental FirstSearch
Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

ERNS

SEARCH ID: 22 **DIST/DIR:** 0.00 -- **ELEVATION:** 69 **MAP ID:** 5

NAME: 70 CEDAR SWAMP RD
ADDRESS: 70 CEDAR SWAMP RD
GLEN COVE NY
NASSAU

REV: 4/18/11
ID1: NRC-970242
ID2:
STATUS: FIXED
PHONE:

CONTACT:
SOURCE: NRC

SITE INFORMATION

THIS INFORMATION WAS OBTAINED FROM THE NATIONAL RESPONSE CENTER

INCIDENT DATE: 16-MAR-2011 11:00
REPORTED DATE: 16-MAR-2011 13:12
TYPE OF INCIDENT: FIXED
CAUSE OF INCIDENT: DUMPING
MEDIUM AFFECTED: LAND
MATERIAL NAME: ASBESTOS
LOCATION: 70 CEDAR SWAMP RD
SUSPECTED COMPANY: LAND ROVER OF GLEN COVE

DESCRIPTION: CALLER STATES THAT MOTOR OIL, ASBESTOS AND BUILDING MATERIALS WITH MOLD ARE BEING INCORRECTLY HANDLED AND DISPOSED OF AT THE BUILDING.

SITE INFORMATION

THIS INFORMATION WAS OBTAINED FROM THE NATIONAL RESPONSE CENTER

INCIDENT DATE: 16-MAR-2011 11:00
REPORTED DATE: 16-MAR-2011 13:12
TYPE OF INCIDENT: FIXED
CAUSE OF INCIDENT: DUMPING
MEDIUM AFFECTED: LAND
MATERIAL NAME: OIL, MISC: MOTOR
LOCATION: 70 CEDAR SWAMP RD
SUSPECTED COMPANY: LAND ROVER OF GLEN COVE

DESCRIPTION: CALLER STATES THAT MOTOR OIL, ASBESTOS AND BUILDING MATERIALS WITH MOLD ARE BEING INCORRECTLY HANDLED AND DISPOSED OF AT THE BUILDING.

SITE INFORMATION

THIS INFORMATION WAS OBTAINED FROM THE NATIONAL RESPONSE CENTER

INCIDENT DATE: 16-MAR-2011 11:00
REPORTED DATE: 16-MAR-2011 13:12
TYPE OF INCIDENT: FIXED
CAUSE OF INCIDENT: DUMPING
MEDIUM AFFECTED: LAND
MATERIAL NAME: UNKNOWN BUILDING MATERIAL WITH MOLD
LOCATION: 70 CEDAR SWAMP RD
SUSPECTED COMPANY: LAND ROVER OF GLEN COVE

DESCRIPTION: CALLER STATES THAT MOTOR OIL, ASBESTOS AND BUILDING MATERIALS WITH MOLD ARE BEING INCORRECTLY HANDLED AND DISPOSED OF AT THE BUILDING.

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 11 **DIST/DIR:** 0.00 -- **ELEVATION:** 69 **MAP ID:** 5

NAME: LAND ROVER GLEN COVE
ADDRESS: 70 CEDAR SWAMP RD
GLEN COVE NY 11542
NASSAU
CONTACT:
SOURCE: EPA

REV: 7/11/11
ID1: NYD013600135
ID2:
STATUS: VGN
PHONE:

SITE INFORMATION

CONTACT INFORMATION: RICH WOLF
70 CEDAR SWAMP RD
GLEN COVE NY 11542

PHONE: 5166748500

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

GPRA PERMIT: N - NO
GPRA POST CLOSURE: N - NO
GPRA CA: N - NO
GPRA COMPLIANCE MONITORING and ENFORCEMENT: N - NO

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

SUBJCA: N - NO
SUBJCA TSD 3004: N - NO
SUBJCA NON TSD: N - NO

SIGNIFICANT NON-COMPLIANCE(SNC): N - NO
BEGINNING OF THE YEAR SNC: N - NO
PERMIT WORKLOAD: ----
CLOSURE WORKLOAD: ----
POST CLOSURE WORKLOAD: ----
PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: ----
CORRECTIVE ACTION WORKLOAD: N - NO

GENERATOR STATUS: CEG - CONDITIONALLY EXEMPT SMALL QUANTITY GENERATORS: GENERATES LESS THAN 100 KG/MONTH OF HAZA

NAIC INFORMATION

ENFORCEMENT INFORMATION:

VIOLATION INFORMATION:

HAZARDOUS WASTE INFORMATION:

The following spent non-halogenated solvents: Xylene, acetone, ethyl acetate, ethyl benzene, ethyl ether, methyl isobutyl ketone, n-butyl alcohol, cyclohexanone, and methanol; all spent solvent mixtures/ blends containing, b

Ignitable waste

Methyl ethyl ketone

The following spent non-halogenated solvents: toluene, methyl ethyl ketone, carbon disulfide, isobutanol, pyridine, benzene, 2-ethoxyethanol, and

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

| | | | |
|----------------------|--------------------------|----------------------|------------------|
| SEARCH ID: 11 | DIST/DIR: 0.00 -- | ELEVATION: 69 | MAP ID: 5 |
|----------------------|--------------------------|----------------------|------------------|

NAME: LAND ROVER GLEN COVE
ADDRESS: 70 CEDAR SWAMP RD
GLEN COVE NY 11542
NASSAU

REV: 7/11/11
ID1: NYD013600135
ID2:
STATUS: VGN
PHONE:

CONTACT:
SOURCE: EPA

2-nitropropane; all spent solvent mixtures/blends containing, before use, a to

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 12 **DIST/DIR:** 0.00 -- **ELEVATION:** 113 **MAP ID:** 6

NAME: LONG ISLAND POWER AUTH ORCHARD SUBSTA
ADDRESS: GROVE ST and CEDAR SWAMP RD
GLEN COVE NY 11542
NASSAU
CONTACT: ROBERT TEETZ
SOURCE: EPA

REV: 6/6/06
ID1: NYR000066464
ID2:
STATUS: LGN
PHONE: 5163916133

SITE INFORMATION

CONTACT INFORMATION: ROBERT TEETZ
445 BROADHOLLOW RD KEYSpan ENERGY
MELVILLE NY 11801

PHONE: 5163916133

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

GPRA PERMIT: N - NO
GPRA POST CLOSURE: N - NO
GPRA CA: N - NO
GPRA COMPLIANCE MONITORING and ENFORCEMENT: N - NO

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

SUBJCA: N - NO
SUBJCA TSD 3004: N - NO
SUBJCA NON TSD: N - NO

SIGNIFICANT NON-COMPLIANCE(SNC): N - NO
BEGINNING OF THE YEAR SNC: N - NO
PERMIT WORKLOAD: ----
CLOSURE WORKLOAD: ----
POST CLOSURE WORKLOAD: ----
PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: ----
CORRECTIVE ACTION WORKLOAD: N - NO
GENERATOR STATUS: LQG - LARGE QUANTITY GENERATORS: GENERATES MORE THAN 1000
KG/MONTH OF HAZARDOUS WASTE

NAIC INFORMATION

ENFORCEMENT INFORMATION:

VIOLATION INFORMATION:

HAZARDOUS WASTE INFORMATION:

D000
Ignitable waste
Lead
X002

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

| | | | |
|----------------------|--------------------------|-----------------------|------------------|
| SEARCH ID: 12 | DIST/DIR: 0.00 -- | ELEVATION: 113 | MAP ID: 6 |
|----------------------|--------------------------|-----------------------|------------------|

NAME: LONG ISLAND POWER AUTH ORCHARD SUBSTA
ADDRESS: GROVE ST and CEDAR SWAMP RD
GLEN COVE NY 11542
NASSAU
CONTACT: ROBERT TEETZ
SOURCE: EPA

REV: 6/6/06
ID1: NYR000066464
ID2:
STATUS: LGN
PHONE: 5163916133

Benzene

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 13 **DIST/DIR:** 0.00 -- **ELEVATION:** 62 **MAP ID:** 7

| | |
|--|--------------------------|
| NAME: NYS DOT BIN 1036889 | REV: 7/11/11 |
| ADDRESS: RTE 107 OVER SEA CLIFF | ID1: NY0000348441 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: VGN |
| CONTACT: | PHONE: |
| SOURCE: EPA | |

SITE INFORMATION

CONTACT INFORMATION: LAURA STAR
VETERANS MEMORIAL HWY
HAUPPAUGE NY 11788

PHONE: 6319526670

CONTACT INFORMATION: BERNARD ESPOSITO
VETERANS MEMORIAL HWY
HAUPPAUGE NY 11788

PHONE: 5164716253

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

| | |
|--|--------|
| GPRA PERMIT: | N - NO |
| GPRA POST CLOSURE: | N - NO |
| GPRA CA: | N - NO |
| GPRA COMPLIANCE MONITORING and ENFORCEMENT: | N - NO |

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

| | |
|-------------------------|--------|
| SUBJCA: | N - NO |
| SUBJCA TSD 3004: | N - NO |
| SUBJCA NON TSD: | N - NO |

| | |
|---|--|
| SIGNIFICANT NON-COMPLIANCE(SNC): | N - NO |
| BEGINNING OF THE YEAR SNC: | N - NO |
| PERMIT WORKLOAD: | ---- |
| CLOSURE WORKLOAD: | ---- |
| POST CLOSURE WORKLOAD: | ---- |
| PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: | ---- |
| CORRECTIVE ACTION WORKLOAD: | N - NO |
| GENERATOR STATUS: | SQG - SMALL QUANTITY GENERATOR: GENERATES 100 - 1000 |
| KG/MONTH OF HAZARDOUS WASTE | |

NAIC INFORMATION

23731 - HIGHWAY, STREET, AND BRIDGE CONSTRUCTION

ENFORCEMENT INFORMATION:

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

| | | | |
|----------------------|--------------------------|----------------------|------------------|
| SEARCH ID: 13 | DIST/DIR: 0.00 -- | ELEVATION: 62 | MAP ID: 7 |
|----------------------|--------------------------|----------------------|------------------|

| | |
|--|--------------------------|
| NAME: NYS DOT BIN 1036889 | REV: 7/11/11 |
| ADDRESS: RTE 107 OVER SEA CLIFF GLEN COVE NY 11542 NASSAU | ID1: NY0000348441 |
| CONTACT: | ID2: |
| SOURCE: EPA | STATUS: VGN |
| | PHONE: |

VIOLATION INFORMATION:

HAZARDOUS WASTE INFORMATION:

Lead

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

| | | | |
|----------------------|--------------------------|----------------------|------------------|
| SEARCH ID: 80 | DIST/DIR: 0.00 -- | ELEVATION: 53 | MAP ID: 8 |
|----------------------|--------------------------|----------------------|------------------|

| | |
|----------------------------------|---|
| NAME: CONFIDENTIAL | REV: 11/22/02 |
| ADDRESS: 30 SEA CLIFF AVE | ID1: NAFM-4354 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-NC FIRE MARSHAL |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 14 **DIST/DIR:** 0.00 -- **ELEVATION:** 53 **MAP ID:** 8

| | |
|--|--|
| NAME: PALL CORPORATION ADDRESS: 30 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: WILLIAM D BENZINGER SOURCE: EPA | REV: 6/6/06 ID1: NYD002054419 ID2: STATUS: LGN PHONE: 5164845400 9969 |
|--|--|

SITE INFORMATION

CONTACT INFORMATION: LAURIE KRISS
 30 SEA CLIFF AVE
 GLEN COVE NY 11542

PHONE: 5166714000

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

| | |
|--|--------|
| GPRA PERMIT: | N - NO |
| GPRA POST CLOSURE: | N - NO |
| GPRA CA: | N - NO |
| GPRA COMPLIANCE MONITORING and ENFORCEMENT: | Y |

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

| | |
|-------------------------|--------|
| SUBJCA: | N - NO |
| SUBJCA TSD 3004: | N - NO |
| SUBJCA NON TSD: | N - NO |

| | |
|---|---|
| SIGNIFICANT NON-COMPLIANCE(SNC): | N - NO |
| BEGINNING OF THE YEAR SNC: | N - NO |
| PERMIT WORKLOAD: | ---- |
| CLOSURE WORKLOAD: | ---- |
| POST CLOSURE WORKLOAD: | ---- |
| PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: | ---- |
| CORRECTIVE ACTION WORKLOAD: | N - NO |
| GENERATOR STATUS: | LQG - LARGE QUANTITY GENERATORS: GENERATES MORE THAN 1000 |
| KG/MONTH OF HAZARDOUS WASTE | |

NAIC INFORMATION

333319 - OTHER COMMERCIAL AND SERVICE INDUSTRY MACHINERY MANUFACTURING
 54138 - TESTING LABORATORIES
 334512 - AUTOMATIC ENVIRONMENTAL CONTROL MANUFACTURING FOR RESIDENTIAL, COMMERCIAL, AND APPLIANCE USE
 333911 - PUMP AND PUMPING EQUIPMENT MANUFACTURING
 333999 - ALL OTHER MISCELLANEOUS GENERAL PURPOSE MACHINERY MANUFACTURING

ENFORCEMENT INFORMATION:

| | | | |
|----------------|------------------------|--------------|------------|
| AGENCY: | S - STATE | DATE: | 11/20/1991 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 12/20/1994 |

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 14 **DIST/DIR:** 0.00 -- **ELEVATION:** 53 **MAP ID:** 8

| | |
|-------------------------------------|-------------------------------|
| NAME: PALL CORPORATION | REV: 6/6/06 |
| ADDRESS: 30 SEA CLIFF AVE | ID1: NYD002054419 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: LGN |
| CONTACT: WILLIAM D BENZINGER | PHONE: 5164845400 9969 |
| SOURCE: EPA | |

| | |
|----------------|-----------------------------------|
| TYPE: | 120 - WRITTEN INFORMAL |
| AGENCY: | S - STATE DATE: 3/29/1985 |
| TYPE: | 120 - WRITTEN INFORMAL |
| AGENCY: | S - STATE DATE: 11/29/1989 |
| TYPE: | 120 - WRITTEN INFORMAL |
| AGENCY: | S - STATE DATE: 1/20/1989 |
| TYPE: | 120 - WRITTEN INFORMAL |
| AGENCY: | E - EPA DATE: 12/6/1989 |
| TYPE: | 120 - WRITTEN INFORMAL |
| AGENCY: | S - STATE DATE: 11/12/1993 |
| TYPE: | 120 - WRITTEN INFORMAL |
| AGENCY: | S - STATE DATE: 6/17/1986 |
| TYPE: | 120 - WRITTEN INFORMAL |

VIOLATION INFORMATION:

| | | | |
|--------------------------|--|-----------------------|-----------|
| VIOLATION NUMBER: | 0001 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 12/11/1984 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 6/27/1985 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |
| VIOLATION NUMBER: | 0002 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 10/9/1985 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 7/18/1986 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |
| VIOLATION NUMBER: | 0003 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 12/9/1988 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 2/28/1989 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |
| VIOLATION NUMBER: | 0004 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 10/20/1989 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 1/10/1990 | | |
| TYPE: | GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | | |
| VIOLATION NUMBER: | 0005 | RESPONSIBLE: | S - STATE |
| DETERMINED: | 10/20/1989 | DETERMINED BY: | S - STATE |
| CITATION: | | | |
| RESOLVED: | 12/21/1989 | | |
| TYPE: | GENERATOR-LAND BAN REQUIREMENTS | | |

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 14 **DIST/DIR:** 0.00 -- **ELEVATION:** 53 **MAP ID:** 8

| | |
|-------------------------------------|-------------------------------|
| NAME: PALL CORPORATION | REV: 6/6/06 |
| ADDRESS: 30 SEA CLIFF AVE | ID1: NYD002054419 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: LGN |
| CONTACT: WILLIAM D BENZINGER | PHONE: 5164845400 9969 |
| SOURCE: EPA | |

| | |
|---|---------------------------------|
| VIOLATION NUMBER: 0006 | RESPONSIBLE: S - STATE |
| DETERMINED: 11/20/1991 | DETERMINED BY: S - STATE |
| CITATION: | |
| RESOLVED: 2/4/1992 | |
| TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | |

| | |
|--|---------------------------------|
| VIOLATION NUMBER: 0007 | RESPONSIBLE: S - STATE |
| DETERMINED: 11/12/1993 | DETERMINED BY: S - STATE |
| CITATION: | |
| RESOLVED: 12/14/1993 | |
| TYPE: GENERATOR-MANIFEST REQUIREMENTS | |

| | |
|---|---------------------------------|
| VIOLATION NUMBER: 0008 | RESPONSIBLE: S - STATE |
| DETERMINED: 11/12/1993 | DETERMINED BY: S - STATE |
| CITATION: | |
| RESOLVED: 12/14/1993 | |
| TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | |

| | |
|---|---------------------------------|
| VIOLATION NUMBER: 0009 | RESPONSIBLE: S - STATE |
| DETERMINED: 12/20/1994 | DETERMINED BY: S - STATE |
| CITATION: | |
| RESOLVED: 1/24/1995 | |
| TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT) | |

HAZARDOUS WASTE INFORMATION:

Corrosive waste
D000
Ignitable waste
Reactive waste

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

INSTCONTROL

SEARCH ID: 149 **DIST/DIR:** 0.00 -- **ELEVATION:** 53 **MAP ID:** 8

| | |
|----------------------------------|----------------------------|
| NAME: PALL CORPORATION | REV: 2/5/08 |
| ADDRESS: 30 SEA CLIFF AVE | ID1: 130053B |
| GLEN COVE NY 11542 | ID2: 58533.00 |
| NASSAU | STATUS: HISTORIC-IC |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

BCP = BROWNFIELD CLEANUP PROGRAM
ERP = ENVIRONMENTAL RESTORATION PROGRAM

SIZE (ACRES): 4.660 **REGION:** 1

CLASS CODE:

DESCRIPTION:

The site is located in the Sea Cliff Avenue Industrial Area and includes both the Pall Corporation and August Thomsen facilities. Pall, which manufactures filtration products, was founded in 1946 and moved to 30 Sea Cliff Avenue some years later. August

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

Mishandling, incidental spillage or improper disposal of hazardous wastes relative to the various activities at this site have resulted in contamination of the local groundwater.

ASSESSMENT OF HEALTH PROBLEMS:

Contaminated groundwater is present on-site and in a plume downgradient of the site. A nearby public water supply wellfield was closed in 1977 because of contamination related to this and other sites in the Sea Cliff Industrial Area. On-site exposures t

SITE TYPE:

| | |
|---------------------|----------------------|
| OPEN DUMP: 0 | STRUCTURE: -1 |
| LAGOON: 0 | LANDFILL: 0 |
| POND: 0 | |

SITE OWNER/OPERATOR INFORMATION

MULTIPLE

ZZ
UNITED STATES OF AMERICA

SITE OWNER/OPERATOR INFORMATION

PALL CORPORATION

30-36 SEA CLIFF AVENUE
GLEN COVE NY 11542
UNITED STATES OF AMERICA

SITE OWNER/OPERATOR INFORMATION

PALL CORPORATION

30 SEA CLIFF AVE.
GLEN COVE NY 11542
UNITED STATES OF AMERICA

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

INSTCONTROL

SEARCH ID: 149 **DIST/DIR:** 0.00 -- **ELEVATION:** 53 **MAP ID:** 8

| | |
|--|---|
| <p>NAME: PALL CORPORATION ADDRESS: 30 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 2/5/08 ID1: 130053B ID2: 58533.00 STATUS: HISTORIC-IC PHONE:</p> |
|--|---|

SITE OWNER/OPERATOR INFORMATION

PALL CORPORATION

 36 SEA CLIFF AVE.
 GLEN COVE NY 11542
 UNITED STATES OF AMERICA

SITE OWNER/OPERATOR INFORMATION

PALL CORPORATION

 ZZ
 UNITED STATES OF AMERICA

SITE OWNER/OPERATOR INFORMATION

PALL CORPORATION

 25 HARBOR PARK DRIVE
 PORT WASHINGTON NY 11050
 UNITED STATES OF AMERICA

INSTITUTIONAL AND ENGINEERING CONTROLS

| CONTROL TYPE | CONTROL NAME |
|--------------|------------------------------|
| INST | LANDUSE RESTRICTION |
| INST | GROUND WATER USE RESTRICTION |
| INST | ENVIRONMENTAL EASEMENT |

WASTE MATERIALS

| WASTE NAME | WASTE QUANTITY |
|---------------------------|----------------|
| TETRACHLOROETHYLENE (PCE) | UNKNOWN |
| TRICHLOROETHENE (TCE) | UNKNOWN |

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 107 **DIST/DIR:** 0.00 -- **ELEVATION:** 53 **MAP ID:** 8

| | |
|----------------------------------|---|
| NAME: PALL CORPORATION | REV: 5/28/02 |
| ADDRESS: 30 SEA CLIFF AVE | ID1: N-000004 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-ACTIVE FACILITY |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

OWNER: PALL CORPORATION
2200 NORTHERN BLVD.
EAST HILLS NY 11548

PERMITTEE: PALL CORPORATION

TANK INFORMATION

| | |
|--|--------------------------------|
| TANK NUMBER: 0001 | TANK STATUS: IN SERVICE |
| INSTALLED: 011956 | MATERIAL TYPE: WASTE |
| TANK CAPACITY: 00004500 GALLONS | PRODUCT: CAUSTICS |

| | |
|-----------------------------|-------------------------------|
| TANK TYPE: | FIBERGLASS REINFORCED PLASTIC |
| TANK LOCATION: | INDOORS ABOVE GROUND |
| INTERNAL PROTECTION: | INTERNAL LINING |
| EXTERNAL PROTECTION: | FIBERGLASS REINFORCED PLASTIC |
| PIPING: | OTHER |

| | |
|-------------------------------|----------------|
| SECONDARY CONTAINMENT: | DIKING AND PAD |
| LEAK DETECTION: | NONE |
| DISPENSER: | SUCTION |
| FILL TYPE: | PUMPED |
| PRODUCT GAUGE: | YES |

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 89 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

NAME: CONFIDENTIAL
ADDRESS: 45 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 11/22/02
ID1: NAFM-4462
ID2:
STATUS: HISTORIC-NC FIRE MARSHAL
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SWL

SEARCH ID: 72 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

NAME: A-1 RECYCLING AND SALVAGE
ADDRESS: 45 SEACLIFF AVE
GLEN COVE NY 11542
NASSAU
CONTACT:
SOURCE: NY DEC

REV: 2/1/11
ID1: 1-30M42R
ID2: 30M42R
STATUS: INACTIVE
PHONE:

SITE INFORMATION

OWNER INFORMATION

NAME:
TYPE:
ADDRESS:
EMAIL:
PHONE:

CONTACT INFORMATION

NAME:
ADDRESS:

EMAIL:
PHONE:

ACTIVE: NO
ACTIVITY DESC: SOURCE SEPARATED SOLID WASTE RECYCLABLES
REG STATUS:
WASTE TYPE: PAPER (ALL TYPES)
ACTIVITY NUMBER: 30M42R
AUTH NUMBER: NONE
AUTH ISSUE DATE:
EXPIRATION DATE:
EAST COORDINATE:
NORTH COORDINATE:
ACCURACY:

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 116 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

| | |
|--|-----------------------|
| NAME: A-1 RECYCLING and SALVAGE | REV: 7/26/11 |
| ADDRESS: 45 SEA CLIFF AVE | ID1: 9012049 |
| GLEN COVE NY | ID2: 200336 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 2/15/1991
DATE REPORTED: 2/15/1991
CLOSED DATE: 3/22/1991

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: TANK TESTER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: KMYAGER
SPILL CONTACT:
TELEPHONE:

SPILLER: A-1 RECYCLING and SALVAGE

ADDRESS: , ZZ
TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 3/22/1991
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: 5K TANK TEST INCONCLUSIVE, CONSIDERED FAILURE, 5K, TANK SPEC TESTER

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was DEROSA 03/22/91: TANK REMOVAL, 10 YDS REMOVED. NO FURTHER ACTION NEEDED.

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 131 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

| | |
|----------------------------------|-----------------------|
| NAME: KEYCO MOTOR FREIGHT | REV: 7/26/11 |
| ADDRESS: 45 SEA CLIFF AVE | ID1: 8800337 |
| GLEN COVE NY | ID2: 200335 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 4/11/1988 **DATE REPORTED:** 4/11/1988
CLOSED DATE: 5/20/1988 **INSP DATE:**

MATERIAL SPILLED: DIESEL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: TANK TESTER
CALLER REMARKS: 2-4K TANKS WITH WATER IN THEM, 1-4K DIESEL. ALL THREE FAILED. UNICO TESTER.

REGION:
UST TRUST? YES

SPILL INVESTIGATOR: KDGOERTZ
SPILL CONTACT:
TELEPHONE:

SPILLER: KEYCO MOTOR FREIGHT

ADDRESS: 45B SEACLIFF AVENUE
GLEN COVE, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 6/28/2006
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was GOERTZ FD 05/06/88: UNICO RETESTED ALL 3 TANKS AFTER UNICO INSTALLED STICK LINES TO BLEED AIR POCKETS and SYSTEMS PASSED. DEC NOT PRESENT DURING RETEST. FILE HAS BEEN DESTROYED ACCORDING TO STATE ARCHIVE AND RECORD ADMINISTRATOR RETENTION/DISPOSAL PROCEDURES

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 75 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

| | |
|--|---|
| <p>NAME: A-1 RECYCLING and SALVAGE ADDRESS: 45 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 10-15-97 ID1: N-055569 ID2: STATUS: HISTORIC- PHONE:</p> |
|--|---|

TANK DETAIL(s)

| | | |
|-------------------------|---------------------------------------|--|
| TANK No.: 0004 | STATUS: IN SERVICE | |
| INSTALLED: 05/92 | MATERIAL TYPE: FRESH / PRODUCT | |
| CAPACITY: 1000 | PRODUCT: OIL, HYDRAULIC | |

| | |
|-----------------------------|---------------------------|
| TANK TYPE: | STEEL |
| LOCATION: | INDOORS ABOVEGROUND |
| INTERNAL PROTECTION: | NONE |
| EXTERNAL PROTECTION: | PAINTED / ASPHALT COATING |
| PIPING: | STEEL/ IRON |

| | | |
|-------------------------------|---------|---------------------------|
| SECONDARY CONTAINMENT: | OTHER | |
| LEAK DETECTION: | NONE | |
| DISPENSER: | SUCTION | |
| FILL TYPE: | GRAVITY | PRODUCT GAUGE: YES |

◇-----◇-----◇

| | | |
|-------------------------|-----------------------------|--|
| TANK No.: 0005 | STATUS: IN SERVICE | |
| INSTALLED: 05/92 | MATERIAL TYPE: WASTE | |
| CAPACITY: 275 | PRODUCT: WASTE OIL | |

| | |
|-----------------------------|---------------------------|
| TANK TYPE: | STEEL |
| LOCATION: | INDOORS ABOVEGROUND |
| INTERNAL PROTECTION: | NONE |
| EXTERNAL PROTECTION: | PAINTED / ASPHALT COATING |
| PIPING: | STEEL/ IRON |

| | | |
|-------------------------------|---------|---------------------------|
| SECONDARY CONTAINMENT: | OTHER | |
| LEAK DETECTION: | NONE | |
| DISPENSER: | SUCTION | |
| FILL TYPE: | GRAVITY | PRODUCT GAUGE: YES |

◇-----◇-----◇

| | | |
|-------------------------|---------------------------------------|--|
| TANK No.: 0006 | STATUS: IN SERVICE | |
| INSTALLED: 05/92 | MATERIAL TYPE: FRESH / PRODUCT | |
| CAPACITY: 275 | PRODUCT: OIL, MOTOR | |

| | |
|-----------------------------|---------------------------|
| TANK TYPE: | STEEL |
| LOCATION: | INDOORS ABOVEGROUND |
| INTERNAL PROTECTION: | NONE |
| EXTERNAL PROTECTION: | PAINTED / ASPHALT COATING |
| PIPING: | STEEL/ IRON |

| | | |
|-------------------------------|---------|---------------------------|
| SECONDARY CONTAINMENT: | OTHER | |
| LEAK DETECTION: | NONE | |
| DISPENSER: | SUCTION | |
| FILL TYPE: | GRAVITY | PRODUCT GAUGE: YES |

◇-----◇-----◇

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 29 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

| | |
|--|--|
| <p>NAME: PASS AND SEYMOUR ADDRESS: 45 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 130053A ID2: 55788.00 STATUS: PHONE:</p> |
|--|--|

SITE INFORMATION

| | | | |
|--------------------------|----|----------------------|-------|
| REGION: | 1 | SIZE (ACRES): | 7.960 |
| <u>SITE TYPE:</u> | | | |
| OPEN DUMP: | NO | STRUCTURE: | YES |
| LAGOON: | NO | LANDFILL: | NO |
| POND: | NO | | |

SITE OWNER/OPERATOR INFORMATION:

| | |
|-----------------|---|
| NAME: | |
| COMPANY: | SLATER ELECTRIC / ENAL DEVELOPMENT C |
| ADDRESS: | ZZ |
| COUNTRY: | UNITED STATES OF AMERICA |
| NAME: | |
| COMPANY: | SLATER DEVELOPMENT CORP. - PASS AND SEYMOUR |
| ADDRESS: | 45 SEA CLIFF AVENUE GLEN COVE NY 11542 |
| COUNTRY: | UNITED STATES OF AMERICA |
| NAME: | |
| COMPANY: | ALPHA FORTY FIVE, LLC |
| ADDRESS: | 31 SEA CLIFF AVENUE GLEN COVE NY 11542 |
| COUNTRY: | UNITED STATES OF AMERICA |
| NAME: | |
| COMPANY: | SLATER ELECTRIC / ENAL DEVELOPMENT C |
| ADDRESS: | 45 SEA CLIFF AVE. GLEN COVE NY 11542 |
| COUNTRY: | UNITED STATES OF AMERICA |
| NAME: | |
| COMPANY: | SLATER ELECTRIC / ENAL DEVELOPMENT C |
| ADDRESS: | 31 SEA CLIFF AVE. GLEN COVE NY 11542 |
| COUNTRY: | UNITED STATES OF AMERICA |

| | |
|--------------------------------|-------------------------|
| <u>HAZARDOUS WASTE:</u> | <u>QUANTITY:</u> |
| TETRACHLOROETHYLENE (FOO1) | UNKNOWN |

HAZARDOUS WASTE DISPOSAL PERIOD: 1959 TO present

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

The primary contaminants of concern at the site known at this time are PCE and breakdown products. Investigations indicate that a plume of groundwater contamination extends from the site to the north along the Glen Cove Creek. PCE and TCE are in exceedance of SCGs. Mishandling, incidental spillage

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 29 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

NAME: PASS AND SEYMOUR
ADDRESS: 45 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: 130053A
ID2: 55788.00
STATUS:
PHONE:

CONTACT:
SOURCE: NYSDEC

or improper disposal of hazardous wastes relative to the various activities at this site have resulted in contamination of the local groundwater that exceeds SCGs.

ASSESSMENT OF HEALTH PROBLEMS:

Exposure to contaminated soil is not expected because access to the site is restricted. A nearby public water supply wellfield was closed in 1977 because of contamination related to this and other sites in the Sea Cliff Industrial Area. Elevated levels of soil vapor have been documented beneath some of the on-site buildings. To reduce the potential for indoor air to be adversely impacted by contaminated soil vapor, a soil vapor extraction system has been installed. Indoor air sampling at the nearest downgradient non-industrial facility has shown that the groundwater contamination has the potential to impact indoor air. Additional monitoring is required to assess the potential for off-site indoor air impacts.

DESCRIPTION:

The Pass and Seymour property is located in the Sea Cliff Avenue Industrial Area, an urban area in Nassau County, NY. The site is occupied by several industrial and warehouse buildings. It was constructed in 1959 and used as an industrial facility by Slater Electric. During 1988, Pass and Seymour, began operations at the premises, which is currently owned by the Photocircuits Corporation. Pass and Seymour produces electric components using an injection molding process. The manufacturing process includes a degreasing operation which uses tetrachloroethylene (PCE) as the solvent. The solvent is stored in two tanks located outside of the building. A Preliminary Site Assessment (PSA), completed in 1994, used existing data from previous investigations. The PSA showed that PCE was found in the soil beneath the site, indicating past disposal of this compound on the property. PCE was also found in the groundwater under the site, at concentrations well above the applicable NYS Part 703 Class GA standard. This contamination is presenting a significant threat to the environment. A site investigation was carried out in January 1997. Based on the results of this investigation, a Remedial Investigation/Interim Remedial Measure (RI/IRM) workplan was finalized in March 1997 and was conducted in 1998. Additional data collection to refine the remedial design and a pilot test for an AS/SVE IRM were done in 1999. The AS/SVE system was constructed in the summer of 2000 and is currently running satisfactorily, however, groundwater sampling results from January 2001 still show unacceptable levels of contamination in downgradient groundwater. Several alterations to system to get better coverage in 2002-2005. As of Feb 2007, the AS/SVE system is still operating.

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 113 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

| | |
|-----------------------------------|----------------------------|
| NAME: SLATER ELECTRIC INC. | REV: 7/26/11 |
| ADDRESS: 45 SEA CLIFF AVE | ID1: CBS1-000038 |
| GLEN COVE NY 11542 | ID2: 340593.00 |
| NASSAU | STATUS: UNREGULATED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

| | | | |
|-------------------------------|--|----------------|------------------|
| TANK NUMBER: | 00010 | STATUS: | CLOSED - REMOVED |
| INSTALLED: | 07/90 | CLOSED: | UNKNOWN |
| TANK CAPACITY: | 275 GALLONS | | |
| SUBSTANCE STORED: | TETRACHLOROETHYLENE | | |
| SUBSTANCE DESCRIPTION: | SINGLE HAZARDOUS SUBSTANCE ON DEC LIST | | |
| HAZARDOUS SUBSTANCE %: | 100 | | |

| | |
|-------------------------------|---|
| TANK TYPE: | STEEL/CARBON STEEL |
| TANK LOCATION: | ABOVEGROUND ON SADDLES, LEGS, STILTS, RACK, OR CRADLE |
| INTERNAL PROTECTION: | NONE |
| EXTERNAL PROTECTION: | OTHER |
| SECONDARY CONTAINMENT: | DIKING |

| | |
|-------------------------------|------------------|
| PIPE TYPE: | GALVANIZED STEEL |
| PIPE LOCATION: | ABOVE GROUND |
| INTERNAL PROTECTION: | NONE |
| EXTERNAL PROTECTION: | NONE |
| SECONDARY CONTAINMENT: | OTHER |

| | |
|-----------------------------|---------------------|
| LEAK DETECTION: | NONE |
| OVERFILL PROTECTION: | PRODUCT LEVEL GAUGE |

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

VCP

SEARCH ID: 148 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

NAME: PASS AND SEYMORE
ADDRESS: 45 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 7/1/07
ID1: V00091
ID2:
STATUS: HISTORIC-VCP
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

REGION: 1
TYPE OF PROGRAM: VOLUNTARY CLEANUP PROGRAM
SITE DESCRIPTION:
HAZARDOUS WASTE DISPOSAL: **QUANTITY:**

ENVIRONMENTAL PROBLEM:
HEALTH PROBLEM:

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 108 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

NAME: PASS and SEYMOUR/LEGRAND
ADDRESS: 45 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV:
ID1: N-001288
ID2:
STATUS:
PHONE:

CONTACT:
SOURCE:

| | <u>Tanks</u> | <u>Installed</u> | <u>Capacity</u> |
|-------------------|--------------|------------------|-----------------|
| CURRENT: | 5 | JAN 78 | 275-20000 |
| REMOVED: | 0 | | |
| PERMANENT: | 0 | | |
| UNKNOWN: | 0 | | |
| TEMP: | 0 | | |
| CLOSED: | 0 | | |

PRODUCTS: WASTE OIL, OIL, HYDRAULIC, OIL, FUEL 2
TANK MATERIAL: STEEL
PIPE MATERIAL: GALVANIZED STEEL

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 141 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

| | |
|--|--|
| NAME: SLATER ELECTRIC INC ADDRESS: 45 SEA CLIFF AVE GLEN COVE NY NASSAU CONTACT: SOURCE: NY DEC | REV: 7/26/11 ID1: 8707417 ID2: 266508 STATUS: CLOSED PHONE: |
|--|--|

SITE INFORMATION

| | |
|-------------------------------|----------------------------------|
| SPILL DATE: 11/30/1987 | DATE REPORTED: 11/30/1987 |
| CLOSED DATE: 6/29/1989 | INSP DATE: |

| | |
|-------------------------------------|------------------------------|
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: TANK TESTER
CALLER REMARKS: 10K U/G FAILED PETROTITE TEST-NO LEAK RATE-WOULDNT HOLD IN STANDPIPE

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: CXONEILL
SPILL CONTACT:
TELEPHONE:

SPILLER: SLATER ELECTRIC INC.
ADDRESS: 45 SEACLIFF AVENUE
 GLEN COVE, NY 11542

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 7/3/1989
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was O NEILL / / : SHUTDOWN. SLATER ELECTRIC WILL PUMP OUT. 06/29/89: MONITORING WELLS AT THIS LOCATION HAVE NOT SHOWED FLOATING OR DISSOLVED PRODUCT FOR OVER A YEAR. THE TANK HAS BEEN FILLED WITH CEMENT.

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

| | | | |
|----------------------|--------------------------|----------------------|------------------|
| SEARCH ID: 88 | DIST/DIR: 0.00 -- | ELEVATION: 66 | MAP ID: 9 |
|----------------------|--------------------------|----------------------|------------------|

| | |
|-----------------------------------|---|
| NAME: CONFIDENTIAL | REV: 11/22/02 |
| ADDRESS: 45B SEA CLIFF AVE | ID1: NAFM-4463 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-NC FIRE MARSHAL |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 36 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

| | |
|---|---|
| <p>NAME: A-1 RECYCLING and SALVAGE ADDRESS: 45 SEA CLIFF AVE GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 9012049 ID2: 200336 STATUS: CLOSED PHONE:</p> |
|---|---|

SITE INFORMATION

SPILL DATE: 2/15/1991
DATE REPORTED: 2/15/1991
CLOSED DATE: 3/22/1991

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: TANK TESTER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: KMYAGER
SPILL CONTACT:
TELEPHONE:

SPILLER: A-1 RECYCLING and SALVAGE

ADDRESS: , ZZ
TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 3/22/1991
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: 5K TANK TEST INCONCLUSIVE, CONSIDERED FAILURE, 5K, TANK SPEC TESTER

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was DEROSA 03/22/91: TANK REMOVAL, 10 YDS REMOVED. NO FURTHER ACTION NEEDED.

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 16 **DIST/DIR:** 0.00 -- **ELEVATION:** 66 **MAP ID:** 9

NAME: PLANET WASTE MGMT INC
ADDRESS: 45 B SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU
CONTACT: KENNETH CHIARELLA
SOURCE: EPA

REV: 7/8/03
ID1: NYD986984276
ID2:
STATUS: TR
PHONE: 5166717394

DETAILS NOT AVAILABLE

UST

SEARCH ID: 111 **DIST/DIR:** 0.00 -- **ELEVATION:** 104 **MAP ID:** 10

NAME: RALLYE LEX
ADDRESS: 20 CEDAR SWAMP RD
GLEN COVE NY 11542
NASSAU
CONTACT:
SOURCE: NY DEC

REV: 7/26/11
ID1: PBS1-000441
ID2:
STATUS: UNREGISTERED
PHONE:

PETROLEUM BULK STORAGE FACILITY INFORMATION

SITE STATUS: ACTIVE
EXPIRATION DATE: 2013/05/05

SITE STATUS: UNREGISTERED
EXPIRATION DATE: N/A

CONTACT INFORMATION

TANK INFORMATION

HISTORIC TANK INFORMATION FROM 2007

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 18 **DIST/DIR:** 0.00 -- **ELEVATION:** 104 **MAP ID:** 10

| | |
|---|--|
| <p>NAME: RALLYE MOTORS, INC. ADDRESS: 20 CEDAR SWAMP RD GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: EPA</p> | <p>REV: 7/11/11 ID1: NYD013600523 ID2: STATUS: VGN PHONE:</p> |
|---|--|

CONTACT INFORMATION:

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

GPRA CA BASELINE UNIVERSE: NO
GPRA CA 2008: NO

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

SUBJCA: NO
SUBJCA TSD 3004: NO
SUBJCA NON TSD: NO
SUBJCA TSD DISCRETION: NO

PERMIT WORKLOAD: ----
CLOSURE WORKLOAD: ----
POST CLOSURE WORKLOAD: ----

PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: ----

CORRECTIVE ACTION WORKLOAD: NO
GENERATOR STATUS: CEG
TRANSPORTER: UNKNOWN
UNIVERSAL WASTE: UNKNOWN
RECYCLER: NO
USED OIL: NO
IMPORTER: UNKNOWN
MIXED WASTE GENERATOR: U
ONSITE BURNER EXEMPT: UNKNOWN
FURNACE EXEMPTION: UNKNOWN
UNDERGROUND INJECTION: NO

NAIC 1:
NAIC 2:
NAIC 3:
NAIC 4:

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 57 **DIST/DIR:** 0.00 -- **ELEVATION:** 104 **MAP ID:** 10

| | |
|---|--|
| <p>NAME: RALLY MOTORS ADDRESS: 20 CEDAR SWAMP RD GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 9515671 ID2: 78607 STATUS: CLOSED PHONE:</p> |
|---|--|

SITE INFORMATION

SPILL DATE: 3/6/1996
DATE REPORTED: 3/6/1996
CLOSED DATE: 8/14/1996

| | |
|-----------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: GASOLINE | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: OTHER
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: LOCAL AGENCY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: SCHULZ
SPILL CONTACT: BLANK
TELEPHONE:

SPILLER: RALLY MOTORS
 BLANK
ADDRESS: 20 CEDAR SWAMP ROAD
 GLEN COVE, ZZ
TELEPHONE:

REPORTED BY: LOCAL AGENCY

LAST DEC UPDATE: 8/15/1996
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: DURING ROUTINE TANK REMOVAL OF A 4000 UST CONTAMINATED SOIL FOUND. NO HOLES OBSERVED BY NCFM IN TANK. EXCAVATION TO BE LEFT OPEN FOR DEC INVESTIGATION. STOCKPILING SOILS. PHOTOS TAKEN BY NCFM.

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 132 **DIST/DIR:** 0.00 -- **ELEVATION:** 104 **MAP ID:** 10

| | |
|-----------------------------------|-----------------------|
| NAME: LEXUS CAR DEALER | REV: 7/26/11 |
| ADDRESS: 20 CEDAR SWAMP RD | ID1: 8907042 |
| GLEN COVE NY 11542 | ID2: 78606 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 10/17/1989 **DATE REPORTED:** 10/17/1989
CLOSED DATE: 1/28/1994 **INSP DATE:**

MATERIAL SPILLED: GASOLINE **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: TANK TESTER
CALLER REMARKS: 2-4K FAILED AT -.100 GPH. TANK SPECIALIST TESTER. LOOSE FITTINGS ON TANK, PUMPED DOWN WILL REPAIR AND RETEST THURSDAY. FM ON SCENE

REGION:
UST TRUST? YES

SPILL INVESTIGATOR: AYLEUNG
SPILL CONTACT:
TELEPHONE:

SPILLER: LEXUS CAR DEALER
 GEORGE MORSE
ADDRESS: 20 CEDARSWAMP ROAD
 GLEN COVE, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 10/21/2008
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was LEUNG 01/28/94: ONE TANK PULLED, NO PROBLEM, THE OTHER TANK PASSED TANK ALONE 11/17/89, NO OTHER ACTIONS NEEDED.

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 84 **DIST/DIR:** 0.00 -- **ELEVATION:** 104 **MAP ID:** 10

NAME: CONFIDENTIAL
ADDRESS: 20 CEDAR SWAMP RD
GLEN COVE NY 11542
NASSAU

REV: 11/22/02
ID1: NAFM-4609
ID2:
STATUS: HISTORIC-NC FIRE MARSHAL
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 112 **DIST/DIR:** 0.00 -- **ELEVATION:** 104 **MAP ID:** 10

| | |
|--|---|
| <p>NAME: RALLYE LEXUS, INC. ADDRESS: 20 CEDAR SWAMP RD GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-041132 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
|--|---|

SITE INFORMATION

OWNER: RALLYE LEASING, INC.
 1600 NORTHERN BLVD.
 ROSLYN NY 11576

PERMITTEE:

TANK INFORMATION

| | | | |
|-----------------------|------------------|-----------------------|------------|
| TANK NUMBER: | 0008 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 121989 | MATERIAL TYPE: | WASTE |
| TANK CAPACITY: | 00002500 GALLONS | PRODUCT: | WASTE OIL |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS BELOW GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: FIBERGLASS REINFORCED PLASTIC
PIPING: DOUBLE WALLED FIBERGLASS

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: ELECTRONIC
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: NO

| | | | |
|-----------------------|------------------|-----------------------|-----------------|
| TANK NUMBER: | 0009 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 121989 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00002500 GALLONS | PRODUCT: | OIL, MOTOR |

TANK TYPE: FIBERGLASS REINFORCED PLASTIC
TANK LOCATION: INDOORS BELOW GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: FIBERGLASS REINFORCED PLASTIC
PIPING: OTHER

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: ELECTRONIC
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: NO

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 19 **DIST/DIR:** 0.00 -- **ELEVATION:** 95 **MAP ID:** 11

| | |
|--|--|
| <p>NAME: S and G CLEANERS ADDRESS: 10 CEDAR SWAMP RD GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: EPA</p> | <p>REV: 7/11/11 ID1: NYD982737678 ID2: STATUS: SGN PHONE:</p> |
|--|--|

SITE INFORMATION

CONTACT INFORMATION: SALVINO CATAUDELLA
 10 CEDAR SWAMP RD
 GLEN COVE NY 11542

PHONE: 5166749604

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

GPRA PERMIT: N - NO
GPRA POST CLOSURE: N - NO
GPRA CA: N - NO
GPRA COMPLIANCE MONITORING and ENFORCEMENT: N - NO

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

SUBJCA: N - NO
SUBJCA TSD 3004: N - NO
SUBJCA NON TSD: N - NO

SIGNIFICANT NON-COMPLIANCE(SNC): N - NO
BEGINNING OF THE YEAR SNC: N - NO
PERMIT WORKLOAD: ----
CLOSURE WORKLOAD: ----
POST CLOSURE WORKLOAD: ----
PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: ----
CORRECTIVE ACTION WORKLOAD: N - NO
GENERATOR STATUS: SQG - SMALL QUANTITY GENERATOR: GENERATES 100 - 1000
 KG/MONTH OF HAZARDOUS WASTE

NAIC INFORMATION

ENFORCEMENT INFORMATION:

VIOLATION INFORMATION:

HAZARDOUS WASTE INFORMATION:

The following spent halogenated solvents: Tetrachloroethylene, methylene chloride, trichloroethylene, 1,1,1-trichloroethane, chlorobenzene, 1,1,2-trichloro-1,2,2-trifluoroethane, ortho-dichlorobenzene, trichlorofluoromethane
 NONE

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 94 **DIST/DIR:** 0.00 -- **ELEVATION:** 63 **MAP ID:** 12

NAME: CONFIDENTIAL
ADDRESS: 59 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 11/22/02
ID1: NAFM-5786
ID2:
STATUS: HISTORIC-NC FIRE MARSHAL
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 20 **DIST/DIR:** 0.00 -- **ELEVATION:** 63 **MAP ID:** 12

| | |
|----------------------------------|--------------------------|
| NAME: T and D TOWING CORP | REV: 7/11/11 |
| ADDRESS: 59 SEA CLIFF AVE | ID1: NYR000072298 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: VGN |
| CONTACT: | PHONE: |
| SOURCE: EPA | |

SITE INFORMATION

CONTACT INFORMATION: TONY DOUSO
59 SEA CLIFF AVE
GLEN COVE NY 11542

PHONE: 5166718810

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

| | |
|--|--------|
| GPRA PERMIT: | N - NO |
| GPRA POST CLOSURE: | N - NO |
| GPRA CA: | N - NO |
| GPRA COMPLIANCE MONITORING and ENFORCEMENT: | N - NO |

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

| | |
|-------------------------|--------|
| SUBJCA: | N - NO |
| SUBJCA TSD 3004: | N - NO |
| SUBJCA NON TSD: | N - NO |

| | |
|---|--------|
| SIGNIFICANT NON-COMPLIANCE(SNC): | N - NO |
| BEGINNING OF THE YEAR SNC: | N - NO |
| PERMIT WORKLOAD: | ---- |
| CLOSURE WORKLOAD: | ---- |
| POST CLOSURE WORKLOAD: | ---- |
| PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: | ---- |
| CORRECTIVE ACTION WORKLOAD: | N - NO |

GENERATOR STATUS: CEG - CONDITIONALLY EXEMPT SMALL QUANTITY GENERATORS: GENERATES LESS THAN 100 KG/MONTH OF HAZA

NAIC INFORMATION

ENFORCEMENT INFORMATION:

VIOLATION INFORMATION:

HAZARDOUS WASTE INFORMATION:

Methyl ethyl ketone
The following spent non-halogenated solvents: Xylene, acetone, ethyl acetate, ethyl benzene, ethyl ether, methyl isobutyl ketone, n-butyl alcohol, cyclohexanone, and methanol; all spent solvent mixtures/ blends containing, b
The following spent non-halogenated solvents: toluene, methyl ethyl ketone, carbon disulfide, isobutanol, pyridine, benzene, 2-ethoxyethanol, and 2-nitropropane; all spent solvent mixtures/blends containing, before use, a to

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

| | | | |
|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 20 | DIST/DIR: 0.00 -- | ELEVATION: 63 | MAP ID: 12 |
|----------------------|--------------------------|----------------------|-------------------|

NAME: T and D TOWING CORP
ADDRESS: 59 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 7/11/11
ID1: NYR000072298
ID2:
STATUS: VGN
PHONE:

CONTACT:
SOURCE: EPA

Lead
Ignitable waste
Chromium
Barium
Arsenic
Selenium

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 105 **DIST/DIR:** 0.00 -- **ELEVATION:** 63 **MAP ID:** 12

NAME: MORRETTO
ADDRESS: 59 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: PBS1-000483
ID2:
STATUS: UNREGISTERED
PHONE:

CONTACT:
SOURCE: NY DEC

PETROLEUM BULK STORAGE FACILITY INFORMATION

SITE STATUS: UNREGISTERED
EXPIRATION DATE: N/A

SITE STATUS: ACTIVE
EXPIRATION DATE: 2011/11/25

CONTACT INFORMATION

TANK INFORMATION

HISTORIC TANK INFORMATION FROM 2007

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

ERNS

SEARCH ID: 23 **DIST/DIR:** 0.00 -- **ELEVATION:** 63 **MAP ID:** 12

| | |
|--|---|
| NAME: ADDRESS: 59 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: OSCAR DIEZ SOURCE: NRC | REV: 12/31/05 ID1: NRC-749886 ID2: STATUS: FIXED PHONE: 5167595622 |
|--|---|

SITE INFORMATION

THIS INFORMATION WAS OBTAINED FROM THE NATIONAL RESPONSE CENTER

| | | |
|-----------------------|-----------------------|-----------------------|
| DATE RECEIVED: | 2/12/2005 11:04:57 AM | DATE COMPLETE: |
| | | |
| CALL TAKER: | WRP4565 | CALL TYPE: INC |

| | |
|---------------------------|--------------------|
| RESPONSIBLE PARTY: | OSCAR DIEZ |
| PHONE 1: | 5167595622 PRIMARY |
| PHONE 2: | |
| PHONE 3: | |

| | |
|-----------------------------|--------------------|
| RESPONSIBLE COMPANY: | OandD AUTO REPAIR |
| ORGANIZATION TYPE: | PRIVATE ENTERPRISE |

| | |
|-----------------|---|
| ADDRESS: | 59 SEA CLIFF AVE BUILDING 5 GLEN COVE NY 11542 |
|-----------------|---|

| | |
|----------------|-----------|
| SOURCE: | TELEPHONE |
|----------------|-----------|

INCIDENT INFORMATION

INCIDENT DESCRIPTION: CALLER REPORTING RESPONSIBLE PARTY IS CARELESSLY SPILLING MANY MATERIALS ON THE PROPERTY SUCH AS OIL AND ANTI-FREEZE

| | | | |
|-----------------------------|----------|----------------------------|----------------|
| INCIDENT TYPE: | FIXED | INCIDENT CAUSE: | OPERATOR ERROR |
| INCIDENT DATE: | 2/1/2005 | INCIDENT DATE DESC: | OCCURRED |
| DISTANCE FROM CITY: | | DISTANCE UNITS: | |
| DIRECTION FROM CITY: | | LOCATION SECTION: | |
| LOCATION TOWNSHIP: | | LOCATION RANGE: | |

| | |
|--|--|
| AIRCRAFT TYPE: AIRCRAFT ID: AIRCRAFT FUEL CAPACITY UNITS: AIRCRAFT FUEL ON BOARD UNITS: AIRCRAFT HANGER: ROAD MILE MARKER: TYPE OF FIXED OBJECT: OTHER GENERATING CAPACITY: NPDES: PIPELINE TYPE: PIPELINE ABOVE GROUND: ABOVE PIPELINE COVERED: U LOCATION SUBDIVISION: TYPE VEHICLE INVOLVED: DEVICE OPERATIONAL: Y | AIRCRAFT MODEL: AIRCRAFT FUEL CAPACITY: AIRCRAFT FUEL ON BOARD: AIRCRAFT SPOT NUMBER: AIRCRAFT RUNWAY NUM: BUILDING ID: POWER GEN FACILITY: N TYPE OF FUEL: NPDES COMPLIANCE: U DOT REGULATED: U EXPOSED UNDERWATER: N GRADE CROSSING: N RAILROAD MILEPOST: CROSSING DEVICE TYPE: |
|--|--|

| | | | |
|-----------------------------|-------|---------------------------------|---|
| DOT CROSSING NUMBER: | | BRAKE FAILURE: | N |
| TANK ABOVE GROUND: | ABOVE | TRANSPORTABLE CONTAINER: | U |

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

ERNS

SEARCH ID: 23 **DIST/DIR:** 0.00 -- **ELEVATION:** 63 **MAP ID:** 12

| | |
|----------------------------------|--------------------------|
| NAME: | REV: 12/31/05 |
| ADDRESS: 59 SEA CLIFF AVE | ID1: NRC-749886 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: FIXED |
| CONTACT: OSCAR DIEZ | PHONE: 5167595622 |
| SOURCE: NRC | |

| | |
|--------------------------------|---------------------------|
| TANK REGULATED: U | TANK REGULATED BY: |
| TANK ID: | CAPACITY OF TANK: |
| CAPACITY OF TANK UNITS: | ACTUAL AMOUNT: |
| ACTUAL AMOUNT UNITS: | PLATFORM RIG NAME: |
| PLATFORM LETTER: | LOCATION AREA ID: |
| LOCATION BLOCK ID: | |

DESCRIPTION OF TANK:

| | |
|----------------------------------|-------------------------------|
| OCSG NUMBER: | OCSP NUMBER: |
| STATE LEASE NUMBER: | PIER DOCK NUMBER: |
| BERTH SLIP NUMBER: | CONTIN RELEASE TYPE: |
| INITIAL CONT RELEASE NUM: | CONT RELEASE PERMIT: |
| ALLISION: N | TYPE OF STRUCTURE: |
| STRUCTURE NAME: | STRUCT OPERATIONAL: U |
| AIRBAG DEPLOYED: | DATE NORMAL SERVICE: |
| SERVICE DISRUPT TIME: | SERVICE DISRUPT UNITS: |
| TRANSIT BUS FLAG: | CR BEGIN DATE: |
| CR END DATE: | CR CHANGE DATE: |

| | |
|-------------------------------|-------------------------------|
| FIRE INVOLVED: N | FIRE EXTINGUISHED: U |
| ANY EVACUATIONS: N | NUMBER EVACUATED: |
| WHO EVACUATED: | RADIUS OF EVACUATION: |
| ANY INJURIES: N | NUMBER INJURED: |
| NUMBER HOSPITALIZED: | ANY FATALITIES: N |
| NUMBER FATALITIES: | ANY DAMAGES: N |
| DAMAGE AMOUNT: | AIR CORRIDOR CLOSED: N |
| AIR CORRIDOR DESC: | AIR CLOSURE TIME: |
| WATERWAY CLOSED: N | WATERWAY DESC: |
| WATERWAY CLOSURE TIME: | ROAD CLOSED: N |
| ROAD DESC: | ROAD CLOSURE TIME: |
| CLOSURE DIRECTION: | MAJOR ARTERY: N |

| | |
|------------------------------------|--|
| TRACK CLOSED: N | TRACK DESC: |
| TRACK CLOSURE TIME: | MEDIA INTEREST: NONE |
| MEDIUM DESC: OTHER | ADDTL MEDIUM INFO: CONCRETE / SOIL / POSSIBLY |
| STORM DRAIN: | TRIBUTARY OF: |
| BODY OF WATER: | RELEASE SECURED: U |
| NEAREST RIVER MILE MARK: | RELEASE RATE: |
| EST DUR OF RELEASE: | ST AGENCY ON SCENE: NONE |
| TRACK CLOSE DIR: | OTHER AGENCY NOTIFIED: |
| ST AGENCY RPT NUM: NONE | AIR TEMPERATURE: |
| WEATHER CONDITIONS: UNKNOWN | WIND DIRECTION: |
| WIND SPEED: | SHEEN SIZE: |
| WATER SUPPLY CONTAM: U | DIR OF SHEEN TRAVEL: |
| SHEEN COLOR: | WAVE CONDITION: |
| SHEEN ODOR DESCRIPTION: | CURRENT DIRECTION: |
| CURRENT SPEED: | |
| WATER TEMPERATURE: | |

| | |
|--------------------------------------|-----------------------|
| DESC OF REMEDIAL ACTION: NONE | PASS FATALITY: |
|--------------------------------------|-----------------------|

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

ERNS

SEARCH ID: 23 **DIST/DIR:** 0.00 -- **ELEVATION:** 63 **MAP ID:** 12

| | |
|----------------------------------|--------------------------|
| NAME: | REV: 12/31/05 |
| ADDRESS: 59 SEA CLIFF AVE | ID1: NRC-749886 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: FIXED |
| CONTACT: OSCAR DIEZ | PHONE: 5167595622 |
| SOURCE: NRC | |

| | | | |
|-----------------------------|------|---------------------------------|------|
| COMMUNITY IMPACT: | N | WIND SPEED UNITS: | |
| EMPLOYEE INJURIES: | | PASSENGER INJURIES: | |
| OCCUPANT FATALITY: | | CURRENT SPEED UNITS: | |
| ROAD CLOSURE UNITS: | | TRACK CLOSURE UNITS: | |
| SHEEN SIZE UNITS: | | STATE AGENCY NOTIFIED: | NONE |
| FED AGENCY NOTIFIED: | NONE | NEAREST RIVER MILE MARK: | |
| SHEEN SIZE LENGTH: | | SHEEN SIZE LENGTH UNITS: | |
| SHEEN SIZE WIDTH: | | SHEEN SIZE WIDTH UNITS: | |
| OFFSHORE: | N | DURATION UNIT: | |
| RELEASE RATE UNIT: | | RELEASE RATE RATE: | |

ADDITIONAL INFO: CALLER IS THE OWNER OF THE PROPERTY WHERE THE MATERIAL IS SPILLED. OWNER HAS MADE SEVERAL REQUESTS TO THE AUTO SHOP TO CLEAN UP MATERIAL WITH NO COOPERATION.

MATERIAL INFORMATION

| | | | |
|--------------------|-----|-----------------------|-------------|
| CHRIS CODE: | EGL | CASE NUMBER: | 000107-21-1 |
| UN NUMBER: | | REACHED WATER: | UNKNOWN |

| | |
|----------------------------|------------------|
| NAME OF MATERIAL: | ETHYLENE GLYCOL |
| AMOUNT OF MATERIAL: | 0 UNKNOWN AMOUNT |
| AMOUNT IN WATER: | 0 UNKNOWN AMOUNT |

| | | | |
|--------------------|-----|-----------------------|-------------|
| CHRIS CODE: | OUN | CASE NUMBER: | 000000-00-0 |
| UN NUMBER: | | REACHED WATER: | UNKNOWN |

| | |
|----------------------------|------------------|
| NAME OF MATERIAL: | UNKNOWN OIL |
| AMOUNT OF MATERIAL: | 0 UNKNOWN AMOUNT |
| AMOUNT IN WATER: | 0 UNKNOWN AMOUNT |

OTHER MATERIAL INFORMATION

MOBILE DETAILS INFORMATION

TRAIN INFORMATION

VESSEL INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 28 **DIST/DIR:** 0.00 -- **ELEVATION:** 62 **MAP ID:** 13

| | |
|---|--|
| <p>NAME: PALL CORPORATION ADDRESS: 30-36 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 130053B ID2: 58533.00 STATUS: PHONE:</p> |
|---|--|

SITE INFORMATION

| | | | |
|--------------------------|----|----------------------|-------|
| REGION: | 1 | SIZE (ACRES): | 4.660 |
| <u>SITE TYPE:</u> | | | |
| OPEN DUMP: | NO | STRUCTURE: | YES |
| LAGOON: | NO | LANDFILL: | NO |
| POND: | NO | | |

SITE OWNER/OPERATOR INFORMATION:

NAME:
COMPANY: PALL CORPORATION
ADDRESS:
 ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: PALL CORPORATION
ADDRESS: 30-36 SEA CLIFF AVENUE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: PALL CORPORATION
ADDRESS: 36 SEA CLIFF AVE.
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: MULTIPLE
ADDRESS:
 NY
COUNTRY: UNKNOWN

NAME:
COMPANY: PALL CORPORATION
ADDRESS: 30 SEA CLIFF AVE.
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: PALL CORPORATION
ADDRESS: 25 HARBOR PARK DRIVE
 PORT WASHINGTON NY 11050
COUNTRY: UNITED STATES OF AMERICA

HAZARDOUS WASTE:
 TRICHLOROETHENE (TCE)

QUANTITY:
 UNKNOWN

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 28 **DIST/DIR:** 0.00 -- **ELEVATION:** 62 **MAP ID:** 13

| | |
|-------------------------------------|----------------------|
| NAME: PALL CORPORATION | REV: 7/26/11 |
| ADDRESS: 30-36 SEA CLIFF AVE | ID1: 130053B |
| GLEN COVE NY 11542 | ID2: 58533.00 |
| NASSAU | STATUS: |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

TETRACHLOROETHYLENE (PCE) UNKNOWN

HAZARDOUS WASTE DISPOSAL PERIOD: 1948 TO 1971

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

Mishandling, incidental spillage or improper disposal of hazardous wastes relative to the various activities at this site have resulted in contamination exceeding standards in the local groundwater. Contaminants include chlorinated solvents, such as tetrachloroethene (PCE) and trichloroethene (TCE), and freon. Total VOC concentrations in groundwater exceed 1,000 parts-per-billion (ppb) on-site and several hundred feet downgradient of the site. Groundwater is contaminated from the water table surface (3 to 8 feet deep) to over 100 feet deep. Individual VOCs exceed groundwater SCGs, most of which are 5 ppb.

ASSESSMENT OF HEALTH PROBLEMS:

Exposure to groundwater contamination and residual soil contamination is not expected because the area is served by public water and nearly the entire site is paved. The potential for exposure to soil vapor intrusion into structures on or near the site will be evaluated and addressed as appropriate.

DESCRIPTION:

The site is located in the Sea Cliff Avenue Industrial Area and includes both the Pall Corporation and August Thomsen facilities. Pall, which manufactures filtration products, was founded in 1946 and moved to 30 Sea Cliff Avenue some years later. August Thomsen is located north of Pall Corporation, at 36 Sea Cliff Avenue, and this property was a research and development facility for Pall's Aerospace Division until 1971. August Thomsen is currently involved in the manufacture of pastry bags and tubes. The Pall Corporation building is currently unoccupied. A day care center and an inactive public water supply wellfield are located north of the site. Pall stored solvents on both of these properties in the past. Spent solvents were released to the ground. This is confirmed by the presence of volatile organic compounds such as PCE and TCE in the soil. These solvents were also found in the groundwater at levels much higher than would be produced by any potential upgradient source. These compounds in particular, were likely mismanaged, spilled or disposed of at the site. Some of the data is from a 1994 PSA, which is largely a compendium of previous investigations, and an interpretation of those results. As part of the Focused Remedial Investigation (FRI), fieldwork began on February 17, 1998 and concluded on March 9, 1998. Further investigation was performed due to elevated levels of VOCs in the groundwater (140,000 ppb PCE, 1500 ppb TCE, and 10,000 ppb 1-2 DCE). The PRP signed a Consent Order to complete a RI/FS Phase II investigation. Thirty six monitoring wells were sampled at the site during the Phase II RI in April 1999, January 2000 and December 2000. VOC contamination (maximum 4,250 ppb total VOCs) was detected in several on-site wells and included PCE, TCE, DCE and Freon. VOC contamination was also detected in groundwater downgradient (north-northwest) of the site. A SVE system was installed to remediate soil contamination at the site. The SVE system was shut down before remediation was complete because too much water was entering the system. A FS and pilot test work plan were approved in 2001 for remediation of groundwater using in-situ chemical oxidation. In December 2002, the pilot test began with injections of potassium permanganate into the contaminated groundwater. A Record of Decision was signed in March 2004 for in-situ chemical oxidation of surface and shallow subsurface contamination. The PRP signed a Remedial Design/Remedial Action consent order in 2004. A second in-situ chemical oxidation pilot test was performed in 2005. The pilot test consisted of injection of Fenton's Reagent into on-site injection wells. The pilot test report was issued in 2006. In 2008, the NYSDEC retained a consultant to prepare the remedial design. Pre-design investigation activities began in 2010.

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

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| | | | |
|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 77 | DIST/DIR: 0.00 -- | ELEVATION: 97 | MAP ID: 14 |
|----------------------|--------------------------|----------------------|-------------------|

| | |
|-----------------------------|---|
| NAME: CONFIDENTIAL | REV: 11/22/02 |
| ADDRESS: 15 HAZEL ST | ID1: NAFM-5473 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-NC FIRE MARSHAL |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 34 **DIST/DIR:** 0.00 -- **ELEVATION:** 97 **MAP ID:** 14

| | |
|--|--|
| <p>NAME: 15 HAZEL STREET ADDRESS: 15 HAZEL ST GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 0202440 ID2: 98965 STATUS: CLOSED PHONE:</p> |
|--|--|

SITE INFORMATION

| | |
|--|------------------------------|
| SPILL DATE: | 4/1/2002 |
| DATE REPORTED: | 6/6/2002 |
| CLOSED DATE: | 6/7/2002 |
| INSP DATE: | |
| MATERIAL SPILLED: UNKNOWN PETROLEUM | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: DELIBERATE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: CITIZEN
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: Unassigned
SPILL CONTACT:
TELEPHONE:

SPILLER: LEXUS DEALERSHIP
ADDRESS: CEDAR SWAMP ROAD
 GLEN COVE, NY
TELEPHONE:

REPORTED BY: CITIZEN

LAST DEC UPDATE: 12/12/2008
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: A FEW MONTHS AGO SOMEONE KNOCKED DOWN THE HOUSE THAT WAS ON 15 TO MAKE IT INTO A PARKING LOT FOR THE LEXUS DEALERSHIP. THEY NEVER REMOVED THE TANK and NOW THE GROUND IS CONTAMINATED and THE SMELL IS TERRIBLE

DEC REMARKS:
 RELATED TO 0203420 (34 GROVE ST- TWO TANKS LEFT ON SITE) AND 0202811 (7 HAZEL ST- DEMOLITION AND TANK REMOVAL)

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 35 **DIST/DIR:** 0.00 -- **ELEVATION:** 94 **MAP ID:** 15

| | |
|--|---|
| <p>NAME: 7 HAZEL STREET ADDRESS: 7 HAZEL ST GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 0202811 ID2: 326222 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

| | |
|-------------------------------------|------------------------------|
| SPILL DATE: | 6/17/2002 |
| DATE REPORTED: | 6/17/2002 |
| CLOSED DATE: | 7/3/2002 |
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: HUMAN ERROR
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: AFFECTED PERSONS
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: wjgabin
SPILL CONTACT: ANTHONY MACEDONIO
TELEPHONE: (516) 676-8324

SPILLER: LEXUS
ADDRESS: 20 CEDAR SWAMP ROAD
 GLEN COVE, NY
TELEPHONE:

REPORTED BY: AFFECTED PERSONS

LAST DEC UPDATE: 12/12/2008
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: CALLER STATES THAT HOUSE AT ABOVE ADDRESS WAS TORE DOWN. APPROX 2 MONTHS AGO UNDERGROUND OIL TANK WAS REMOVED AND PLACED ON PROPERTY. WITH RECENT HEAVY RAINS MATERIAL IS NOW RUNNING OUT OF TANK. PROPERTY IS OWNED AND IS BEING DEVELOPED BY LEXUS CAR DEALERSHIP.

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was GABIN ***RELATED TO 0203420 (34 GROVE ST- TWO TANKS LEFT ON SITE) AND 0202440 (15 HAZEL ST- DEMOLITION AND TANK REMOVAL)*** 6/17/02 TELECON WITH ANTHONY MACEDONIO-NOT HOME-SPOKE TO MARYANN MACEDONIO, CONFIRMED CALLER REMARKS,

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

- Continued on next page -

*Environmental FirstSearch
Site Detail Report*

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 35 **DIST/DIR:** 0.00 -- **ELEVATION:** 94 **MAP ID:** 15

NAME: 7 HAZEL STREET
ADDRESS: 7 HAZEL ST
GLEN COVE NY
NASSAU
CONTACT:
SOURCE: NYSDEC

REV: 7/26/11
ID1: 0202811
ID2: 326222
STATUS: CLOSED
PHONE:

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 41 **DIST/DIR:** 0.00 -- **ELEVATION:** 108 **MAP ID:** 16

| | |
|--|---|
| <p>NAME: FORMER CHURCH ADDRESS: 34 CEDAR SWAMP RD GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 0551689 ID2: 360329 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

SPILL DATE: 12/23/2005
DATE REPORTED: 3/1/2006
CLOSED DATE: 3/6/2006

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: OTHER
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: HEALTH DEPARTMENT
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: Unassigned
SPILL CONTACT: LOUIS EVANGELISTA
TELEPHONE: (718) 937-0707

SPILLER: EASTERN PROPERTY DEVELOPMENT, INC.
 LOUIS EVANGELISTA
ADDRESS: 24-15 QUEENS PLAZA NORTH SUITE 100
 LONG ISLAND CITY, NY 11101
TELEPHONE:

REPORTED BY: HEALTH DEPARTMENT

LAST DEC UPDATE: 2/27/2009
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: NCDH WAS PRESENT FOR TANK REMOVALS ON 12/23/05. NO VISUAL OR OLFACTORY EVIDENCE OF CONTAMINATION. END POINT SAMPLES REVEALED EXCEEDANCE OF TAGM FOR BENZO(A)PYRENE.

DEC REMARKS:
 BASED ON NCDH OBSERVATIONS AND TANK CLOSURE REPORT-NFA

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 44 **DIST/DIR:** 0.00 -- **ELEVATION:** 115 **MAP ID:** 17

| | |
|---|-----------------------|
| NAME: GLEN STREET YARD | REV: 7/26/11 |
| ADDRESS: 2ND ST and CEDAR SWAMP RD | ID1: 0609810 |
| GLEN COVE NY | ID2: 374142 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

| | |
|----------------------------------|------------------------------|
| SPILL DATE: | 11/28/2006 |
| DATE REPORTED: | 11/28/2006 |
| CLOSED DATE: | 5/3/2007 |
| INSP DATE: | |
| MATERIAL SPILLED: DIESEL | AMOUNT SPILLED: G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|-------------------|
| CAUSE OF SPILL: | EQUIPMENT FAILURE |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | RAILROAD CAR |
| REPORTED BY: | OTHER |
| REGION: | |
| UST TRUST? | NO |

| | |
|----------------------------|----------------|
| SPILL INVESTIGATOR: | TJDEMEO |
| SPILL CONTACT: | GREGG KELLY |
| TELEPHONE: | (718) 558-8204 |

| | |
|-------------------|----------------------|
| SPILLER: | GLEN STREET YARD |
| | GREGG KELLY |
| ADDRESS: | CEDAR SWAMP/2ND ROAD |
| | GLEN COVE, NY |
| TELEPHONE: | |

| | |
|---------------------|-------|
| REPORTED BY: | OTHER |
|---------------------|-------|

| | |
|---------------------------------|----------|
| LAST DEC UPDATE: | 1/8/2009 |
| CLEAN UP MEET STANDARDS? | NO |
| PENALTY RECOMMENDED? | NO |

| | |
|------------------------|---|
| CALLER REMARKS: | LEAKING FUEL CAP ON AN ENGINE: - ALL CONTAINED AND CLEANED UP |
|------------------------|---|

DEC REMARKS:
15:12 CALL FROM ADAM MCCOOL, SYSTEMS SAFETY DEPT, CITIZEN REPORTED THAT SOMETHING WAS LEAKING FROM TRAIN. HE WALKED THE TRACKS GLEN STREET TO GLEN COVE STATION. DID NOT OBSERVE ANY SPILL 12/1/07 TJD Site inspection. Demeo walked tracks in vicinity of Glen Street yard. No visible or olfactory evidence of a petroleum release was observed. No further action is required.

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 64 **DIST/DIR:** 0.00 -- **ELEVATION:** 115 **MAP ID:** 17

| | |
|---|-----------------------|
| NAME: UNKNOWN | REV: 7/26/11 |
| ADDRESS: 2ND ST and CEDAR SWAMP RD | ID1: 0502667 |
| GLEN COVE NY | ID2: 347071 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

| | |
|-------------------------------------|---------------------------------|
| SPILL DATE: | 6/6/2005 |
| DATE REPORTED: | 6/6/2005 |
| CLOSED DATE: | 6/6/2005 |
| INSP DATE: | |
| MATERIAL SPILLED: RAW SEWAGE | AMOUNT SPILLED: 1000 G |
| MATERIAL CLASS: OTHER | AMOUNT RECOVERED: 1000 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: True | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: NON MAJOR FACILITY > 1,100 GAL
REPORTED BY: OTHER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: Unassigned
SPILL CONTACT: NICK DESANTIS
TELEPHONE: (516) 676-4402

SPILLER: GLEN COVE PUBLIC WORKS
 NICK DESANTIS
ADDRESS: CEDAR SWAMP/2ND ROAD
 GLEN COVE, NY

TELEPHONE:

REPORTED BY: OTHER

LAST DEC UPDATE: 1/22/2009
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: A BLOCKAGE IN SEWER LINE; ALL REPAIRED AND CLEANED UP;

DEC REMARKS:
 6/6/05 REFERRED TO WATER UNIT 6/6/05 MR MIKE SALATINO, FOREMAN THE OVERFLOW DID NOT READ ANY WATERBODY APPROX 1 BLOCK OF FOUR LINE STREET HAS BEEN CLEANED BY HAND. MR SALATINO WAS NOT SURE WHETHER SOME DISINFECTED HAS BEEN USED

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 59 **DIST/DIR:** 0.00 -- **ELEVATION:** 106 **MAP ID:** 18

| | |
|--|---|
| <p>NAME: RESIDENCE ADDRESS: 12 GROVE ST GLEN HEAD NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 0111825 ID2: 230653 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

SPILL DATE: 3/15/2002
DATE REPORTED: 3/15/2002
CLOSED DATE: 3/18/2002

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 1 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 1 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT: CATHY WHITEMORE
TELEPHONE: (516) 349-4114

SPILLER: PETRO OIL
 CALLER
ADDRESS: 171 EAST AMES COURT
 PLAINVIEW, NY -

TELEPHONE:
REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 5/29/2009
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: TANK WAS OVERFILLED...1/4 GAL SPILL...CLEAN UP DONE BY DRIVER.

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was NONE 3/15/02 TELECON TO CATHY WHITEMORE FROM PETRO OIL-LESS THAN 1 GAL SPILLED INTO CEMENT BRICK, NO SOILS OR PRIVATE WELLS IMPACTED. CLEANUP WAS COMPLETED BY THE DRIVER, ALL CONT MATERIAL WERE REMOVED AND PROPERLY DISPOSED OF

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 46 **DIST/DIR:** 0.00 -- **ELEVATION:** 106 **MAP ID:** 18

| | |
|---------------------------------|-----------------------|
| NAME: HOLZCAMP RESIDENCE | REV: 7/26/11 |
| ADDRESS: 12 GROVE ST | ID1: 0511448 |
| GLEN HEAD NY | ID2: 357596 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 1/3/2006
DATE REPORTED: 1/3/2006
CLOSED DATE: 1/20/2006

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | AMOUNT SPILLED: 3 G |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT RECOVERED: 0 G |
| MATERIAL CLASS: PETROLEUM | |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: OTHER
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: OTHER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: Unassigned
SPILL CONTACT: HOLZKAMP RESIDENCE
TELEPHONE: (516) 671-6827

SPILLER: HOLZCAMP RESIDENCE
HOLZKAMP RESIDIENCE
ADDRESS: 12 GROVE STREET
GLEN HEAD, NY
TELEPHONE:

REPORTED BY: OTHER

LAST DEC UPDATE: 2/9/2009
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: OIL COMPANY WAS UNAWARE THT THEY HAD A NEW TANK, AND IS ALL CONTAINED, CLEAN UP IN PROGRESS ALL ON CONCRETE, SPEEDI DRI ETC PLACED DOWN;

DEC REMARKS:
1/3/06 TELECON TO MS HOLZKAMP, SHE STATED THAT SOMEBODY DOING CLEANUP IN THE BASEMENT RIGHT NOW. TRADEWINDS COMPLETED THE CLEANUP, SHE COMPLAINED ABOUT THE ODORS.NO DRAIN OR SOIL AFFECTED. APPROX 10 GALS SPILLED, SPEEDI DRI USED 1/4/06 VALDI TELECON DOUG SCHRIMPF REMOVED 2 DRUMS CONTAMINATED DEBRIS AND SPEEDI DRI, EPOXY SEALED FLOOR, NFA

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

| | | | |
|----------------------|--------------------------|-----------------------|-------------------|
| SEARCH ID: 46 | DIST/DIR: 0.00 -- | ELEVATION: 106 | MAP ID: 18 |
|----------------------|--------------------------|-----------------------|-------------------|

NAME: HOLZCAMP RESIDENCE
ADDRESS: 12 GROVE ST
GLEN HEAD NY
NASSAU

REV: 7/26/11
ID1: 0511448
ID2: 357596
STATUS: CLOSED
PHONE:

CONTACT:
SOURCE: NYSDEC

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 47 **DIST/DIR:** 0.00 -- **ELEVATION:** 106 **MAP ID:** 18

| | |
|---------------------------------|-----------------------|
| NAME: HOLZKAMP RESIDENCE | REV: 7/26/11 |
| ADDRESS: 12 GROVE ST | ID1: 9700936 |
| GLEN HEAD NY | ID2: 230654 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 4/22/1997
DATE REPORTED: 4/22/1997
CLOSED DATE: 3/26/1999

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | AMOUNT SPILLED: 1 G |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT RECOVERED: 0 G |
| MATERIAL CLASS: PETROLEUM | |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT: HOLZKAMP RESIDENCE
TELEPHONE: (516) 671-6827

SPILLER: GIFFORDS OIL
 JOE SANTORO
ADDRESS: 171 EAST AMES COURT
 PLAINVIEW, NY

REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 8/18/2003
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: OVERFILL - CAME OUT VENT PIPE MILRO CALLED TO HANDLE CLEAN UP

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 130 **DIST/DIR:** 0.00 -- **ELEVATION:** 106 **MAP ID:** 18

| | |
|---------------------------------|-----------------------|
| NAME: HOLZKAMP RESIDENCE | REV: 7/26/11 |
| ADDRESS: 12 GROVE ST | ID1: 9700936 |
| GLEN HEAD NY | ID2: 230654 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

| | |
|-------------------------------------|------------------------------|
| SPILL DATE: | 4/22/1997 |
| DATE REPORTED: | 4/22/1997 |
| CLOSED DATE: | 3/26/1999 |
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 1 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|--------------------|
| CAUSE OF SPILL: | TANK FAILURE |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | PRIVATE DWELLING |
| REPORTED BY: | RESPONSIBLE PARTY |
| REGION: | |
| UST TRUST? | NO |
| SPILL INVESTIGATOR: | UNASSIGNED |
| SPILL CONTACT: | HOLZKAMP RESIDENCE |
| TELEPHONE: | (516) 671-6827 |

| | |
|-------------------|---------------------|
| SPILLER: | GIFFORDS OIL |
| | JOE SANTORO |
| ADDRESS: | 171 EAST AMES COURT |
| | PLAINVIEW, NY |
| TELEPHONE: | |

| | |
|---------------------|-------------------|
| REPORTED BY: | RESPONSIBLE PARTY |
|---------------------|-------------------|

| | |
|---------------------------------|-----------|
| LAST DEC UPDATE: | 8/18/2003 |
| CLEAN UP MEET STANDARDS? | YES |
| PENALTY RECOMMENDED? | NO |

| | |
|------------------------|---|
| CALLER REMARKS: | OVERFILL - CAME OUT VENT PIPE MILRO CALLED TO HANDLE CLEAN UP |
|------------------------|---|

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 50 **DIST/DIR:** 0.00 -- **ELEVATION:** 96 **MAP ID:** 19

| | |
|----------------------------------|-----------------------|
| NAME: MINICOZZI RESIDENCE | REV: 7/26/11 |
| ADDRESS: 20 HAZEL ST | ID1: 0401117 |
| GLEN COVE NY | ID2: 244269 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 5/2/2004
DATE REPORTED: 5/2/2004
CLOSED DATE: 2/18/2005

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 20 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: OTHER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT: ESCALANTE,CESAR
TELEPHONE: (516) 349-8989 2771

SPILLER: MINICOZZI RESIDENCE
 ESCALANTE,CESAR
ADDRESS: 20 HAZEL STREET
 GLEN COVE, NY 11542

TELEPHONE:

REPORTED BY: OTHER

LAST DEC UPDATE: 6/26/2009
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: 275 GALLON FUEL OIL TANK IN BASEMENT OF PRIVATE DWELLING. 15 - 20 GALLONS OF FUEL OIL LEAKED OUT DUE TO A HOLE IN THE BOTTOM OF THE TANK . CLEAN-UP BEING DONE AT THIS TIME BY CALLER S COMPANY.

DEC REMARKS:
 SPOKE WITH CHET LYMON-GENERAL UTILITIES, SPILL WAS TO CONCRETE BASEMENT FLOOR, NO CRACKS OR DRAINS. CLEANUP COMPLETE

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 52 **DIST/DIR:** 0.00 -- **ELEVATION:** 92 **MAP ID:** 20

| | |
|---|---|
| <p>NAME: ORCHARD COLONY ADDRESS: 34 GROVE ST GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 0203420 ID2: 235845 STATUS: CLOSED PHONE:</p> |
|---|---|

SITE INFORMATION

SPILL DATE: 6/26/2002
DATE REPORTED: 7/1/2002
CLOSED DATE: 12/25/2008

INSP DATE:
MATERIAL SPILLED: UNKNOWN MATERIAL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: OTHER **AMOUNT RECOVERED:** 0 G

RESOURCE AFFECTED

| | |
|--|--|
| <p>SOIL: True INDOOR AIR: False SURFACE WATER: False SEWER: False SUBWAY: False</p> | <p>AIR: False GROUNDWATER: False DRINKING WATER: False IMPERVIOUS SURFACE: False UNDERGROUND UTILITIES: False</p> |
|--|--|

CAUSE OF SPILL: DELIBERATE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: CITIZEN
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: dhraymon
SPILL CONTACT: CALLER
TELEPHONE:

SPILLER:

ADDRESS: 34 GROVE STREET
 GLEN COVE, NY

TELEPHONE:

REPORTED BY: CITIZEN

LAST DEC UPDATE: 12/27/2008
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: TWO TANKS IN BACK OF PROPERTY ARE BEING COVERED BY DIRT BEHIND CONST SITE.

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was RAYMOND ***RELATED TO 0202440 (15 HAZEL- DEMOLITION AND TANK REMOVAL) AND 0202811 (7 HAZEL- DEMOLITION AND TANK REMOVAL)*** DR 1000 GALLON TANK, ABOVEGROUND, 275 WASTE OIL GALLON ARE ON SITE, TANKS HAVE BEEN ON SITE FOR 6 MONTHS, THE TANKS ARE NOT COVERED UP WITH DEBRIS AND HIDDEN WITH A FENCE. 5 NEW HOMES ARE BEING BUILT ON THIS PROPERTY 07/08/02: Macedonia called- the 275gal tank was an aboveground tank; the 1,000gal tank was an underground tank. He is concerned because they are on his property line. DR 07/09/02 FILE REASSIGNED 07/12/02: DEC (W GABIN) INSPECTED THE SITE (HE HAD BEEN ASSIGNED SPILL 0202811). HE COULD NOT TELL WHERE THE 1,000GAL TANK HAD ORIGINALLY BEEN LOCATED. DR 07/23/02 1015 Hrs (A): Called the architect- HE SAID THE 275GAL TANK HAD BEEN DUMPED THERE BY SOMEONE. 07/23/02 1015 Hrs (B): HE ADMITTED THEY HAD NOT NOTIFIED THE NASSAU COUNTY HEALTH DEPT PRIOR TO REMOVING THE 1,000GAL TANK. 07/23/02 1015 Hrs (C): Directed him to arrange for the proper disposal of the tanks, and documentation of the disposal. He said he would do so. DR 07/23/01 1130 Hrs: Faxed referral to Nassau County Health Dept. DR

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

| | | | |
|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 52 | DIST/DIR: 0.00 -- | ELEVATION: 92 | MAP ID: 20 |
|----------------------|--------------------------|----------------------|-------------------|

| | |
|-----------------------------|-----------------------|
| NAME: ORCHARD COLONY | REV: 7/26/11 |
| ADDRESS: 34 GROVE ST | ID1: 0203420 |
| GLEN COVE NY | ID2: 235845 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 54 **DIST/DIR:** 0.00 -- **ELEVATION:** 62 **MAP ID:** 21

| | |
|----------------------------------|-----------------------|
| NAME: PHOTO CIRCUITS | REV: 7/26/11 |
| ADDRESS: 33 SEA CLIFF AVE | ID1: 9813638 |
| GLEN COVE NY | ID2: 296973 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 2/6/1999
DATE REPORTED: 2/8/1999
CLOSED DATE: 5/21/1999

INSP DATE:
MATERIAL SPILLED: UNKNOWN MATERIAL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: OTHER **AMOUNT RECOVERED:** 0 G

RESOURCE AFFECTED

| | |
|----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: True | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: UNKNOWN
WATERBODY AFFECTED: UNKNOWN
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: CITIZEN
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: BMFORD
SPILL CONTACT: UNKNOWN
TELEPHONE:

SPILLER: PHOTO CIRCUITS
 UNKNOWN
ADDRESS: 33 SEACLIFF AVENUE
 GLEN COVE, NY
TELEPHONE:

REPORTED BY: CITIZEN

LAST DEC UPDATE: 5/24/1999
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: CALLER REPORTED KNOWN MATERIAL WAS RELEASED FROM ABOVE COMPANY INTO A STREAM IN AREA. CALLER HUNG UP BEFORE PROVIDING ANY FURTHER INFO.

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was FORD

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 58 **DIST/DIR:** 0.00 -- **ELEVATION:** 68 **MAP ID:** 22

| | |
|--|---|
| <p>NAME: RESIDENCE ADDRESS: 44 GROVE ST GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 0205313 ID2: 264156 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

SPILL DATE: 8/20/2002
DATE REPORTED: 8/20/2002
CLOSED DATE: 2/14/2007

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: UNKNOWN
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: BXDONOVA
SPILL CONTACT: ANTHONY LOSQUARDO
TELEPHONE: (718) 456-7235

SPILLER: CONSUMERS ENERGY GROUP
 ANTHONY
ADDRESS: 222 VARICK AVENUE
 BROOKLYN, NY 11237-

TELEPHONE:
REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 2/16/2007
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: COLLECTION CASE CONSUMER STATES THE SPILL LOOKS LIKE MOTOR OIL HOMEOWNER STATES IT IS HEATING OIL. SPILL OCCURRED 6 MONTHS AGO THEY STATE

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was BRIAN D 8/21 NO ANSWER, LEFT MESSAGE FOR MR LOSQUADRO SPILL NOT CONFIRMED, CLEANUP NOT DOCUMENTED, NO FURTHER ACTION

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 87 **DIST/DIR:** 0.00 -- **ELEVATION:** 68 **MAP ID:** 22

NAME: CONFIDENTIAL
ADDRESS: 44 GROVE ST
GLEN COVE NY 11542
NASSAU

REV: 11/22/02
ID1: NAFM-244
ID2:
STATUS: HISTORIC-NC FIRE MARSHAL
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 60 **DIST/DIR:** 0.00 -- **ELEVATION:** 99 **MAP ID:** 23

| | |
|--|---|
| <p>NAME: RESIDENCE ADDRESS: 20 GROVE ST GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 9412745 ID2: 274336 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

SPILL DATE: 12/22/1994
DATE REPORTED: 12/22/1994
CLOSED DATE: 12/23/1994

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 1 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: AFFECTED PERSONS
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT:
TELEPHONE:

SPILLER: RESIDENCE

ADDRESS: , NY

TELEPHONE:

REPORTED BY: AFFECTED PERSONS

LAST DEC UPDATE: 12/27/1994
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: PIN HOLE LEAK IN FILL LINE FROM TANK TO HEATER APPROX 1/2 GAL LEAKED ONTO CONCRETE FLOOR, REPAIRMAN FROM COMMANDER WILL CLEAN SPILL AS SOON AS LINE IS REPAIRED, LINE BEING REPLACED AT THIS TIME

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was NONE 12/23/94: NO RESPONSE NEEDED.

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 62 **DIST/DIR:** 0.00 -- **ELEVATION:** 94 **MAP ID:** 24

| | |
|--|-----------------------|
| NAME: UNK LANDLORD | REV: 7/26/11 |
| ADDRESS: 11 CAPOBIANCO ST GLEN COVE NY NASSAU | ID1: 9204971 |
| | ID2: 84641 |
| CONTACT: | STATUS: CLOSED |
| SOURCE: NYSDEC | PHONE: |

SITE INFORMATION

SPILL DATE: 7/30/1992
DATE REPORTED: 7/30/1992
CLOSED DATE: 8/3/1992

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | AMOUNT SPILLED: 2 G |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT RECOVERED: 0 G |
| MATERIAL CLASS: PETROLEUM | |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: OTHER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT:
TELEPHONE:

SPILLER: UNK LANDLORD

ADDRESS: , ZZ

TELEPHONE:

REPORTED BY: OTHER

LAST DEC UPDATE: 11/10/1992
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: CUSTOMER NOTICED FUEL ON BASEMENT FLOOR, CALLED GIFFORDS OIL, PLUGGED HOLE IN TANK BOTTOM. APPLIED SPEEDI DRY

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was NONE

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 69 **DIST/DIR:** 0.00 -- **ELEVATION:** 72 **MAP ID:** 25

| | | | |
|-----------------|---|----------------|---------|
| NAME: | | REV: | 7/26/11 |
| ADDRESS: | 200 CARNEY ST GLEN COVE NY NASSAU | ID1: | 9714498 |
| | | ID2: | 133946 |
| CONTACT: | | STATUS: | CLOSED |
| SOURCE: | NYSDEC | PHONE: | |

SITE INFORMATION

SPILL DATE: 3/30/1998
DATE REPORTED: 3/30/1998
CLOSED DATE: 5/29/1998

| | | | |
|--------------------------|-----------------|--------------------------|-----|
| INSP DATE: | | | |
| MATERIAL SPILLED: | TRANSFORMER OIL | AMOUNT SPILLED: | 1 G |
| MATERIAL CLASS: | PETROLEUM | AMOUNT RECOVERED: | 0 G |

RESOURCE AFFECTED

| | | | |
|-----------------------|-------|-------------------------------|-------|
| SOIL: | True | AIR: | False |
| INDOOR AIR: | False | GROUNDWATER: | False |
| SURFACE WATER: | False | DRINKING WATER: | False |
| SEWER: | False | IMPERVIOUS SURFACE: | False |
| SUBWAY: | False | UNDERGROUND UTILITIES: | False |

CAUSE OF SPILL: TRAFFIC ACCIDENT
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT: KATHY WAXMAN
TELEPHONE: (516) 391-6629

SPILLER: LILCO
KATHY WAXMAN
ADDRESS: 445 BROAD HOLLOW ROAD
MELVILLE, NY 11747-

TELEPHONE:
REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 6/4/1998
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: PAD MOUNTED TRANSFORMER STRUCK BY VEHICLE CAUSING SPILL - NO CLEAN UP - SPILL
CONTAINED ON CONCRETE - UNK PCB COUNT

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 71 **DIST/DIR:** 0.00 -- **ELEVATION:** 99 **MAP ID:** 26

| | |
|---------------------------------------|-----------------------|
| NAME: | REV: 7/26/11 |
| ADDRESS: GROVE ST and HAZEL ST | ID1: 9902653 |
| GLEN COVE NY | ID2: 238591 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

| | |
|--|------------------------------|
| SPILL DATE: | 6/8/1999 |
| DATE REPORTED: | 6/8/1999 |
| CLOSED DATE: | 12/20/1999 |
| INSP DATE: | |
| MATERIAL SPILLED: TRANSFORMER OIL | AMOUNT SPILLED: 4 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: True | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|-----------------------|
| CAUSE OF SPILL: | EQUIPMENT FAILURE |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | COMMERCIAL/INDUSTRIAL |
| REPORTED BY: | RESPONSIBLE PARTY |
| REGION: | |
| UST TRUST? | NO |

| | |
|----------------------------|----------|
| SPILL INVESTIGATOR: | HMCIRRIT |
| SPILL CONTACT: | CALLER |
| TELEPHONE: | |

| | |
|-------------------|----------------------|
| SPILLER: | KEYSPAN |
| | ADAM YABLONSKY |
| ADDRESS: | 445 BROADHOLLOW ROAD |
| | MELVILLE, NY 11747- |
| TELEPHONE: | |

| | |
|---------------------|-------------------|
| REPORTED BY: | RESPONSIBLE PARTY |
|---------------------|-------------------|

| | |
|---------------------------------|------------|
| LAST DEC UPDATE: | 12/21/1999 |
| CLEAN UP MEET STANDARDS? | YES |
| PENALTY RECOMMENDED? | NO |

CALLER REMARKS: CALLER ADVISED THAT TRANSFORMER FAILED CAUSING 4 QTS TO SPRAY ON GROUND. FIRE DEPT USE HOLE LINE AND WASHED SOME OF THE PRODUCT INTO THE STORM DRAIN. CLEAN UP WILL TAKE PLACE ASAP.

DEC REMARKS:
Prior to Sept, 2004 data translation this spill Lead_DEC Field was CIRRITO MESSAGE FROM YABLONSKY: CLEANUP IN PROGRESS BY KEYSpan HAZ MAT CREW CLEANUP COMPLETED, NO FURTHER ACTION GUZZLER USED TO CLEAN OUT DRAIN, TRADEWINDS WAS HIRED

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SWL

SEARCH ID: 73 **DIST/DIR:** 0.00 -- **ELEVATION:** **MAP ID:** 27

NAME: A-1 AUTO PARTS
ADDRESS: 67 BARNES AVE
UTICA (C) NY 13502
ONEIDA
CONTACT: SALVATORE VITI
SOURCE:

REV: 05/03/06
ID1: 6-NYSW-0106-014
ID2:
STATUS: ACTIVE
PHONE: 3153752233

SITE INFORMATION

OWNER INFORMATION

NAME: SALVATORE VITI
TYPE:
ADDRESS: ,
EMAIL:
PHONE:

CONTACT INFORMATION

NAME: SALVATORE VITI
ADDRESS: BARNES AVENUE UTICA , NY 13501
EMAIL:
PHONE: 3153752233

ACTIVITY DESC: WASTE TIRE STORAGE
REG STATUS: NONE
WASTE TYPE:
AUTH NUMBER: NONE
AUTH ISSUE DATE:
EXPIRATION DATE:

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 133 **DIST/DIR:** 0.00 -- **ELEVATION:** 75 **MAP ID:** 28

| | |
|-------------------------------|-----------------------|
| NAME: MAN PRODUCTS | REV: 7/26/11 |
| ADDRESS: 100 CARNEY ST | ID1: 8702257 |
| GLEN COVE NY | ID2: 246222 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 6/19/1987 **DATE REPORTED:** 6/19/1987
CLOSED DATE: 11/23/1988 **INSP DATE:**

MATERIAL SPILLED: 2 FUEL OIL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: TANK TESTER
CALLER REMARKS: 1-550 GAL TANK FAILED SYSTEM TEST AT -.544. SECOND TANK AT SITE WILL PROBABLY FAIL ALSO.

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: CXONEILL
SPILL CONTACT:
TELEPHONE:

SPILLER: MAN PRODUCTS
ADDRESS: 100 CARNEY STREET
GLEN COVE, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 11/17/2006
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:
Prior to Sept, 2004 data translation this spill Lead_DEC Field was O NEILL FD / / : TYREE TESTER. 11/23/88: TANK WAS REMOVED ON 10/27/87 BY TYREE. NCHD ON SITE.TANK HAD NO HOLES and SOIL WAS NOT CONTAMINATED.TANK WAS ACTUALLY 1K. FILE HAS BEEN DESTROYED ACCORDING TO STATE ARCHIVE AND RECORD ADMINISTRATOR RETENTION/DISPOSAL PROCEDURES

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 79 **DIST/DIR:** 0.00 -- **ELEVATION:** 75 **MAP ID:** 28

NAME: CONFIDENTIAL
ADDRESS: 100 CARNEY ST
GLEN COVE NY 11542
NASSAU

REV: 11/22/02
ID1: NAFM-3609
ID2:
STATUS: HISTORIC-NC FIRE MARSHAL
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

UST

SEARCH ID: 104 **DIST/DIR:** 0.00 -- **ELEVATION:** 64 **MAP ID:** 29

NAME: MACCARONE
ADDRESS: 10 SEACLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: PBS1-000433
ID2:
STATUS: UNREGISTERED
PHONE:

CONTACT:
SOURCE: NY DEC

PETROLEUM BULK STORAGE FACILITY INFORMATION

SITE STATUS: UNREGISTERED
EXPIRATION DATE: N/A

SITE STATUS: ACTIVE
EXPIRATION DATE: 2012/09/25

CONTACT INFORMATION

TANK INFORMATION

HISTORIC TANK INFORMATION FROM 2007

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 100 **DIST/DIR:** 0.00 -- **ELEVATION:** 64 **MAP ID:** 29

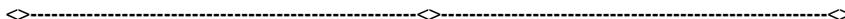
| | |
|----------------------------------|--------------------------|
| NAME: HARBOR FUEL COMPANY | REV: 10-15-97 |
| ADDRESS: 10 SEA CLIFF AVE | ID1: N-055586 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC- |
| CONTACT: | PHONE: |
| SOURCE: | |

TANK DETAIL(s)

| | |
|-------------------------|-----------------------------|
| TANK No.: 0004 | STATUS: IN SERVICE |
| INSTALLED: 03/79 | MATERIAL TYPE: WASTE |
| CAPACITY: 275 | PRODUCT: WASTE OIL |

| | |
|-----------------------------|---------------------------|
| TANK TYPE: | STEEL |
| LOCATION: | OUTDOORS ABOVEGROUND |
| INTERNAL PROTECTION: | NONE |
| EXTERNAL PROTECTION: | PAINTED / ASPHALT COATING |
| PIPING: | OTHER |

| | | |
|-------------------------------|---------|--------------------------|
| SECONDARY CONTAINMENT: | NONE | |
| LEAK DETECTION: | NONE | |
| DISPENSER: | SUCTION | |
| FILL TYPE: | GRAVITY | PRODUCT GAUGE: NO |



***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 85 **DIST/DIR:** 0.00 -- **ELEVATION:** 64 **MAP ID:** 29

NAME: CONFIDENTIAL
ADDRESS: 10 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 11/22/02
ID1: NAFM-3552
ID2:
STATUS: HISTORIC-NC FIRE MARSHAL
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

Environmental FirstSearch
Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 129 **DIST/DIR:** 0.00 -- **ELEVATION:** 64 **MAP ID:** 29

| | |
|----------------------------------|-----------------------|
| NAME: HARBOR FUEL | REV: 7/26/11 |
| ADDRESS: 10 SEA CLIFF AVE | ID1: 8701073 |
| GLEN COVE NY 11542 | ID2: 178463 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 5/7/1987 **DATE REPORTED:** 5/7/1987
CLOSED DATE: 9/9/1997 **INSP DATE:**

MATERIAL SPILLED: DIESEL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: TANK TESTER
CALLER REMARKS: 1-550 TANK FAILED PETROTITE AT -.212GPH 1-1000 TANK FAILED PETROTITE AT -.336GPH

REGION:
UST TRUST? YES

SPILL INVESTIGATOR: T/T/F
SPILL CONTACT:
TELEPHONE:

SPILLER: HARBOR FUEL

ADDRESS:
, ZZ

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 9/10/1997
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

| | | | |
|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 93 | DIST/DIR: 0.00 -- | ELEVATION: 63 | MAP ID: 30 |
|----------------------|--------------------------|----------------------|-------------------|

| | |
|----------------------------------|---|
| NAME: CONFIDENTIAL | REV: 11/22/02 |
| ADDRESS: 60 SEA CLIFF AVE | ID1: NAFM-1037 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-NC FIRE MARSHAL |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

FEDBROWNFIELD

SEARCH ID: 146 **DIST/DIR:** 0.00 -- **ELEVATION:** 86 **MAP ID:** 31

| | |
|--|---|
| <p>NAME: T.M. BER and ASSOCIATES, INC. ADDRESS: 79 HAZEL AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: EPA</p> | <p>REV: 7/5/11 ID1: 96221 ID2: 96221 STATUS: EPA BROWNFIELD PHONE:</p> |
|--|---|

SITE INFORMATION:

GRANT RECIPIENT: GLEN COVE, CITY OF
TYPE OF GRANT: ASSESSMENT
TYPE OF FUNDING: B
ENROLLED IN STATE/TRIBAL PROG:
STATE OR TRIBAL ID:
ENROLLED DATE:
ACRES PROP ID: 96221
LOCAL PROPERTY NUMBER: SECTION 21 BLOCK 080 LOT 10
PROPERTY SIZE acres: .92
CLEANUP REQUIRED: U
NFA/CLEANUP COMPL ISSUED:

OWNERSHIP ENTITY: PRIVATE
CURRENT OWNER:
DID OWNERSHIP CHANGE: N
SUPERFUND LANDOWNER LIABILITY CHANGE:
PROPERTY DESCRIPTION:

PREDOMINANT PAST USE (ACRES)

| | |
|---------------------|---------------------|
| GREEN SPACE: | RESIDENTIAL: |
| COMMERCAIL: | INDUSTRIAL: |

ASSESSMENT

| | |
|---|--|
| PHASE: | START DATE: 01-JUL-08 |
| COMPLETION DATE: 01-SEP-08 | SOURCE OF FUNDING: US EPA - BROWNFIELDS |
| ASSESSMENT COOPERATIVE AGREEMENT | |
| ENTIRY PROVIDING FUNDS: | AMOUNT OF FUNDING: |

CONTAMINANT FOUND

| | |
|---------------------------|-------------------------------|
| PETROLEUM: | CONTROLLED SUBSTANCES: |
| ASBESTOS: | PCBs: |
| VOCs: | LEAD: |
| OTHER METALS: | PAHs: |
| OTHER: | |
| OTHER DESCRIPTION: | |

CONTAMINATION CLEANED UP

| | |
|---------------------------|-------------------------------|
| PETROLEUM: | CONTROLLED SUBSTANCES: |
| ASBESTOS: | PCBs: |
| VOCs: | LEAD: |
| OTHER METALS: | PAHs: |
| OTHER: | |
| OTHER DESCRIPTION: | |

MEDIA AFFECTED

| | |
|------------------------|----------------------|
| SOIL: | AIR: |
| SURFACE WATER: | GROUND WATER: |
| DRINKING WATER: | SEDIMENTS: |

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

FEDBROWNFIELD

SEARCH ID: 146 **DIST/DIR:** 0.00 -- **ELEVATION:** 86 **MAP ID:** 31

NAME: T.M. BER and ASSOCIATES, INC.
ADDRESS: 79 HAZEL AVE
GLEN COVE NY 11542
NASSAU

REV: 7/5/11
ID1: 96221
ID2: 96221
STATUS: EPA BROWNFIELD
PHONE:

CONTACT:
SOURCE: EPA

NO MEDIA:

UNKNOWN:

MEDIA CLEANED:

SOIL:
SURFACE WATER:
DRINKING WATER:

AIR:
GROUND WATER:
SEDIMENTS:

INSTITUTIONAL CONTROL INFORMATION (IC)

IC REQUIRED:
INFORMATIONAL DEVICES:
ENFORCEMENT/PERMIT TOOLS:
DATE IC IN PLACE:

PROPERTY CONTROLS:
GOVERNMENTAL CONTROLS:
IC IN PLACE:

CLEANUP START DATE:
ACRES CLEANED UP:
PROVIDING CLEANUP FUNDS:
REDEVELOP START:

CLEANUP COMPLETION:
CLEANUP FUNDING SOURCE:
AMOUNT OF FUNDING:

FUTURE USE (acres)

GREEN SPACE:
COMMERCIAL:

RESIDENTIAL:
INDUSTRIAL:

PROPERTY HIGHLIGHTS: Property is a 2-story industrial building/warehouse with a parking lot, constructed in 1937, located at the southeast corner of the intersection of Hazel St. and Carney Street. Phase 1 Assessment recommends a Phase II to identify potential contamination f

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

FEDBROWNFIELD

| | | | |
|-----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 147 | DIST/DIR: 0.00 -- | ELEVATION: 63 | MAP ID: 32 |
|-----------------------|--------------------------|----------------------|-------------------|

NAME: TWEEZERMAN
ADDRESS: 55 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU
CONTACT:
SOURCE: EPA

REV: 10/1/08
ID1: 69597463-1
ID2: 69597463
STATUS: EPA BROWNFIELD
PHONE:

SITE INFORMATION:

EPA ID:
EPA SITE NAME:
SITE ALIAS:
CONTAMINANTS:
TOTAL ACRES:
CERCLA WASTELAN:
RCRA FACILITY:
AIR AFFECTED:
GROUNDWATER AFFECTED:
SURFACE WATER AFFECTED:
NUMBER OF PARCELS:
LOCAL PARCEL NUMBER:
ADD DATE: 11/29/2004 2:14:00 PM

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 17 **DIST/DIR:** 0.02 NE **ELEVATION:** 121 **MAP ID:** 33

| | |
|--|---|
| NAME: PORTA SYSTEMS CORP ADDRESS: 1 ALEXANDER PL GLEN COVE NY 11542 NASSAU CONTACT: DANIEL MATO SOURCE: EPA | REV: 6/6/06 ID1: NYD002055820 ID2: STATUS: SGN PHONE: 5163649300 |
|--|---|

SITE INFORMATION

CONTACT INFORMATION: DANIEL MATO
 1 ALEXANDER PL
 GLEN COVE NY 11542

PHONE: 5163649300

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

| | |
|--|--------|
| GPRA PERMIT: | N - NO |
| GPRA POST CLOSURE: | N - NO |
| GPRA CA: | N - NO |
| GPRA COMPLIANCE MONITORING and ENFORCEMENT: | N - NO |

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

| | |
|-------------------------|--------|
| SUBJCA: | N - NO |
| SUBJCA TSD 3004: | N - NO |
| SUBJCA NON TSD: | N - NO |

| | |
|---|--------|
| SIGNIFICANT NON-COMPLIANCE(SNC): | N - NO |
| BEGINNING OF THE YEAR SNC: | N - NO |

| | |
|---|------|
| PERMIT WORKLOAD: | ---- |
| CLOSURE WORKLOAD: | ---- |
| POST CLOSURE WORKLOAD: | ---- |
| PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: | ---- |

| | |
|------------------------------------|--|
| CORRECTIVE ACTION WORKLOAD: | N - NO |
| GENERATOR STATUS: | SQG - SMALL QUANTITY GENERATOR: GENERATES 100 - 1000 |
| KG/MONTH OF HAZARDOUS WASTE | |

NAIC INFORMATION

33429 - OTHER COMMUNICATIONS EQUIPMENT MANUFACTURING
 334119 - OTHER COMPUTER PERIPHERAL EQUIPMENT MANUFACTURING

ENFORCEMENT INFORMATION:

| | | | |
|----------------|------------------------|--------------|-----------|
| AGENCY: | S - STATE | DATE: | 3/11/1992 |
| TYPE: | 120 - WRITTEN INFORMAL | | |

VIOLATION INFORMATION:

| | | | |
|--------------------------|------|---------------------|-----------|
| VIOLATION NUMBER: | 0001 | RESPONSIBLE: | S - STATE |
|--------------------------|------|---------------------|-----------|

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 17 **DIST/DIR:** 0.02 NE **ELEVATION:** 121 **MAP ID:** 33

NAME: PORTA SYSTEMS CORP
ADDRESS: 1 ALEXANDER PL
GLEN COVE NY 11542
NASSAU
CONTACT: DANIEL MATO
SOURCE: EPA

REV: 6/6/06
ID1: NYD002055820
ID2:
STATUS: SGN
PHONE: 5163649300

DETERMINED: 3/11/1992 **DETERMINED BY:** S - STATE
CITATION:
RESOLVED: 3/11/1992
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

HAZARDOUS WASTE INFORMATION:

Ignitable waste
Corrosive waste

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

ERNS

SEARCH ID: 21 **DIST/DIR:** 0.02 NE **ELEVATION:** 118 **MAP ID:** 34

| | |
|-----------------------------------|------------------------|
| NAME: 21 CEDAR SWAMP RD | REV: 4/18/11 |
| ADDRESS: 21 CEDAR SWAMP RD | ID1: NRC-966882 |
| GLEN COVE NY | ID2: |
| NASSAU | STATUS: MOBILE |
| CONTACT: | PHONE: |
| SOURCE: NRC | |

SITE INFORMATION

THIS INFORMATION WAS OBTAINED FROM THE NATIONAL RESPONSE CENTER

| | |
|---------------------------|--------------------------|
| INCIDENT DATE: | 08-FEB-2011 12:15 |
| REPORTED DATE: | 08-FEB-2011 13:37 |
| TYPE OF INCIDENT: | MOBILE |
| CAUSE OF INCIDENT: | OPERATOR ERROR |
| MEDIUM AFFECTED: | WATER |
| MATERIAL NAME: | OIL: DIESEL |
| LOCATION: | 21 CEDAR SWAMP RD |
| SUSPECTED COMPANY: | COCA COLA REFRESHMENTS |

DESCRIPTION: CALLER IS REPORTING A DIESEL FUEL SPILL OF 55 GALLONS ON THE PROPERTY. THE DRIVER BACKED INTO SOMETHING ON THE LOT. THERE IS A SLIGHT SHEEN IN ONE OF THE STORM DRAINS.

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 67 **DIST/DIR:** 0.02 NE **ELEVATION:** 118 **MAP ID:** 34

| | |
|-----------------------------------|-----------------------|
| NAME: VITTORIOS | REV: 7/26/11 |
| ADDRESS: 21 CEDAR SWAMP RD | ID1: 1011229 |
| GLEN COVE NY | ID2: 444869 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

| | |
|----------------------------------|-----------------------------|
| SPILL DATE: | 2/8/2011 |
| DATE REPORTED: | 2/8/2011 |
| CLOSED DATE: | 2/8/2011 |
| INSP DATE: | |
| MATERIAL SPILLED: DIESEL | AMOUNT SPILLED: 55 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: True | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|--------------------|
| CAUSE OF SPILL: | TRAFFIC ACCIDENT |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | COMMERCIAL VEHICLE |
| REPORTED BY: | OTHER |
| REGION: | |
| UST TRUST? | NO |

| | |
|----------------------------|---------------|
| SPILL INVESTIGATOR: | Unassigned |
| SPILL CONTACT: | RYAN CAMPBELL |
| TELEPHONE: | |

| | |
|-------------------|---|
| SPILLER: | COCA COLA |
| ADDRESS: | 115 FAIRVIEW PARK DR ELMFORD, NY 10523 |
| TELEPHONE: | |

| | |
|---------------------|-------|
| REPORTED BY: | OTHER |
|---------------------|-------|

| | |
|---------------------------------|-----------|
| LAST DEC UPDATE: | 4/11/2011 |
| CLEAN UP MEET STANDARDS? | NO |
| PENALTY RECOMMENDED? | NO |

| | |
|------------------------|---|
| CALLER REMARKS: | SPILL TO PARKING AREA/ PARKING LOT DRAIN IMPACTED/CLEAN UP UNDERWAY |
|------------------------|---|

DEC REMARKS:

SAME AS 1011228 (DUPLICATE REPORT BY HOTLINE- SEE IT FOR DETAILS) AND 1011232 (REPORTED BY NASSAU COUNTY FIRE MARSHAL- SEE IT FOR ADDITIONAL DETAILS) DR 02/09/11 1049 Hrs: Received NRC report 966882. DR

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 65 **DIST/DIR:** 0.02 NE **ELEVATION:** 118 **MAP ID:** 34

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|--|---|
| <p>NAME: VITTORIOS ADDRESS: 21 CEDAR SWAMP RD GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 1011232 ID2: 444872 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

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|----------------------------------|-----------------------------|
| SPILL DATE: | 2/8/2011 |
| DATE REPORTED: | 2/8/2011 |
| CLOSED DATE: | 2/8/2011 |
| INSP DATE: | |
| MATERIAL SPILLED: DIESEL | AMOUNT SPILLED: 15 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: True | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL VEHICLE
REPORTED BY: LOCAL AGENCY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: TJDMEEO
SPILL CONTACT: MICHAEL STRONG
TELEPHONE: (516) 903-2857

SPILLER: COCA COLA
ADDRESS: 115 FAIRVIEW PARK DRIVE
 ELMFORD, NY 10523

TELEPHONE:
REPORTED BY: LOCAL AGENCY

LAST DEC UPDATE: 4/11/2011
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: 1419 THE CALLER ADVISED DISPATCH THE SPILL WAS DUE TO A PUNCTURED SADDLE LINE. LIGHT SHEEN HAS AFFECTED A STORM DRAIN. COAST GUARD NOTIFIED BY THE CALLER. THE CLEAN UP WAS ONDUCTED BY MILLER ENVIRONMENTAL.

DEC REMARKS:
 SAME AS 1011228 and 1011229 (DUPLICATE REPORTS BY HOTLINE- SEE 1011228 FOR DETAILS) DR 02/08/11 14:35 t/c to NCFM M.Strong, he stated that MEG crew and vac truck is on the scene, most of the spill contained by RP, not recoverable sheen in the CB, vac out by MEG, impervious surface affected only, speed dry used, no further action required (VP) 02/08/11 1515 Hrs: Left message for Strong. DR 02/09/11 1049 Hrs: Received NRC report 966882. DR

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

| | | | |
|----------------------|--------------------------|-----------------------|-------------------|
| SEARCH ID: 65 | DIST/DIR: 0.02 NE | ELEVATION: 118 | MAP ID: 34 |
|----------------------|--------------------------|-----------------------|-------------------|

NAME: VITTORIOS
ADDRESS: 21 CEDAR SWAMP RD
GLEN COVE NY
NASSAU

REV: 7/26/11
ID1: 1011232
ID2: 444872
STATUS: CLOSED
PHONE:

CONTACT:
SOURCE: NYSDEC

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 66 **DIST/DIR:** 0.02 NE **ELEVATION:** 118 **MAP ID:** 34

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|--|---|
| <p>NAME: VITTORIOS ADDRESS: 21 CEDAR SWAMP RD GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 1011228 ID2: 444868 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

SPILL DATE: 2/8/2011
DATE REPORTED: 2/8/2011
CLOSED DATE: 2/28/2011

INSP DATE:
MATERIAL SPILLED: DIESEL **AMOUNT SPILLED:** 55 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** G

RESOURCE AFFECTED

| | |
|--|--|
| <p>SOIL: False INDOOR AIR: False SURFACE WATER: False SEWER: True SUBWAY: False</p> | <p>AIR: False GROUNDWATER: False DRINKING WATER: False IMPERVIOUS SURFACE: False UNDERGROUND UTILITIES: False</p> |
|--|--|

CAUSE OF SPILL: TRAFFIC ACCIDENT
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL VEHICLE
REPORTED BY: OTHER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: TJDMEEO
SPILL CONTACT: RYAN CAMPBELL
TELEPHONE:

SPILLER: COCA COLA

ADDRESS: 115 FAIRVIEW PARK DR
 ELMFORD, NY 10523

TELEPHONE:

REPORTED BY: OTHER

LAST DEC UPDATE: 4/11/2011
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: SPILL TO PARKING AREA/ PARKING LOT DRAIN IMPACTED/CLEAN UP UNDERWAY

DEC REMARKS:

SAME AS 1011229 (DUPLICATE REPORT BY HOTLINE) AND 1011232 (REPORTED BY NASSAU COUNTY FIRE MARSHAL- SEE IT FOR ADDITIONAL DETAILS) DR 02/08/11 1310 Hrs: Left message for Campbell. DR 02/08/11 1315 Hrs (A): Campbell called- the truck was making a delivery to Vittorio s Pizza at this address. 02/08/11 1315 Hrs (B): He is not certain whether this was due to an accident or to equipment failure. 02/08/11 1315 Hrs (C): The spillage is ON the parking lot and has been contained by the Fire Dept. He does not know whether the Nassau County Fire Marshal is on site. 02/08/11 1315 Hrs (D): HE SAID THERE IS CURRENTLY NO IMPACT TO DRAINAGE, BUT THE PARKING LOT HAS A CURB WITH OPENINGS THAT DRAIN DIRECTLY ONTO THE STREET. 02/08/11 1315 Hrs (E): MILLER ENVIRONMENTAL GROUP IS ENROUTE TO CLEAN UP. Their ETA is approximately 1hr. DR 02/08/11 1320 Hrs: Called TD and gave him the details- he will check this later this afternoon. DR 02/08/11 1505 Hrs (A): TD called- he is on site. Miller is just finishing the cleanup. 02/08/11 1505 Hrs (B): Updated him regarding the other spill numbers. DR 02/09/11 1049 Hrs: Received NRC report 966882. DR 2/8/11 TJD 1500 Site inspection. MVA - leaking saddle tank affecting asphalt parking lot surfaces and onsite drainage structure (drywell). NCFM and Glen Cove FD recovered an estimated 40 gallons in

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

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|----------------------|--------------------------|-----------------------|-------------------|
| SEARCH ID: 66 | DIST/DIR: 0.02 NE | ELEVATION: 118 | MAP ID: 34 |
|----------------------|--------------------------|-----------------------|-------------------|

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|-----------------------------------|-----------------------|
| NAME: VITTORIOS | REV: 7/26/11 |
| ADDRESS: 21 CEDAR SWAMP RD | ID1: 1011228 |
| GLEN COVE NY | ID2: 444868 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

various containers - approximately 20 gallons discharged to affected surfaces. Glen Cove DPW sanded/swept affected roadway. Miller Environmental retained by RP to clean private parking lot - granular absorbents were used for asphalt surfaces and a vacuum truck was used to recover an estimated 300 gallons of oily water from affected drainage structure. Standing water appeared free of residual petroleum impacts following remedial activities. Miller Environmental recovered less than 500 lbs of regulated solids (saturated speedy-dry) from affected asphalt surfaces for proper disposal. 2/28/11 TJD File review. Closure documentation received. One drum of contaminated solids and 341 gallons of oily water were recovered and properly disposed of during remedial activities. No further action is required.

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 37 **DIST/DIR:** 0.02 NE **ELEVATION:** 84 **MAP ID:** 35

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|---|---|
| <p>NAME: ANGS S/S ADDRESS: 73 CEDAR SWAMP RD GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 9009792 ID2: 241208 STATUS: CLOSED PHONE:</p> |
|---|---|

SITE INFORMATION

SPILL DATE: 12/7/1990
DATE REPORTED: 12/7/1990
CLOSED DATE: 1/16/2001
INSP DATE:

| | |
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| <p>TAX MAP ID: 22-20-6and7 REQ TO VENDOR: 8/21/2001 APP LIEN TO ADMIN: REC D FROM ADMIN: RESENT FOR FILING: SENT TO OAG: 9/19/2001 RELEASE REQUIRED: REL SIGNED BY ADMIN: RELEASE SENT TO OAG:</p> | <p>LIEN REQUEST RECIEVED: 5/8/2001 DRAFT LIEN VENDOR: 9/19/2001 SIGNED BY ADMIN: SENT FOR FILING: PROOF OF SERVICE REC D: 19-Sep-01 AMOUNT: 53929.02 REL SENT TO ADMIN: REL REC D FROM ADMIN:</p> |
|---|--|

| | |
|--|---|
| <p>MATERIAL SPILLED: GASOLINE MATERIAL CLASS: PETROLEUM</p> | <p>AMOUNT SPILLED: 0 G AMOUNT RECOVERED: 0 G</p> |
|--|---|

| | |
|---|---|
| <p>MATERIAL SPILLED: MTBE (METHYL-TERT-BUTYL ETHER) MATERIAL CLASS: HAZARDOUS MATERIAL</p> | <p>AMOUNT SPILLED: AMOUNT RECOVERED:</p> |
|---|---|

RESOURCE AFFECTED

| | |
|---|---|
| <p>SOIL: False INDOOR AIR: False SURFACE WATER: False SEWER: False SUBWAY: False</p> | <p>AIR: False GROUNDWATER: True DRINKING WATER: False IMPERVIOUS SURFACE: False UNDERGROUND UTILITIES: False</p> |
|---|---|

RESOURCE AFFECTED

| | |
|---|---|
| <p>SOIL: False INDOOR AIR: False SURFACE WATER: False SEWER: False SUBWAY: False</p> | <p>AIR: False GROUNDWATER: True DRINKING WATER: False IMPERVIOUS SURFACE: False UNDERGROUND UTILITIES: False</p> |
|---|---|

CAUSE OF SPILL: OTHER
WATERBODY AFFECTED:
SOURCE OF SPILL: GASOLINE STATION
REPORTED BY: DEC
REGION:
UST TRUST? YES

SPILL INVESTIGATOR: JEHAAS
SPILL CONTACT:
TELEPHONE:

SPILLER: ANGS S/S
 ROBERT ZUCCALA, PRESIDENT
ADDRESS: 73 CEDAR SWAMP ROAD
 GLEN COVE, NY 11542-

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 37 **DIST/DIR:** 0.02 NE **ELEVATION:** 84 **MAP ID:** 35

NAME: ANGS S/S
ADDRESS: 73 CEDAR SWAMP RD
GLEN COVE NY
NASSAU

REV: 7/26/11
ID1: 9009792
ID2: 241208
STATUS: CLOSED
PHONE:

CONTACT:
SOURCE: NYSDEC

TELEPHONE:

REPORTED BY: DEC

LAST DEC UPDATE: 1/17/2001
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? YES

CALLER REMARKS: DURING TANK REMOVAL, CONTAMINATION FOUND, STOCKPILED APPROX 120-150 YDS.
FURTHER WORK NEEDED

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was HAAS WELL 12/07/90: DEC (Walsh) and Tank Specialists on site for removal of 2 2K steel gas tanks. Found some corrosion but no holes. Did find contaminated soil- removed approx 120cy. Could not dig deeper. 12/07/90: DEC (Gomez) letter to Zuccala- Request installation of wells (min 10ft into water, min 20ft screen), monitoring and bailing, and testing. Gives scenario for failure to comply. 05/22/91 (APPROX): DEC notified of soil dumped at 8 Saxon Ct Glen Cove. Walsh respond and took samples from here and from the station. 05/29/91: Walsh letter to Larry Graziose Plumbing (447 Forest Ave, Glen Cove NY, 11560)- The soil used as fill at 8 Saxon Ct Glen Cove by your firm was contaminated with gasoline. Please remove and properly dispose. Respond by 12Jun. Gives scenario for failure to comply. 06/19/91: H2M Labs 22May data- BTEX NonDetect (ND) at Saxon, low at the station; 27.2ppm Lead at Saxon, 13.5ppm at the station. 07/10/91: Land, Air, Water FAX- Enclose Ecotest soil data from 8 Saxon. (DONE FOR ZUCCALA ET AL) 07/22/91: Walsh letter- Install wells immediately. If not, State will arrange for necessary work and seek reimbursement of all costs plus penalties. If you do not plan to do the work, sign and return access. Respond by 28Jul. 07/23/91: Walsh letter to Zuccala and Graziose (447 Forest Ave, Locust Valley NY, 11560), cc ECOs- Dispose of the stockpiled soil by 5Aug. If not State will arrange for the necessary work... 07/23/91: Walsh letter to Virginia Yezzi (8 Saxon Ct)- We have requested that the parties who dumped the fill on your property remove it by 5Aug. We may need access; please sign and return access form. NO DATE: Yezzi signed access form. (Received 29Jul). 07/29/91: Zuccala signs access form. 07/29/91 (A): Daren Rathkopf (Payne, Wood, and Littlejohn, 300 Broad Hollow Rd, Melville NY, 11747, 516-547-8400 atty for Zuccala) letter- He is financially unable to arrange for the work at this time. Could do so in about 3 months. Enclose access form. 07/29/91 (B): The ...requirement that he remove and replace his underground tanks some three years prior to the August 31, 1993 expiration of his permit has left him financially unable to continue the business of selling gasoline and has left him with a considerable debt for the funds borrowed to pay for the removal of the old tanks. This has also left him without any revenue from the sale of gasoline and his remaining business, automobile repair, has generated little income because of a downturn in that business... His client did solicit bids. 08/05/91: Rathkopf letter to Land, Air, and Water- Client willing to take back the soil which Graziose dumped. 08/08/91: Walsh letter to Rathkopf- As per conversation and your 5Aug letter, we okay your plan. 08/20/91: Walsh and Land, Air, Water on site- Removed approx 25cy soil and took back to Ang s. Has photos. 08/27/91: Walsh letter to Graziose- No further remedial action required at this site (8 Saxon). 12/11/91: Rathkopf letter- As per First District Court hearing on 20Nov, you were to send the soil analyses and 6NYCRR 360. Still awaiting both. Need for court appearance on 18Dec. 12/12/91: Walsh sends Rathkopf a FOIL form. 02/05/92: DEC (Haas) discussed with Walsh. 02/13/92: Haas letter to Zuccala- Since you have not arranged for investigation and remediation, State will arrange to do so. State will seek reimbursement of all costs, plus penalties. 04/01/92: Haas hired Unico to install 3 wells. 04/08/92: Haas and Unico on site- Installed 1 50ft well. No sketch. SEE 23OCT92 REPORT FOR SOIL LOGS. 04/09/92: Unico installed 1 48ft well. No sketch. SEE 23OCT92 REPORT FOR SOIL LOGS. 04/10/92: Unico installed 1 45ft well. No sketch. SEE 23OCT92 REPORT FOR SOIL LOGS. 04/17/92: Unico to survey, and also sample wells (for BTEX, MTBE, and Lead). 04/22/92: Unico surveyed site and sampled the wells for dissolved product analyses. 05/08/92: Unico letter- Enclose site and groundwater map and H2M data of 22Apr. Groundwater flow is NW. BTEX ranged was approx 8590ppb (well 1; SE), 24300ppb (well 3; NW), and 34090ppb (well 2, middle); MTBE was ND; and Lead was 8.2ppb, 8.8ppb and 55.8ppb. 05/18/92: Unico FAX- Site map. Shows location of proposed wells across the street. Does not have groundwater info. 06/04/92: Haas and Unico on site- Installed 1 50ft well across street to West. No odor noted in soil. No sketch. SEE 23OCT92 REPORT FOR SOIL LOGS. 06/05/92: Unico installed 1 40ft well across street to West. No sketch. SEE 23OCT92 REPORT FOR SOIL LOGS. 06/09/92: Unico surveyed and sampled the new wells. No sketch. 06/17/92: Unico resampled well 5. No sketch. 06/19/92: H2M Labs 9Jun data- Well 4 (Sample for well 5 was lost). BTEX was ND; MTBE evidently not done. 06/22/92: H2M Labs 17Jun data- Well 5. Found approx 2470ppb BTEX; MTBE evidently not done. 07/14/92: Unico installed 1 44ft well. No sketch. SEE 23OCT92 REPORT FOR SOIL LOGS. 07/15/92: Unico installed 1 51ft well. No sketch. SEE 23OCT92 REPORT FOR SOIL LOGS. 07/16/92: Unico installed 1 40ft well. No sketch. SEE 23OCT92 REPORT FOR SOIL LOGS. 08/10/92: Unico sampled the new wells. No sketch. 08/31/92: Unico FAX- Enclose H2M 10Aug data: BTEX ranged from low to approx 145ppb (well 6); MTBE evidently not done. 10/23/92: Unico report- Soils mostly medium-coarse sand with some gravel and cobble. Performed slug test on 18Nov. Includes summary of dissolved product data, site/groundwater map, BTEX map, and soil logs and dissolved product data for all wells. 11/18/92: Unico performed slug test. 12/31/92: Haas sends out RFPs to contractors. 01/29/93: Unico proposal- Propose 2 recovery wells with 2 injection wells. The large recovery well would be on west edge of station; the smaller across street to the west. Each would be 6 dia, 60ft deep. The large well would use a

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 37 **DIST/DIR:** 0.02 NE **ELEVATION:** 84 **MAP ID:** 35

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|--|--|
| NAME: ANGS S/S ADDRESS: 73 CEDAR SWAMP RD GLEN COVE NY NASSAU | REV: 7/26/11 ID1: 9009792 ID2: 241208 STATUS: CLOSED PHONE: |
| CONTACT: SOURCE: NYSDEC | |

75gpm pump, the smaller a 50gpm pump. Both would pump to a 42 dia 36ft tall air stripper and discharge to injection wells. Each injection well would be 6 dia, 60ft deep. Would also install a Soil Vapor Extraction System (VES) utilizing wells 1 and 3. Includes map of proposed layout. 02/19/93: Haas letter to Unico- Have selected your firm. 03/25/93: Unico performs a 65ft soil boring. 03/29/93: Unico performs a 61ft soil borings. 03/31/93: Reg Spill Engr issues Temporary Authorization to Discharge to Unico. 04/05/93 (THIS DATE?): Unico performs soil borings (SEE 9APR UNICO FAX). 04/09/93: Unico FAX- Results of soil sieve analyses. 04/14/93: Unico FAX- Suggest 6 dia wells, with 10ft of .035 screen. MAY-AUG 93: Unico installed remediation system (SEE 12AUG95 UNICO REPORT)- 2 6 dia wells, 42 x 36ft air stripper, 1 50gpm and 1 75gpm pump. Also installed Soil Vapor Extraction System (VES) using 3 wells and 2Hp blower. 12/15/93 (APPROX): Unico sampled wells for dissolved product analyses. No sketch. 12/17/93: Pedneault 15Dec data- Wells 1 and 4-7. BTEX ranged from ND to approx 3275ppb (well 1) and 4969ppb (well 5); MTBE was ND. 03/16/94: Unico sampled wells for dissolved product analyses. No sketch. ANALAB OF NJ TO ANALYZE- SEE 29MAR94 UNICO REPORT FOR DATA. 03/25/94: Unico sampled recovery wells. PEDNEAULT TO ANALYZE- SEE 29MAR94 UNICO REPORT FOR DATA. 03/29/94: Unico report- Currently SIX monitoring wells plus two recovery wells. In addition, there are two vapor wells (WERE THESE ORIGINALLY MONITORING WELLS?). Includes site/groundwater map. Also includes data of 16 and 25March: sampled wells 3, 4, and 6-8. BTEX ND in wells 4 and 6-8; was 9621ppb in well 3. MTBE was ND to low in wells 4 and 6-8; was 517ppb in well 3. Also compares this to Dec93 data. 06/27/94 (APPROX): Unico sampled wells for dissolved product analyses. No sketch. 07/21/94: Pedneault 27Jun data- Wells 1 and 4-8. BTEX ranged from ND to approx 1023ppb (well 1) and 9450ppb (well 5) (most were low-trace); MTBE ranged from ND to approx 2.9ppb (well 6). 09/22/94 (APPROX): Unico sampled wells for dissolved product analyses. No sketch. 10/10/94: Pedneault 22Sept data- Wells 1 and 4-8. BTEX ranged from ND to approx 2100ppb (well 1) and 9450ppb (well 5) (most were low-trace); MTBE ranged from ND to approx 1.7ppb (well 8). 12/22/94 (APPROX): Unico sampled wells for dissolved product analyses. No sketch. 01/16/95: Pedneault December 16 data- Wells 1 and 4-8. BTEX ranged from ND to approx 1023ppb (well 1) and 3518ppb (well 5) (most were low-trace); MTBE was ND. 02/02/95: Haas sends Luyster Motors (across the street, where downgradient wells are) latest dissolved product data. 02/10/95: Unico FAX- Enclose map showing proposed locations for 3 soil borings. Will sample every 5ft to within 5ft of the water table; then continuously. Will field check. Hottest sample above the capillary fringe, and the hottest within it, will be sent to lab. Will analyze for volatiles via EPA 8021. 03/01/95 - 03/03/95: Unico performed the borings (SEE 12AUG95 REPORT FOR DETAILS). 03/10/95: Unico sampled wells for dissolved product analyses. No sketch. 03/16/95: Pedneault 10Mar data- Wells 1 and 4-8. BTEX ranged from ND to approx 3244ppb (well 1) (most were low-trace); MTBE was ND. 03/16/95: Pedneault data- Soil borings. (SEE 12AUG95 REPORT FOR DETAILS). 04/28/95: Unico found bad capacitors and relays. 07/07/95: Unico replaced the bad capacitors and relays. Still have problem with low voltage end. 07/11/95: Unico checked system floats. 08/12/95: Unico report- Recovery system has TWO wells (one on site; the other across street to West). Water is pumped through air stripper and discharged to drainage. Also has a VES system. It uses two former site wells. Soils mostly fine-medium sand, with some silt at approx 15-20ft. Has site map and soil logs. Also has field readings and lab data. Found very high BTEX near boring 1. Recommend upgrading the VES. 08/14/95: Unico Jan95 - Mar95 quarterly report- Currently 6 wells. Depth To Water (DTW) approx 24-36ft; groundwater flow is to W. There is a pump and treat recovery system and a VES system. No product recovered to date. Includes summary of 16Dec94 and 10Mar95 dissolved product and well monitoring data, hydrograph, site/groundwater map, and the Mar95 dissolved product data. JAN96: BERNINGER ENVIRONMENTAL BECOMES NEW CONTRACTOR. 01/03/96: Haas meets with Berninger on-site. 01/11/96: Berninger letter- Made first check of wells and system today. Notes that both groundwater and VES systems were off-line. Recommend reactivation of Recovery Well 1. Should be serviced first, and the well developed. Will raise the pump, to pull in more heavily-contaminated water. Also recommend reactivation of the VES system. 01/12/96: Berninger sampled wells for dissolved product analyses. No sketch. 01/19/96: Pedneault 12Jan data- Wells 1-8. BTEX ranged from ND to approx 746ppb (well 5), 1618ppb (well 1), 3017ppb (well 3), and 8756ppb (well 2); MTBE was ND. 03/12/96: Berninger developed Recovery Well 1. 04/18/96: Berninger sampled wells for dissolved product. No sketch. 05/07/96: Pedneault 18Apr data- Wells 1-8. BTEX ranged from ND to approx 427ppb (1), 554ppb (well 2), and 2326 (well 3); MTBE was ND. 07/17/96: Berninger sampled wells for dissolved product. No sketch. 07/30/96: Pedneault 17Jul data- Wells 1-6 and 8. BTEX ranged from ND to approx 1821ppb (well 1), 5391ppb (well 3), and 7254ppb (well 2); MTBE was ND. ***NOTE: WE BELIEVE ZUCCALA IS ALSO THE PROPERTY OWNER. ***NOTE: THIS IS A PRIVATELY-OWNED STATION. ***NOTE: DID NOT CHECK FOR OTHER SPILLS HERE/NEAR HERE THAT IMPACTED/MAY HAVE IMPACTED THIS SITE.

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

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|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 90 | DIST/DIR: 0.02 NE | ELEVATION: 84 | MAP ID: 35 |
|----------------------|--------------------------|----------------------|-------------------|

| | |
|-----------------------------------|---|
| NAME: CONFIDENTIAL | REV: 11/22/02 |
| ADDRESS: 73 CEDAR SWAMP RD | ID1: NAFM-2555 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-NC FIRE MARSHAL |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 40 **DIST/DIR:** 0.02 NW **ELEVATION:** 77 **MAP ID:** 36

| | |
|---|---|
| <p>NAME: COMMERCIAL PROPERTY ADDRESS: 63 SEA CLIFF AVE GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 0750878 ID2: 387473 STATUS: CLOSED PHONE:</p> |
|---|---|

SITE INFORMATION

SPILL DATE: 10/20/2006
DATE REPORTED: 9/20/2007
CLOSED DATE: 10/16/2007

INSP DATE:
MATERIAL SPILLED: UNKNOWN PETROLEUM **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

RESOURCE AFFECTED

| | |
|--|--|
| <p>SOIL: True INDOOR AIR: False SURFACE WATER: False SEWER: False SUBWAY: False</p> | <p>AIR: False GROUNDWATER: False DRINKING WATER: False IMPERVIOUS SURFACE: False UNDERGROUND UTILITIES: False</p> |
|--|--|

CAUSE OF SPILL: UNKNOWN
WATERBODY AFFECTED:
SOURCE OF SPILL: UNKNOWN
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: TJDMEEO
SPILL CONTACT: STEVE PLOFKER
TELEPHONE:

SPILLER:

ADDRESS:

TELEPHONE:

REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 6/8/2010
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: STEVE FROM AARCO CALLED REGARDING ABOVE PROPERTY. AARCO CLEANED OUT STORM DRAINS AND ABANDONED INTERIOR PITS WITH NCDOH OVERSITE. STAINED SOIL IDENTIFIED IN VICINITY OF REAR STRUCTURE (AUTOMOBILE REPAIR FACILITY). SAMPLES WERE TAKEN - LAB ANALYSIS INDICATED SVOC CONTAMINATION. SOIL WAS SCRAPED, DISPOSED AND ENDPOINT SAMPLE COLLECTED. SPILL NEVER REPORTED DUE TO OVERSITE. CURRENT OWNER REFINANCING AND REQUESTING DEC NFA LETTER. AARCO REPORTING SPILL 11 MONTHS LATER WILLING TO REDO SAMPLING W/DEC OVERSITE IN ORDER TO SATISFY CLIENT. REQUEST SPILL BE ASSIGNED.

DEC REMARKS: Steve will forward copies of initial sampling, endpoint sampling and disposal documentation from 10/20/06. 9/21/07 REASSIGNED 10/1/07 TJD Onsite 0800-0830 Site inspection w/AARCO and North Fork Bank representative. Previous consultant had identified surface contamination in parking area. Contractor excavated material and collected endpoint samples - all analytes within acceptable levels. At time of inspection no obvious visible or olfactory evidence of petroleum contamination was identified. No further action required. 10/16/07 TJD NFA letter issued.

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

| | | | |
|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 40 | DIST/DIR: 0.02 NW | ELEVATION: 77 | MAP ID: 36 |
|----------------------|--------------------------|----------------------|-------------------|

NAME: COMMERCIAL PROPERTY
ADDRESS: 63 SEA CLIFF AVE
GLEN COVE NY
NASSAU

REV: 7/26/11
ID1: 0750878
ID2: 387473
STATUS: CLOSED
PHONE:

CONTACT:
SOURCE: NYSDEC

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 125 **DIST/DIR:** 0.02 NE **ELEVATION:** 116 **MAP ID:** 37

| | |
|--|-----------------------|
| NAME: GLEN COVE SCHOOL DISTRICT | REV: 7/26/11 |
| ADDRESS: CEDAR SWAMP RD | ID1: 9207082 |
| GLEN COVE NY | ID2: 296509 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 9/18/1992
DATE REPORTED: 9/18/1992
CLOSED DATE: 12/28/1992

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: True |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: T/T/F
SPILL CONTACT:
TELEPHONE:

SPILLER: GLEN COVE SCHOOL DISTRICT

ADDRESS: CEDAR SWAMP ROAD
GLEN COVE, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 12/29/1992
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: 5K FAILED AT -.451, TANK SPECIALIST TESTER, THEY WILL PROBABLY UNCOVER TANK AND GO FOR A TANK HOLDING TEST, WILL ADVISE

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 61 **DIST/DIR:** 0.02 NE **ELEVATION:** 116 **MAP ID:** 37

| | |
|--------------------------------------|-----------------------|
| NAME: SOLOMAN SCHECTER SCHOOL | REV: 7/26/11 |
| ADDRESS: CEDAR SWAMP RD | ID1: 9810672 |
| GLEN COVE NY | ID2: 296513 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

| | |
|--|------------------------------|
| SPILL DATE: | 11/23/1998 |
| DATE REPORTED: | 11/23/1998 |
| CLOSED DATE: | 10/20/2000 |
| INSP DATE: | |
| MATERIAL SPILLED: TRANSFORMER OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: UNKNOWN
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: HMCIRRIT
SPILL CONTACT: MATRIN BRUSCELLA
TELEPHONE: (516) 391-6591

SPILLER: KEYSpan ENERGY
MARTIN BRUSCELLA
ADDRESS: 175 EAST OLD COUNTRY ROAD
HICKSVILLE, ZZ
TELEPHONE:

REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 10/20/2003
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: A TRANSFORMER IN A VAULT IN THE BASEMENT OF AN UNKNOWN SCHOOL AT THE ABOVE ADDRESS FAILED. KEYSpan IS ON SCENE TO INVESTIGATE. THEY ARE CURRENTLY DE ENERGIZING THE SYSTEM.

DEC REMARKS:
Prior to Sept, 2004 data translation this spill Lead_DEC Field was CIRRITO FLOOR CLEANED, DRAIN CLEANED OUT

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 126 **DIST/DIR:** 0.02 NE **ELEVATION:** 116 **MAP ID:** 37

| | |
|--------------------------------|-----------------------|
| NAME: GLEN COVE SCHOOLS | REV: 7/26/11 |
| ADDRESS: CEDAR SWAMP RD | ID1: 8901128 |
| GLEN COVE NY | ID2: 296508 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 5/4/1989 **DATE REPORTED:** 5/4/1989
CLOSED DATE: 7/5/1989 **INSP DATE:**

MATERIAL SPILLED: 2 FUEL OIL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
CALLER REMARKS: 5K GROSS LEAK. VOLINO and SONS TESTER. WILL DIG UP TANK COLES SCHOOL

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: AYLEUNG
SPILL CONTACT:
TELEPHONE:

SPILLER: GLEN COVE SCHOOLS

ADDRESS: DESORIS LANE
GLEN COVE, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 4/21/2006
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was LEUNG FD 07/04/89: TANK PASSED SYSTEM TEST AFTER VENT LINE WAS REPLACED and NEW FEED and RETURNS LINE INSTALLED. HIGH END OF TANK WAS BLEED BEFORE TEST. FILE HAS BEEN DESTROYED ACCORDING TO STATE ARCHIVE AND RECORD ADMINISTRATOR RETENTION/DISPOSAL PROCEDURES

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 43 **DIST/DIR:** 0.02 NE **ELEVATION:** 116 **MAP ID:** 37

| | |
|--|-----------------------|
| NAME: GLEN COVE SCHOOL DISTRICT | REV: 7/26/11 |
| ADDRESS: CEDAR SWAMP RD | ID1: 9207082 |
| GLEN COVE NY | ID2: 296509 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 9/18/1992
DATE REPORTED: 9/18/1992
CLOSED DATE: 12/28/1992

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: True |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: T/T/F
SPILL CONTACT:
TELEPHONE:

SPILLER: GLEN COVE SCHOOL DISTRICT

ADDRESS: CEDAR SWAMP ROAD
 GLEN COVE, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 12/29/1992
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: 5K FAILED AT -.451, TANK SPECIALIST TESTER, THEY WILL PROBABLY UNCOVER TANK AND GO FOR A TANK HOLDING TEST, WILL ADVISE

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

| | | | |
|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 91 | DIST/DIR: 0.02 NE | ELEVATION: 96 | MAP ID: 38 |
|----------------------|--------------------------|----------------------|-------------------|

| | |
|-----------------------------------|---|
| NAME: CONFIDENTIAL | REV: 11/22/02 |
| ADDRESS: 61 CEDAR SWAMP RD | ID1: NAFM-4945 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-NC FIRE MARSHAL |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 39 **DIST/DIR:** 0.03 NE **ELEVATION:** 74 **MAP ID:** 39

| | |
|------------------------------------|-----------------------|
| NAME: CandJ SERVICE STATION | REV: 7/26/11 |
| ADDRESS: 297 GLEN COVE ST | ID1: 0025408 |
| GLEN COVE NY | ID2: 129533 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

| | |
|---|------------------------------|
| SPILL DATE: | 2/14/2001 |
| DATE REPORTED: | 2/14/2001 |
| CLOSED DATE: | 1/7/2002 |
| INSP DATE: | |
| MATERIAL SPILLED: WASTE OIL/USED OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: DELIBERATE
WATERBODY AFFECTED:
SOURCE OF SPILL: GASOLINE STATION
REPORTED BY: CITIZEN
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT:
TELEPHONE:

SPILLER: CandJ SERVICE STATION
ADDRESS: 297 GLEN COVE-GREENVALE
 GLEN COVE, NY
TELEPHONE:

REPORTED BY: CITIZEN

LAST DEC UPDATE: 2/10/2011
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: SITE IS INDEPENDENT STATION LOCATED NEXT TO GLEN STREET TRAIN STATION (**GLEN COVE-GREENVALE RD IS ALSO KNOWN AS GLEN ST, CEDAR SWAMP RD, AND RT 107**). CALLER WITNESSED EMPLOYEE TAKE PAIL OF WASTE OIL BEHIND BUILDING AND PREPARE TO DUMP IT. WHEN SHE QUESTIONED HIM, HE SAID HE WOULD NOT DUMP IT, BUT SHE SUSPECTS HE DID ANYWAY, AND SUSPECTS STATION HAS DONE SO FOR SOME TIME.

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was UNASSIGNED 00-142 SEE ALSO 92-03012

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 76 **DIST/DIR:** 0.03 NE **ELEVATION:** 74 **MAP ID:** 39

NAME: CandJ SERVICE STATION, INC.
ADDRESS: 297 GLEN ST
GLEN COVE NY 11542
NASSAU
CONTACT:
SOURCE: NY DEC

REV: 7/26/11
ID1: PBS1-000027
ID2:
STATUS: UNREGULATED
PHONE:

PETROLEUM BULK STORAGE FACILITY INFORMATION

SITE STATUS: ACTIVE
EXPIRATION DATE: 2005/03/17

SITE STATUS: UNREGULATED
EXPIRATION DATE: N/A

CONTACT INFORMATION

COMPANY NAME: CandJ SERVICE STATION, INC.
CONTACT : JOSEPH BASILE

.NY,

(516) 676-9069

COMPANY NAME: JOSEPH BASILE
CONTACT :

297 GLEN ST.
GLEN COVE,NY, 11542

(516) 676-9069

TANK INFORMATION

TANK NUMBER: 1 **TANK ID:** 182231
TANKS STATUS: IN SERVICE **INSTALL DATE:** 4/1/1985
CAPACITY(GAL): 0 **DATE OF TEST:**
NEXT TEST: **CLOSED DATE:**
REGISTERED: YES **TANK TYPE:** EQUIVALENT TECHNOLOGY
TANK LOCATION: UNDERGROUND, VAULTED, WITH ACCESS

TANK NUMBER: 2 **TANK ID:** 182232
TANKS STATUS: IN SERVICE **INSTALL DATE:** 4/1/1985
CAPACITY(GAL): 0 **DATE OF TEST:**
NEXT TEST: **CLOSED DATE:**
REGISTERED: YES **TANK TYPE:** EQUIVALENT TECHNOLOGY
TANK LOCATION: UNDERGROUND, VAULTED, WITH ACCESS

HISTORIC TANK INFORMATION FROM 2007

TANK NUMBER: 1 **TANK STATUS:** IN SERVICE

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 76 **DIST/DIR:** 0.03 NE **ELEVATION:** 74 **MAP ID:** 39

NAME: CandJ SERVICE STATION, INC.
ADDRESS: 297 GLEN ST
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: PBS1-000027
ID2:
STATUS: UNREGULATED
PHONE:

CONTACT:
SOURCE: NY DEC

ACTIVE STATUS: ACTIVE **INSTALLED:** 4/1/1985
CLOSED: **TANK CAPACITY:** 0 GALLONS
PRODUCT: GASOLINE

TANK TYPE: FIBERGLASS REINFORCED PLASTIC (FRP)
TANK LOCATION: UNDERGROUND

INTERNAL PROTECTION:
EXTERNAL PROTECTION:
EXTERNAL PROTECTION 2:

PIPE TYPE:
PIPE LOCATION:
EXTERNAL PROTECTION:
EXTERNAL PROTECTION 2:

SECONDARY CONTAINMENT:
SECONDARY CONTAINMENT 2:
LEAK DETECTION:
LEAK DETECTION 2:

OVERFILL PROTECTION:
OVERFILL PROTECTION 2:
DISPENSER:
SPILL PREVENTION:
DATE TESTED:
NEXT TEST:
TEST METHOD: TESTING NOT REQUIRED

TANK NUMBER: 2 **TANK STATUS:** IN SERVICE
ACTIVE STATUS: ACTIVE **INSTALLED:** 4/1/1985
CLOSED: **TANK CAPACITY:** 0 GALLONS
PRODUCT: GASOLINE

TANK TYPE: FIBERGLASS REINFORCED PLASTIC (FRP)
TANK LOCATION: UNDERGROUND

INTERNAL PROTECTION:
EXTERNAL PROTECTION:
EXTERNAL PROTECTION 2:

PIPE TYPE:
PIPE LOCATION:
EXTERNAL PROTECTION:
EXTERNAL PROTECTION 2:

SECONDARY CONTAINMENT:
SECONDARY CONTAINMENT 2:
LEAK DETECTION:
LEAK DETECTION 2:

OVERFILL PROTECTION:
OVERFILL PROTECTION 2:
DISPENSER:
SPILL PREVENTION:

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

| | | | |
|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 76 | DIST/DIR: 0.03 NE | ELEVATION: 74 | MAP ID: 39 |
|----------------------|--------------------------|----------------------|-------------------|

NAME: CandJ SERVICE STATION, INC.
ADDRESS: 297 GLEN ST
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: PBS1-000027
ID2:
STATUS: UNREGULATED
PHONE:

CONTACT:
SOURCE: NY DEC

DATE TESTED:
NEXT TEST:
TEST METHOD: TESTING NOT REQUIRED

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 38 **DIST/DIR:** 0.03 NE **ELEVATION:** 74 **MAP ID:** 39

| | |
|-----------------------------|-----------------------|
| NAME: CandJ S/S | REV: 7/26/11 |
| ADDRESS: 297 GLEN ST | ID1: 9203012 |
| GLEN COVE NY | ID2: 298411 |
| NASSAU | STATUS: ACTIVE |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 6/5/1992
DATE REPORTED: 6/5/1992
CLOSED DATE:
INSP DATE:
MATERIAL SPILLED: WASTE OIL/USED OIL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: UNKNOWN
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: DEC
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: KMYAGER
SPILL CONTACT:
TELEPHONE:

SPILLER: CandJ S/S

ADDRESS: , ZZ
TELEPHONE:

REPORTED BY: DEC

LAST DEC UPDATE: 7/13/2011
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: WASTE OIL and POSS GAS CONTAMINATION DISCOVERED DURING A ROUTINE TANK REMOVAL

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was AUSTIN WELL 10/10/95: This is additional information about material spilled from the translation of the old spill file: GASOLINE POSS. 3/8/01 FILE REASSIGNED 6/27/05 FILE REASSIGNED

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 83 **DIST/DIR:** 0.03 NE **ELEVATION:** 74 **MAP ID:** 39

NAME: CONFIDENTIAL
ADDRESS: 297 GLEN ST
GLEN COVE NY 11542
NASSAU

REV: 11/22/02
ID1: NAFM-1962
ID2:
STATUS: HISTORIC-NC FIRE MARSHAL
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 68 **DIST/DIR:** 0.03 NE **ELEVATION:** 93 **MAP ID:** 40

| | |
|-----------------------------------|-----------------------|
| NAME: VOLVO DEALERSHIP | REV: 7/26/11 |
| ADDRESS: 79 CEDAR SWAMP RD | ID1: 0303627 |
| GLEN COVE NY | ID2: 68575 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 7/7/2003
DATE REPORTED: 7/7/2003
CLOSED DATE: 7/25/2003

| | |
|--|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: HYDRAULIC OIL | AMOUNT SPILLED: 7 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL VEHICLE
REPORTED BY: LOCAL AGENCY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT: TRAVIS HILLMER
TELEPHONE: (800) 229-5252 1

SPILLER: SWIFT TRANSPORTATION
 JOE BRACKEN
ADDRESS: 2200 SOUTH 75TH AVENUE
 PHOENIX, AZ 85043-
TELEPHONE:

REPORTED BY: LOCAL AGENCY

LAST DEC UPDATE: 7/7/2011
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: HYDRAULIC LINE BLEW

DEC REMARKS:
 UNLOADING TRUCK AND LINE RUPTURED,PER TRAVIS HILLMER,SPILL ON LEVEL GROUND NOT RUNNING TOWARD ANY DRAINS, CONTAINED, OWNER ON SITE, TRADEWINDS ON WAY, DOUG SCHRIMPS TO CLEANUP 7/25/03 15:20 TELECON FROM DOUG, TRADEWINDS, SPILL CLEANED UP, DRAIN IMPACTED, 1-2 GALLONS IMPACTED DRAIN, DRAIN CLEANED WITH ABSORBANT PADS

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 101 **DIST/DIR:** 0.03 NE **ELEVATION:** 93 **MAP ID:** 40

NAME: HASSEL AUTO WEST, INC. **REV:** 5/28/02
ADDRESS: 79 CEDAR SWAMP RD **ID1:** N-057699
GLEN COVE NY 11542 **ID2:**
NASSAU **STATUS:** HISTORIC-ACTIVE FACILITY
CONTACT: **PHONE:**
SOURCE:

SITE INFORMATION

OWNER: FRANK D. DELLAQUILA
291 W. SUNRISE HWY.
FREEPORT NY 11520

PERMITTEE: SAME

TANK INFORMATION

TANK NUMBER: 0002 **TANK STATUS:** IN SERVICE
INSTALLED: 012001 **MATERIAL TYPE:** WASTE
TANK CAPACITY: 00000240 GALLONS **PRODUCT:** WASTE OIL

TANK TYPE: STEEL
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: GALVANIZED STEEL

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

TANK NUMBER: 0003 **TANK STATUS:** IN SERVICE
INSTALLED: 052000 **MATERIAL TYPE:** WASTE
TANK CAPACITY: 00000550 GALLONS **PRODUCT:** WATER, OIL

TANK TYPE: STEEL
TANK LOCATION: INDOORS BELOW GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: FIBERGLASS REINFORCED PLASTIC
PIPING: FIBERGLASS

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: ELECTRONIC
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: NO

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 70 **DIST/DIR:** 0.03 NE **ELEVATION:** 92 **MAP ID:** 41

| | | | |
|-----------------|--------------------|----------------|---------|
| NAME: | | REV: | 7/26/11 |
| ADDRESS: | 129 CEDAR SWAMP RD | ID1: | 9707664 |
| | GLEN COVE NY | ID2: | 295388 |
| | NASSAU | STATUS: | CLOSED |
| CONTACT: | | PHONE: | |
| SOURCE: | NYSDEC | | |

SITE INFORMATION

| | | | |
|--------------------------|----------------|--------------------------|-----|
| SPILL DATE: | 9/22/1997 | | |
| DATE REPORTED: | 9/29/1997 | | |
| CLOSED DATE: | 2/6/1998 | | |
| INSP DATE: | | | |
| MATERIAL SPILLED: | COOKING GREASE | AMOUNT SPILLED: | 0 G |
| MATERIAL CLASS: | OTHER | AMOUNT RECOVERED: | 0 G |

RESOURCE AFFECTED

| | | | |
|-----------------------|-------|-------------------------------|-------|
| SOIL: | True | AIR: | False |
| INDOOR AIR: | False | GROUNDWATER: | False |
| SURFACE WATER: | False | DRINKING WATER: | False |
| SEWER: | False | IMPERVIOUS SURFACE: | False |
| SUBWAY: | False | UNDERGROUND UTILITIES: | False |

| | |
|----------------------------|-----------------------|
| CAUSE OF SPILL: | UNKNOWN |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | COMMERCIAL/INDUSTRIAL |
| REPORTED BY: | OTHER |
| REGION: | |
| UST TRUST? | NO |

| | |
|----------------------------|----------|
| SPILL INVESTIGATOR: | NJACAMPO |
| SPILL CONTACT: | |
| TELEPHONE: | |

| | |
|-----------------|---------|
| SPILLER: | UNKNOWN |
|-----------------|---------|

| | |
|-----------------|------|
| ADDRESS: | , NY |
|-----------------|------|

TELEPHONE:

| | |
|---------------------|-------|
| REPORTED BY: | OTHER |
|---------------------|-------|

| | |
|---------------------------------|----------|
| LAST DEC UPDATE: | 2/9/1998 |
| CLEAN UP MEET STANDARDS? | YES |
| PENALTY RECOMMENDED? | NO |

CALLER REMARKS: CALLER REPORTS SOIL TESTING FOUND CONTAMINATED SOIL. CLEAN UP WILL START TOMORROW.

DEC REMARKS:
Prior to Sept, 2004 data translation this spill Lead_DEC Field was ACAMPORA

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 63 **DIST/DIR:** 0.04 NE **ELEVATION:** 122 **MAP ID:** 42

| | |
|--------------------------|-----------------------|
| NAME: UNKNOWN | REV: 7/26/11 |
| ADDRESS: 4 2ND ST | ID1: 0551685 |
| GLEN COVE NY | ID2: 360315 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

| | |
|-------------------------------------|------------------------------|
| SPILL DATE: | 3/1/2006 |
| DATE REPORTED: | 3/1/2006 |
| CLOSED DATE: | 8/29/2006 |
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 10 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: True |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: TANK TRUCK
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: Unassigned
SPILL CONTACT: FRANK
TELEPHONE:

SPILLER: GENERAL UTILITIES

ADDRESS: 100 FAIRCHILD AVE
 PLAINVIEW, NY 11803

TELEPHONE:

REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 2/27/2009
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: VALVE BLEW ON THE TRUCK. DRIVER SHUT ALL COMPARTMENTS TO STOP LEAK. APPROX 10 GAL LEAKED ONTO THE ROAD SURFACE AND A CAR. GENERAL WILL BE PERFORMING CLEANUP.

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 48 **DIST/DIR:** 0.05 NW **ELEVATION:** 45 **MAP ID:** 43

| | |
|--|---|
| <p>NAME: KUCHARSKI RESIDENCE ADDRESS: 6 E LEECH CIR GLEN COVE NY NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 0104869 ID2: 215906 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

SPILL DATE: 8/6/2001
DATE REPORTED: 8/6/2001
CLOSED DATE: 2/14/2007

| | |
|---|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: WASTE OIL/USED OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: DELIBERATE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: AFFECTED PERSONS
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: BXDONOVA
SPILL CONTACT: RICHARD TUCKER
TELEPHONE: (516) 674-9456

SPILLER: WIESLAW KUCHARSKI
 RICHARD TUCKER
ADDRESS: 6 LEECH CIRCLE EAST
 GLEN COVE, NY 11542-
TELEPHONE:

REPORTED BY: AFFECTED PERSONS

LAST DEC UPDATE: 2/16/2007
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: CALLER ALLEGES THAT THE SPILLER WHO OWNS THE RESIDENCE ABOVE DELIBERATELY POURED USED MOTOR OIL AROUND THE PERIMETER OF THE HOUSE - HE ALSO PAINTS HIS SHINGLES WITH QUAKER STATE MOTOR OIL FOR WHATEVER REASON - CALLER LIVES IN HALF OF THE SAME RESIDENCE.

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was BRIAN D MR KUCHARSKI CALLED AUGUST 1, SAID HE HAD BEEN TICKETED BY CITY FOR ILLEGALLY PAINTING HOUSE AND THAT HE NEEDED INSPECTION. DIFFICULT TO UNDERSTAND HIM DUE TO ACCENT, HE DIDN T SEEM TO BE CLEAR WHY HE WAS TICKETED OR WHICH AGENCY (NCDH OR DEC) WAS TO INSPECT, ASKED HIM TO HAVE THE CITY INSPECTOR CALL DEC DIRECTLY, GAVE HIS PHONE NUMBER AS 516-671-6946 HAVE NOT HEARD FROM HIM SINCE 8/6 HOWARD SCHAEFER (NCDH 516-571-3314) CALLED, COMPLAINANT HAS ALSO CALLED THEM, INFORMED HIM OF ABOVE 8/6 CALLED CITY OF GLEN COVE, SPOKE WITH TONY COANGERO (BLDG DEPT 516-676-2000), THEY DID RECVE COMPLAINT FROM TUCKER, HE AND OTHERS INSPECTORS CHECKED SITE, CONFIRMED TUCKERS COMPLAINT OF PAINTING WITH OIL, OIL ON GROUND MAY BE JUST DRIPPING FROM HOUSE, GAVE KUCHARSKI A NOTICE OF VIOLATION, NOT A TICKET, AND ORDERED HIM TO

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

| | | | |
|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 48 | DIST/DIR: 0.05 NW | ELEVATION: 45 | MAP ID: 43 |
|----------------------|--------------------------|----------------------|-------------------|

| | |
|----------------------------------|-----------------------|
| NAME: KUCHARSKI RESIDENCE | REV: 7/26/11 |
| ADDRESS: 6 E LEECH CIR | ID1: 0104869 |
| GLEN COVE NY | ID2: 215906 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

STOP. CONFIRMED UNK AMT OF OIL ON GROUND, COMPLAINANTS WIFE GETS SICK FROM ODORS, CITY FILE 541 8/6 UPDATED
SCHAEFER NO FURTHER ACTION

**THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER
INFORMATION**

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 51 **DIST/DIR:** 0.05 NE **ELEVATION:** 125 **MAP ID:** 44

| | |
|-----------------------------------|-----------------------|
| NAME: ON ROAD | REV: 7/26/11 |
| ADDRESS: 27 CEDAR SWAMP RD | ID1: 1010214 |
| GLEN COVE NY | ID2: 443810 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

| | |
|--|----------------------------|
| SPILL DATE: | 12/30/2010 |
| DATE REPORTED: | 12/30/2010 |
| CLOSED DATE: | 3/29/2011 |
| INSP DATE: | |
| MATERIAL SPILLED: TRANSFORMER OIL | AMOUNT SPILLED: 5 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: True |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|-------------------|
| CAUSE OF SPILL: | EQUIPMENT FAILURE |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | UNKNOWN |
| REPORTED BY: | RESPONSIBLE PARTY |
| REGION: | |
| UST TRUST? | NO |

| | |
|----------------------------|----------------|
| SPILL INVESTIGATOR: | Unassigned |
| SPILL CONTACT: | BILLY STUBER |
| TELEPHONE: | (917) 578-0160 |

| | |
|-------------------|--------------------|
| SPILLER: | LIPA/NATIONAL GRID |
| | BILLY STUBER |
| ADDRESS: | |
| | , NY |
| TELEPHONE: | |

| | |
|---------------------|-------------------|
| REPORTED BY: | RESPONSIBLE PARTY |
|---------------------|-------------------|

| | |
|---------------------------------|-----------|
| LAST DEC UPDATE: | 4/11/2011 |
| CLEAN UP MEET STANDARDS? | NO |
| PENALTY RECOMMENDED? | NO |

| | |
|------------------------|---------------------------|
| CALLER REMARKS: | ON ROAD - CLEANUP PENDING |
|------------------------|---------------------------|

DEC REMARKS:
12/30/10 11:05 t/c to Stuber, less than 5 gal spilled, non PCB, Waste Rec. on route. (VP) NATIONAL GRID INCIDENT DESCRIPTION: POLE TOP TRANSFORMER BLEW TOP, WENT ON FIRE AND SPILLED DIELECTRIC OIL ALL OVER SIDEWALK, STREET AND MANHOLE, WRS CLEANED UP

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 143 **DIST/DIR:** 0.05 NW **ELEVATION:** 88 **MAP ID:** 45

| | |
|-------------------------------------|-----------------------|
| NAME: TROUSDALL VILLAGE APTS | REV: 7/26/11 |
| ADDRESS: SEA CLIFF AVE | ID1: 8801971 |
| GLEN COVE NY | ID2: 209430 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 6/2/1988 **DATE REPORTED:** 6/2/1988
CLOSED DATE: 7/5/1995 **INSP DATE:**

MATERIAL SPILLED: 4 FUEL OIL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: TANK TESTER
CALLER REMARKS: UNK TANK SIZE GROSS LEAK NO ACTION YET

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: LUCE
SPILL CONTACT:
TELEPHONE:

SPILLER: TROUSDALL VILLAGE APTS

ADDRESS:
, ZZ

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 1/10/2000
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 144 **DIST/DIR:** 0.05 NW **ELEVATION:** 88 **MAP ID:** 45

| | |
|--|--|
| <p>NAME: TROUSDELL VILLAGE ADDRESS: SEA CLIFF AVE GLEN COVE NY NASSAU CONTACT: SOURCE: NY DEC</p> | <p>REV: 7/26/11 ID1: 8809146 ID2: 64938 STATUS: CLOSED PHONE:</p> |
|--|--|

SITE INFORMATION

| | |
|-------------------------------|---------------------------------|
| SPILL DATE: 2/24/1989 | DATE REPORTED: 2/24/1989 |
| CLOSED DATE: 2/24/1989 | INSP DATE: |

| | |
|-------------------------------------|------------------------------|
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

CAUSE OF SPILL: TANK FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: HEALTH DEPARTMENT
CALLER REMARKS: PARKING LOT BEHIND BLDG.TEMP FUEL TANK TO TEMP BOILER LEAKING INTO DRYWELL.FM HAS BEEN NOTIFIED.

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: NCFM
SPILL CONTACT:
TELEPHONE:

SPILLER: TROUSDELL VILLAGE

ADDRESS:
 , ZZ

TELEPHONE:

REPORTED BY: HEALTH DEPARTMENT

LAST DEC UPDATE: 5/22/2006
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was NCFM FD 02/24/89: NO CLEANUP NEEDED. NO DEC RESPONSE NEEDED. FILE HAS BEEN DESTROYED ACCORDING TO STATE ARCHIVE AND RECORD ADMINISTRATOR RETENTION/DISPOSAL PROCEDURES

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 98 **DIST/DIR:** 0.08 SE **ELEVATION:** 79 **MAP ID:** 46

| | |
|-------------------------------------|---|
| NAME: GLEN HEAD COUNTRY CLUB | REV: 5/28/02 |
| ADDRESS: CEDAR SWAMP RD | ID1: N-001119 |
| GLEN HEAD NY 11545 | ID2: |
| NASSAU | STATUS: HISTORIC-ACTIVE FACILITY |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

OWNER: GLEN HEAD C.C., INC.
CEDAR SWAMP RD.
GLEN HEAD NY 11545

PERMITTEE: GLEN HEAD C.C., INC.
CEDAR SWAMP RD.
GLEN HEAD NY 11545

TANK INFORMATION

| | |
|--|---------------------------------------|
| TANK NUMBER: 0004 | TANK STATUS: IN SERVICE |
| INSTALLED: 011983 | MATERIAL TYPE: FRESH / PRODUCT |
| TANK CAPACITY: 00005000 GALLONS | PRODUCT: OIL, FUEL 2 |

| | |
|-----------------------------|----------------------|
| TANK TYPE: | STEEL |
| TANK LOCATION: | INDOORS BELOW GROUND |
| INTERNAL PROTECTION: | NONE |
| EXTERNAL PROTECTION: | NONE |
| PIPING: | OTHER |

| | |
|-------------------------------|---------|
| SECONDARY CONTAINMENT: | NONE |
| LEAK DETECTION: | NONE |
| DISPENSER: | SUCTION |
| FILL TYPE: | PUMPED |
| PRODUCT GAUGE: | YES |

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 86 **DIST/DIR:** 0.09 NW **ELEVATION:** 69 **MAP ID:** 47

NAME: CONFIDENTIAL
ADDRESS: 275 GLEN ST
GLEN COVE NY 11542
NASSAU

REV: 11/22/02
ID1: NAFM-2589
ID2:
STATUS: HISTORIC-NC FIRE MARSHAL
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 45 **DIST/DIR:** 0.10 NW **ELEVATION:** 91 **MAP ID:** 48

| | |
|--------------------------------|-----------------------|
| NAME: HOFFMAN RESIDENCE | REV: 7/26/11 |
| ADDRESS: 50 PORTER PL | ID1: 9400635 |
| GLEN COVE NY | ID2: 182191 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

SPILL DATE: 4/14/1994
DATE REPORTED: 4/14/1994
CLOSED DATE: 5/20/1997

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | AMOUNT SPILLED: 1 G |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT RECOVERED: 0 G |
| MATERIAL CLASS: PETROLEUM | |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: TANK TRUCK
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: ACLAMANN
SPILL CONTACT:
TELEPHONE:

SPILLER: COMMANDER PETRO

ADDRESS: , ZZ
TELEPHONE:

REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 11/6/2002
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: HOSE BROKE WHILE WHEELING IN. SPILL ON SIDEWALK and DRIVEWAY. CREW TO FOLLOW UP.

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was LAMANNO NO ACTION NEEDED

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 96 **DIST/DIR:** 0.11 NW **ELEVATION:** 105 **MAP ID:** 49

NAME: GETY - NICKS AUTO REPAIR
ADDRESS: 85 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: PBS1-000526
ID2:
STATUS: UNREGISTERED
PHONE:

CONTACT:
SOURCE: NY DEC

PETROLEUM BULK STORAGE FACILITY INFORMATION

SITE STATUS: ACTIVE
EXPIRATION DATE: 2013/02/07

SITE STATUS: UNREGISTERED
EXPIRATION DATE: N/A

CONTACT INFORMATION

TANK INFORMATION

HISTORIC TANK INFORMATION FROM 2007

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 95 **DIST/DIR:** 0.11 NW **ELEVATION:** 105 **MAP ID:** 49

NAME: GETTY
ADDRESS: 85 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU
CONTACT:
SOURCE: NY DEC

REV: 7/26/11
ID1: PBS1-000535
ID2:
STATUS: UNREGISTERED
PHONE:

PETROLEUM BULK STORAGE FACILITY INFORMATION

SITE STATUS: UNREGISTERED
EXPIRATION DATE: N/A

SITE STATUS: ACTIVE
EXPIRATION DATE: 2013/02/07

CONTACT INFORMATION

COMPANY NAME: GETTY
CONTACT : NICK S AUTO REPAIR CENTRE INC.

.NY,

COMPANY NAME: GETTY
CONTACT : NICK S AUTO REPAIR CENTRE INC.

85 SEA CLIFF AVENUE
GLEN COVE,NY, 11542

COMPANY NAME: NICKS AUTO REPAIR CENTRE INC.
CONTACT :

36 HIGHLAND VIEW DRIVE
BAYVILLE,NY, 11709

COMPANY NAME: NICKS AUTO REPAIR CENTRE INC.
CONTACT : NICK

.NN,

TANK INFORMATION

TANK NUMBER: 001 **TANK ID:** 230848

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 95 **DIST/DIR:** 0.11 NW **ELEVATION:** 105 **MAP ID:** 49

NAME: GETTY **REV:** 7/26/11
ADDRESS: 85 SEA CLIFF AVE **ID1:** PBS1-000535
GLEN COVE NY 11542 **ID2:**
NASSAU **STATUS:** UNREGISTERED
CONTACT: **PHONE:**
SOURCE: NY DEC

TANKS STATUS: 8 **INSTALL DATE:**
CAPACITY(GAL): 0 **DATE OF TEST:**
NEXT TEST: **CLOSED DATE:**
REGISTERED: YES **TANK TYPE:** EQUIVALENT TECHNOLOGY
TANK LOCATION: UNDERGROUND, VAULTED, WITH ACCESS

HISTORIC TANK INFORMATION FROM 2007

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

SPILLS

SEARCH ID: 42 **DIST/DIR:** 0.11 NW **ELEVATION:** 105 **MAP ID:** 49

| | |
|---|---|
| <p>NAME: GETTY 98948 ADDRESS: 85 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 0511370 ID2: 357511 STATUS: CLOSED PHONE:</p> |
|---|---|

SITE INFORMATION

| | |
|-----------------------------------|------------------------------|
| SPILL DATE: | 12/30/2005 |
| DATE REPORTED: | 12/30/2005 |
| CLOSED DATE: | 7/27/2006 |
| INSP DATE: | |
| MATERIAL SPILLED: GASOLINE | AMOUNT SPILLED: G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: EQUIPMENT FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: GASOLINE STATION
REPORTED BY: LOCAL AGENCY
REGION:
UST TRUST? YES

SPILL INVESTIGATOR: KMYAGER
SPILL CONTACT: SCOTT HANLEY
TELEPHONE: (516) 542-4900

SPILLER: GETTY 98948
 SCOTT HANLEY
ADDRESS: 85 SEACLIFF AVE
 GLEN COVE, NY
TELEPHONE:

REPORTED BY: LOCAL AGENCY

LAST DEC UPDATE: 2/9/2009
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: LOCATED UNDERNEATH DISPENSER 2,3 DISPENSER SHUT DOWN. NO CONTAINMENT UNDERNEATH THE DISPENSER HAS GOTTEN INTO THE GROUND. UNDER INVESTIGATION.

DEC REMARKS:
 12/30/05 15:55 GETTY, DEALER LOCATION, LEAK FROM DISPENSER. SOIL STAINED WITH GASOLINE ODORS 1/4/06 SPOKE WITH BOHEMES, GASKET ON PUMP PULLEY, MOST OF SPILL ONTO PUMP ISLAND, WILL HAND DIG CONTAMINATED SOIL FROM BELOW PUMP ISLAND AND COLLECT ENDPOINT SAMPLES, WILL CALL WHEN WORK IS SCHEDULED AND SUBMIT SAMPLE RESULTS CONSULTANT MANFRED BOHMES GANNET 516-671-8440 x1308

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

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***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SPILLS

| | | | |
|----------------------|--------------------------|-----------------------|-------------------|
| SEARCH ID: 42 | DIST/DIR: 0.11 NW | ELEVATION: 105 | MAP ID: 49 |
|----------------------|--------------------------|-----------------------|-------------------|

NAME: GETTY 98948
ADDRESS: 85 SEA CLIFF AVE
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: 0511370
ID2: 357511
STATUS: CLOSED
PHONE:

CONTACT:
SOURCE: NYSDEC

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 81 **DIST/DIR:** 0.12 NW **ELEVATION:** 115 **MAP ID:** 50

NAME: CONFIDENTIAL
ADDRESS: 34 MC GRADY ST
GLEN COVE NY 11542
NASSAU

REV: 11/22/02
ID1: NAFM-2049
ID2:
STATUS: HISTORIC-NC FIRE MARSHAL
PHONE:

CONTACT:
SOURCE:

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 106 **DIST/DIR:** 0.13 NW **ELEVATION:** 114 **MAP ID:** 51

NAME: NICK S AUTO REPAIR CENTRE **REV:** 5/28/02
ADDRESS: SEA CLIFF AVE and MCGRADY ST **ID1:** N-055379
GLEN COVE NY 11542 **ID2:**
NASSAU **STATUS:** HISTORIC-ACTIVE FACILITY
CONTACT: **PHONE:**
SOURCE:

SITE INFORMATION

OWNER: NICHOLAS BARTOLOTTA
SEA CLIFF AVE. and MCGRADY
GLEN COVE NY 11542

PERMITTEE: SAME

TANK INFORMATION

TANK NUMBER: 0001 **TANK STATUS:** IN SERVICE
INSTALLED: 091988 **MATERIAL TYPE:** WASTE
TANK CAPACITY: 00000275 GALLONS **PRODUCT:** WASTE OIL

TANK TYPE: STEEL
TANK LOCATION: OUTDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: GALVANIZED STEEL

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: OTHER
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: YES

TANK NUMBER: 0002 **TANK STATUS:** IN SERVICE
INSTALLED: 091988 **MATERIAL TYPE:** WASTE
TANK CAPACITY: 00000275 GALLONS **PRODUCT:** WASTE OIL

TANK TYPE: STEEL
TANK LOCATION: OUTDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: GALVANIZED STEEL

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: OTHER
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: YES

TANK NUMBER: 0003 **TANK STATUS:** IN SERVICE
INSTALLED: 091988 **MATERIAL TYPE:** WASTE
TANK CAPACITY: 00000275 GALLONS **PRODUCT:** WASTE OIL

TANK TYPE: STEEL

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 106 **DIST/DIR:** 0.13 NW **ELEVATION:** 114 **MAP ID:** 51

NAME: NICK S AUTO REPAIR CENTRE **REV:** 5/28/02
ADDRESS: SEA CLIFF AVE and MCGRADY ST **ID1:** N-055379
GLEN COVE NY 11542 **ID2:**
NASSAU **STATUS:** HISTORIC-ACTIVE FACILITY
CONTACT: **PHONE:**
SOURCE:

TANK LOCATION: OUTDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: PAINTED/ASPHALT COATING
PIPING: GALVANIZED STEEL

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: OTHER
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: YES

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 135 **DIST/DIR:** 0.13 NW **ELEVATION:** 117 **MAP ID:** 52

| | |
|---|--|
| <p>NAME: MASSARO BROS FUEL OIL ADDRESS: 8 MCGRADY ST GLEN COVE NY NASSAU CONTACT: SOURCE: NY DEC</p> | <p>REV: 7/26/11 ID1: 9414844 ID2: 99026 STATUS: CLOSED PHONE:</p> |
|---|--|

SITE INFORMATION

| | |
|-------------------------------------|------------------------------|
| SPILL DATE: | 2/11/1995 |
| DATE REPORTED: | 2/11/1995 |
| CLOSED DATE: | 4/6/1995 |
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 25 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: TANK TRUCK
REPORTED BY: FIRE DEPARTMENT
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: NJACAMPO
SPILL CONTACT:
TELEPHONE:

SPILLER: MASSARO BROS FUEL OIL
ADDRESS: 724 MIDDLE NECK ROAD
 GREAT NECK, ZZ
TELEPHONE:

REPORTED BY: FIRE DEPARTMENT

LAST DEC UPDATE: 4/7/1995
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: DURING DELIVERY EQ ON TRUCK MALFUNCTIONED CAUSING OIL TO SPILL FROM DOME COVER ONTO STREET AND INTO DRAIN

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was ACAMPORA

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 140 **DIST/DIR:** 0.14 NW **ELEVATION:** 69 **MAP ID:** 53

| | |
|---------------------------------------|-----------------------|
| NAME: SAINT PATRICKS RC CHURCH | REV: 7/26/11 |
| ADDRESS: 235 GLEN ST | ID1: 8703053 |
| GLEN COVE NY | ID2: 184141 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 7/15/1987 **DATE REPORTED:** 7/16/1987
CLOSED DATE: 2/17/1989 **INSP DATE:**

MATERIAL SPILLED: 2 FUEL OIL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
CALLER REMARKS: 2-2K PETROTITE SYSTEM CONVENT- -.223 GPH, CHURCH -.312GPH

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: CXONEILL
SPILL CONTACT:
TELEPHONE:

SPILLER: SAINT PATRICKS RC CHURCH

ADDRESS:
, ZZ

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 11/14/2006
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was O NEILL FD / / : FandN TESTER. 02/17/89: BOTH TANKS WERE REMOVED ON SEPTEMBER 17-18TH. A TOTAL OF 20 YDS OF CONTAMINATED SOIL WAS REMOVED. FILE HAS BEEN DESTROYED ACCORDING TO STATE ARCHIVE AND RECORD ADMINISTRATOR RETENTION/DISPOSAL PROCEDURES

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 115 **DIST/DIR:** 0.14 NW **ELEVATION:** 69 **MAP ID:** 53

NAME: ST. PATRICK S R.C.CHURCH **REV:** 02/04/99
ADDRESS: 235 GLEN ST **ID1:** N-035000
GLEN COVE NY 11542 **ID2:**
NASSAU **STATUS:** HISTORIC-
CONTACT: **PHONE:**
SOURCE:

TANK INFORMATION

TANK NUMBER: 0005 **TANK STATUS:** IN SERVICE - DUE FOR REPLACEMENT
INSTALLED: 0168 **MATERIAL TYPE:** FRESH / PRODUCT
TANK CAPACITY: 00002000 GALLONS **PRODUCT:** OIL, FUEL 2

TANK TYPE: STEEL
TANK LOCATION: INDOORS BELOW GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: GALVANIZED STEEL

SECONDARY CONTAINMENT: NONE
LEAK DETECTION: NONE
DISPENSER: GRAVITY
FILL TYPE: GRAVITY
PRODUCT GAUGE: YES

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 117 **DIST/DIR:** 0.14 NE **ELEVATION:** 138 **MAP ID:** 54

| | |
|-----------------------------|-----------------------|
| NAME: BONO RESIDENCE | REV: 7/26/11 |
| ADDRESS: 27 1ST ST | ID1: 9913119 |
| GLEN COVE NY | ID2: 288978 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 2/17/2000
DATE REPORTED: 2/17/2000
CLOSED DATE: 5/31/2000

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: OTHER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: DONOVAN
SPILL CONTACT: WILLIAM TUDOR
TELEPHONE: (516) 883-1000

SPILLER: MICHAEL BONO RESIDENCE
MICHAEL BONO
ADDRESS: 27 1ST STREET
GLEN COVE, NY

TELEPHONE:

REPORTED BY: OTHER

LAST DEC UPDATE: 5/31/2000
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: CALLER REPORTING A SPILL OF OIL FROM A RUPTURED TANK CLEAN UP IS IN THE PROCESS AND TANK IS BEING PUMPED DRY NO CALLBACK NECESSARY

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 97 **DIST/DIR:** 0.15 NE **ELEVATION:** 132 **MAP ID:** 55

| | |
|--|---|
| <p>NAME: GLEN COVE KELLY ST WELL ADDRESS: KELLY ST GLEN COVE NY 11542 NASSAU CONTACT: SOURCE:</p> | <p>REV: 5/28/02 ID1: N-001261 ID2: STATUS: HISTORIC-ACTIVE FACILITY PHONE:</p> |
|--|---|

SITE INFORMATION

OWNER: CITY OF GLEN COVE

PERMITTEE: CITY OF GLEN COVE

TANK INFORMATION

| | | | |
|-----------------------|------------------|-----------------------|---------------------|
| TANK NUMBER: | 0002 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 071992 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000080 GALLONS | PRODUCT: | SODIUM HYPOCHLORITE |

TANK TYPE: OTHER
TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: OTHER
LEAK DETECTION: NONE
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: NO

| | | | |
|-----------------------|------------------|-----------------------|------------------|
| TANK NUMBER: | 0003 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 102001 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00004000 GALLONS | PRODUCT: | SODIUM HYDROXIDE |

TANK TYPE: STEEL
TANK LOCATION: INDOORS BELOW GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: FIBERGLASS REINFORCED PLASTIC
PIPING: STEEL / IRON

SECONDARY CONTAINMENT: DOUBLE WALLED TANK
LEAK DETECTION: ELECTRONIC
DISPENSER: SUCTION
FILL TYPE: GRAVITY
PRODUCT GAUGE: YES

| | | | |
|-----------------------|------------------|-----------------------|---------------------|
| TANK NUMBER: | 0004 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 092001 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00000325 GALLONS | PRODUCT: | SODIUM HYPOCHLORITE |

TANK TYPE: PLASTIC

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 97 **DIST/DIR:** 0.15 NE **ELEVATION:** 132 **MAP ID:** 55

NAME: GLEN COVE KELLY ST WELL
ADDRESS: KELLY ST
GLEN COVE NY 11542
NASSAU

REV: 5/28/02
ID1: N-001261
ID2:
STATUS: HISTORIC-ACTIVE FACILITY
PHONE:

CONTACT:
SOURCE:

TANK LOCATION: INDOORS ABOVE GROUND
INTERNAL PROTECTION: NONE
EXTERNAL PROTECTION: NONE
PIPING: OTHER

SECONDARY CONTAINMENT: DIKING AND PAD
LEAK DETECTION: OTHER
DISPENSER: SUCTION
FILL TYPE: PUMPED
PRODUCT GAUGE: YES

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 127 **DIST/DIR:** 0.15 NE **ELEVATION:** 132 **MAP ID:** 55

| | |
|---------------------------------------|-----------------------|
| NAME: GLEN COVE WATER DISTRICT | REV: 7/26/11 |
| ADDRESS: KELLY ST | ID1: 9409395 |
| GLEN COVE NY | ID2: 225564 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 10/13/1994
DATE REPORTED: 10/14/1994
CLOSED DATE: 11/10/1994

| | |
|--|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: UNKNOWN PETROLEUM | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: True |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: T/T/F
SPILL CONTACT:
TELEPHONE:

SPILLER: GLEN COVE WATER DISTRICT

ADDRESS: , ZZ
TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 11/17/1994
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: A VOLINO and SONS TESTER

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

| | | | |
|----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 78 | DIST/DIR: 0.18 NW | ELEVATION: 64 | MAP ID: 56 |
|----------------------|--------------------------|----------------------|-------------------|

| | |
|-----------------------------|---|
| NAME: CONFIDENTIAL | REV: 11/22/02 |
| ADDRESS: 220 GLEN ST | ID1: NAFM-3738 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: HISTORIC-NC FIRE MARSHAL |
| CONTACT: | PHONE: |
| SOURCE: | |

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 99 **DIST/DIR:** 0.19 NW **ELEVATION:** 82 **MAP ID:** 57

| | | | |
|-----------------|--------------------------|----------------|--------------------------|
| NAME: | GLEN PEARSALL APARTMENTS | REV: | 5/28/02 |
| ADDRESS: | 30 PEARSALL AVE | ID1: | N-032008 |
| | GLEN COVE NY 11542 | ID2: | |
| | NASSAU | STATUS: | HISTORIC-ACTIVE FACILITY |
| CONTACT: | | PHONE: | |
| SOURCE: | | | |

SITE INFORMATION

OWNER: 30-34 PEARSALL OWNERS INC
34 PEARSALL AVENUE
GLEN COVE NY 11542

PERMITTEE:

TANK INFORMATION

| | | | |
|-----------------------|------------------|-----------------------|-----------------|
| TANK NUMBER: | 0002 | TANK STATUS: | IN SERVICE |
| INSTALLED: | 041997 | MATERIAL TYPE: | FRESH / PRODUCT |
| TANK CAPACITY: | 00005000 GALLONS | PRODUCT: | OIL, FUEL 2 |

| | |
|-----------------------------|-------------------------|
| TANK TYPE: | STEEL |
| TANK LOCATION: | INDOORS ABOVE GROUND |
| INTERNAL PROTECTION: | OTHER |
| EXTERNAL PROTECTION: | PAINTED/ASPHALT COATING |
| PIPING: | STEEL/ IRON |

| | |
|-------------------------------|---------|
| SECONDARY CONTAINMENT: | VAULT |
| LEAK DETECTION: | OTHER |
| DISPENSER: | SUCTION |
| FILL TYPE: | PUMPED |
| PRODUCT GAUGE: | YES |

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 128 **DIST/DIR:** 0.19 NW **ELEVATION:** 82 **MAP ID:** 57

| | |
|----------------------------------|-----------------------|
| NAME: GLEN PEARSALL CO OP | REV: 7/26/11 |
| ADDRESS: 30 PEARSALL AVE | ID1: 9313094 |
| GLEN COVE NY | ID2: 95169 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 2/3/1994
DATE REPORTED: 2/4/1994
CLOSED DATE: 2/18/2004

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: True |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: TANK TESTER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: T/T/F
SPILL CONTACT:
TELEPHONE:

SPILLER: GLEN PEARSALL CO OP
TIM JESSUP
ADDRESS: 34 PEARSALL ROAD
GLEN COVE, NY 11542-
TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 2/24/2004
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: 12K FAILED AT -1.22432, PROTEST TESTER, NCDH WAS NOTIFIED,

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

UST

SEARCH ID: 82 **DIST/DIR:** 0.21 SW **ELEVATION:** 117 **MAP ID:** 58

| | |
|---|---|
| <p>NAME: CONFIDENTIAL ADDRESS: 24 CENTRAL DR OYSTER BAY NY 11545 NASSAU CONTACT: SOURCE:</p> | <p>REV: 11/22/02 ID1: NAFM-1430 ID2: STATUS: HISTORIC-NC FIRE MARSHAL PHONE:</p> |
|---|---|

SITE INFORMATION

AT THE REQUEST OF THE NASSAU COUNTY FIRE MARSHAL DETAILS ARE NOT AVAILABLE. FOR FURTHER INFORMATION PLEASE CONTACT THEM AT THE FOLLOWING PHONE NUMBER (516) 572-1000

UST

SEARCH ID: 114 **DIST/DIR:** 0.22 SE **ELEVATION:** 75 **MAP ID:** 59

| | |
|--|--|
| <p>NAME: ST. HYANCINTH RC CHURCH ADDRESS: 319 CEDAR SWAMP RD GLEN HEAD NY 11545 NASSAU CONTACT: SOURCE:</p> | <p>REV: ID1: N-035014 ID2: STATUS: UST PHONE:</p> |
|--|--|

| | <u>Tanks</u> | <u>Installed</u> | <u>Capacity</u> |
|-------------------|--------------|------------------|-----------------|
| CURRENT: | 0 | | |
| REMOVED: | 0 | | |
| PERMANENT: | 0 | | |
| UNKNOWN: | 2 | JAN 66 | 1500-10000 |
| TEMP: | 0 | | |
| CLOSED: | 0 | | |

PRODUCTS: OIL, FUEL 2
TANK MATERIAL: UNKNOWN
PIPE MATERIAL: UNKNOWN, GALVANIZED STEEL

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 138 **DIST/DIR:** 0.22 SE **ELEVATION:** 75 **MAP ID:** 59

| | |
|------------------------------------|-----------------------|
| NAME: SAINT HYACINAS CHURCH | REV: 7/26/11 |
| ADDRESS: 319 CEDAR SWAMP RD | ID1: 8702021 |
| GLEN HEAD NY | ID2: 118663 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

| | |
|-------------------------------|---------------------------------|
| SPILL DATE: 6/10/1987 | DATE REPORTED: 6/10/1987 |
| CLOSED DATE: 8/27/1987 | INSP DATE: |

| | |
|-------------------------------------|------------------------------|
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
CALLER REMARKS: 10K FAILED PETROTITE TEST AT -.331.

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: CXONEILL
SPILL CONTACT:
TELEPHONE:

SPILLER: SAINT HYACINAS CHURCH
ADDRESS: 319 CEDAR SWAMP ROAD
GLEN HEAD, NY

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 11/20/2006
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was O NEILL FD // : NO RETESTING SCHEDULED AS OF YET BY TYREE.
// : REPAIRED PIPING AFTER TANK PASSED TANK ONLY RETEST.SYSTEM PASSED RETEST 7/6/87. DEC NOT PRESENT DURING
RETEST. FILE HAS BEEN DESTROYED ACCORDING TO STATE ARCHIVE AND RECORD ADMINISTRATOR RETENTION/DISPOSAL
PROCEDURES

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRAGN

SEARCH ID: 9 **DIST/DIR:** 0.25 NW **ELEVATION:** 44 **MAP ID:** 60

| | |
|---|--|
| <p>NAME: BLUE BAY CLEANERS ADDRESS: 208 GLEN ST GLEN COVE NY 11542 NASSAU</p> <p>CONTACT: SOURCE: EPA</p> | <p>REV: 7/11/11 ID1: NYD981183106 ID2: STATUS: SGN PHONE:</p> |
|---|--|

CONTACT INFORMATION:

LEE JONG SUN
5166769578

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

GPRA CA BASELINE UNIVERSE: NO

GPRA CA 2008: NO

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

SUBJCA: NO

SUBJCA TSD 3004: NO

SUBJCA NON TSD: NO

SUBJCA TSD DISCRETION: NO

PERMIT WORKLOAD: ----

CLOSURE WORKLOAD: ----

POST CLOSURE WORKLOAD: ----

PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: ----

CORRECTIVE ACTION WORKLOAD: NO

GENERATOR STATUS: SQG

TRANSPORTER: UNKNOWN

UNIVERSAL WASTE: UNKNOWN

RECYCLER: NO

USED OIL: NO

IMPORTER: UNKNOWN

MIXED WASTE GENERATOR: U

ONSITE BURNER EXEMPT: UNKNOWN

FURNACE EXEMPTION: UNKNOWN

UNDERGROUND INJECTION: NO

NAIC 1:

NAIC 2:

NAIC 3:

NAIC 4:

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 123 **DIST/DIR:** 0.28 NW **ELEVATION:** 132 **MAP ID:** 61

| | |
|-------------------------------------|-----------------------|
| NAME: FRANK MCHUGH RESIDENCE | REV: 7/26/11 |
| ADDRESS: 133 SEA CLIFF AVE | ID1: 9208628 |
| GLEN COVE NY | ID2: 272235 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 10/27/1992
DATE REPORTED: 10/27/1992
CLOSED DATE: 10/27/1992

INSP DATE:
MATERIAL SPILLED: 2 FUEL OIL **AMOUNT SPILLED:** 10 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: PRIVATE DWELLING
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: UNASSIGNED
SPILL CONTACT:
TELEPHONE:

SPILLER: FRANK MCHUGH RESIDENCE

ADDRESS: , ZZ
TELEPHONE:

REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 10/29/1992
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: TANK LEAKED TO CONCRETE FLOOR (BASEMENT) RELIANCE OIL CO PATCHED TANK WILL REPLACE TANK IN A FEW DAYS

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was NONE 10/27/92: TANK DRAINED, 10 X 10 AREA, NO DRAINS, SPEEDI DRY APPLIED.

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 119 **DIST/DIR:** 0.30 NW **ELEVATION:** 37 **MAP ID:** 62

| | |
|--|-----------------------|
| NAME: CITY GLEN COVE POLICE DPT | REV: 7/26/11 |
| ADDRESS: 146 GLEN ST | ID1: 8600896 |
| GLEN COVE NY | ID2: 306890 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

| | |
|-------------------------------|--------------------------------|
| SPILL DATE: 5/6/1986 | DATE REPORTED: 5/6/1986 |
| CLOSED DATE: 12/4/1991 | INSP DATE: |

| | |
|-----------------------------------|------------------------------|
| MATERIAL SPILLED: GASOLINE | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: TANK TESTER
CALLER REMARKS:

REGION:
UST TRUST? YES

SPILL INVESTIGATOR: AYLEUNG
SPILL CONTACT:
TELEPHONE:

SPILLER: CITY-GLEN COVE POLICE DPT

ADDRESS:
, ZZ

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 3/26/2004
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was LEUNG WELL / / : 3000 TANK TOP LEAK-NONE ACTION-550 TANK FAILURE-WILL PUMP OUT TANK. SITE WELLS INSTALLED. 10/10/95: This is additional information about material spilled from the translation of the old spill file: UNLEADED GAS.

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 120 **DIST/DIR:** 0.30 NW **ELEVATION:** 63 **MAP ID:** 63

| | |
|--|---|
| <p>NAME: EXXON ADDRESS: 161 GLEN ST GLEN COVE NY NASSAU CONTACT: SOURCE: NY DEC</p> | <p>REV: 7/26/11 ID1: 8800073 ID2: 175977 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

| | |
|-------------------------------|--------------------------------|
| SPILL DATE: 4/4/1988 | DATE REPORTED: 4/4/1988 |
| CLOSED DATE: 4/28/1988 | INSP DATE: |

| | |
|---|------------------------------|
| MATERIAL SPILLED: WASTE OIL/USED OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: GASOLINE STATION
REPORTED BY: TANK TESTER
CALLER REMARKS: 550 FAILED AT GROSS LEAK. TYREE TESTER.

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: KDGOERTZ
SPILL CONTACT:
TELEPHONE:

SPILLER: EXXON
ADDRESS: 161 GLEN ST
 GLEN COVE, ZZ

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 6/29/2006
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was GOERTZ FD 04/09/88: TYREE RETESTED SYSTEM ON 4/9/88 AFTER TYREE REMOVED LEAKING REMOTE FILL AND SYSTEM PASSED. DEC NOT PRESENT DURING RETEST. THIS SPILL CAN BE CLOSED. K GOERTZ. FILE HAS BEEN DESTROYED ACCORDING TO STATE ARCHIVE AND RECORD ADMINISTRATOR RETENTION/DISPOSAL PROCEDURES

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 121 **DIST/DIR:** 0.30 NW **ELEVATION:** 63 **MAP ID:** 63

| | |
|-----------------------------|-----------------------|
| NAME: EXXON OIL CORP | REV: 7/26/11 |
| ADDRESS: 161 GLEN ST | ID1: 9202115 |
| GLEN COVE NY | ID2: 175980 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

SPILL DATE: 5/20/1992
DATE REPORTED: 5/20/1992
CLOSED DATE: 7/27/1992

| | |
|-----------------------------------|------------------------------|
| INSP DATE: | |
| MATERIAL SPILLED: GASOLINE | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: True |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: GASOLINE STATION
REPORTED BY: TANK TESTER
REGION:
UST TRUST? YES

SPILL INVESTIGATOR: T/T/F
SPILL CONTACT:
TELEPHONE:

SPILLER: EXXON OIL CORP

ADDRESS: , ZZ

TELEPHONE:

REPORTED BY: TANK TESTER

LAST DEC UPDATE: 7/25/1992
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: 15K FAILED AT -0.360, KARMPKO TESTER, TANK ALREADY PUMPED OUT, WILL RETEST,

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 122 **DIST/DIR:** 0.30 NW **ELEVATION:** 63 **MAP ID:** 63

| | |
|--|---|
| <p>NAME: EXXON S/S ADDRESS: 161 GLEN ST GLEN COVE NY NASSAU CONTACT: SOURCE: NY DEC</p> | <p>REV: 7/26/11 ID1: 9202034 ID2: 175979 STATUS: CLOSED PHONE:</p> |
|--|---|

SITE INFORMATION

| | |
|-----------------------------------|------------------------------|
| SPILL DATE: | 5/19/1992 |
| DATE REPORTED: | 5/19/1992 |
| CLOSED DATE: | 3/21/1995 |
| INSP DATE: | |
| MATERIAL SPILLED: GASOLINE | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|-------------------|
| CAUSE OF SPILL: | TANK TEST FAILURE |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | GASOLINE STATION |
| REPORTED BY: | TANK TESTER |
| REGION: | |
| UST TRUST? | YES |

| | |
|----------------------------|-------|
| SPILL INVESTIGATOR: | T/T/F |
| SPILL CONTACT: | |
| TELEPHONE: | |

| | |
|-----------------|-----------|
| SPILLER: | EXXON S/S |
|-----------------|-----------|

| | |
|-------------------|------|
| ADDRESS: | , ZZ |
| TELEPHONE: | |

| | |
|---------------------|-------------|
| REPORTED BY: | TANK TESTER |
|---------------------|-------------|

| | |
|---------------------------------|-----------|
| LAST DEC UPDATE: | 3/22/1995 |
| CLEAN UP MEET STANDARDS? | YES |
| PENALTY RECOMMENDED? | NO |

| | |
|------------------------|---|
| CALLER REMARKS: | SUSPECT AIR POCKET, 8K FAILED AT -.36, CROMPCO TESTER |
|------------------------|---|

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

SWL

SEARCH ID: 74 **DIST/DIR:** 0.40 SW **ELEVATION:** **MAP ID:** 64

| | | | |
|-----------------|------------------------|----------------|------------|
| NAME: | GLEN COVE AUTO SALVAGE | REV: | 2/1/11 |
| ADDRESS: | 232 GLEN COVE AVE | ID1: | 1-30J09 |
| | GLEN COVE NY 11542 | ID2: | 30J09 |
| | NASSAU | STATUS: | ACTIVE |
| CONTACT: | RICHARD COVINO | PHONE: | 5167591400 |
| SOURCE: | NY DEC | | |

SITE INFORMATION

OWNER INFORMATION

NAME:
TYPE:
ADDRESS:
EMAIL:
PHONE:

CONTACT INFORMATION

| | |
|--------------------------|----------------------|
| NAME: | RICHARD COVINO |
| ADDRESS: | 232 GLEN COVE AVE |
| | GLEN COVE , NY 11542 |
| EMAIL: | |
| PHONE: | 5167591400 |
| ACTIVE: | YES |
| ACTIVITY DESC: | VEHICLE DISMANTLING |
| REG STATUS: | |
| WASTE TYPE: | |
| ACTIVITY NUMBER: | 30J09 |
| AUTH NUMBER: | NONE |
| AUTH ISSUE DATE: | |
| EXPIRATION DATE: | |
| EAST COORDINATE: | 615009 |
| NORTH COORDINATE: | 4522710 |
| ACCURACY: | |

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 134 **DIST/DIR:** 0.41 NW **ELEVATION:** 136 **MAP ID:** 65

| | |
|---|--|
| <p>NAME: MARTONE REALTY ADDRESS: 166 SEA CLIFF AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NY DEC</p> | <p>REV: 12/8/08 ID1: 0510320 ID2: 356272 STATUS: HISTORIC-CLOSED PHONE:</p> |
|---|--|

SITE INFORMATION

SPILL DATE: 12/1/2005 **DATE REPORTED:** 12/1/2005
CLOSED DATE: 12/29/2005 **INSP DATE:**

MATERIAL SPILLED: 2 FUEL OIL **AMOUNT SPILLED:** G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

CAUSE OF SPILL: TANK FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: INSTITUTIONAL, EDUCATIONAL, GOV., OTHER
REPORTED BY: OTHER
CALLER REMARKS: 7500 GALLON TANK, IS LEAKING BUT NO HOLES COULD BE A PIPING PROBLEM: HEALTH DEPT ON SCENE

REGION:
UST TRUST? NO

SPILL INVESTIGATOR: TJD MEMO
SPILL CONTACT: MARTONE REALTY
TELEPHONE: (516) 676-1813

SPILLER: MARTONE REALTY
 MARTONE REALTY
ADDRESS: 166 SEACLIFF AVE
 GLENCOVE, NY

TELEPHONE:

REPORTED BY: OTHER

LAST DEC UPDATE: 12/30/2005
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

DEC REMARKS:
 12:15 - SPOKE W/FARRELL - WOULD LIKE AN INSPECTION TOMORROW. 12/2/05 TJD Site inspection. 7500 gal F/O UST removed by Tank Specialist (Farrell Sheridan) DOH was onsite for removal on 12/1/05. Two holes noted in tank bottom (center tank). Interview with Farrell revealed holes in tank bottom were not visible upon removal, a hammer was used to sound tank bottom which dislodged sludge and/or organic material which was blocking hole. Excavation was left open for inspection - no contaminated soil stockpiled or transported off-site. Approximate excavation dimensions were 10 ft wide x 15 feet long and 12 feet deep. At time of inspection no visual or olfactory evidence of petroleum contamination was identified in remaining soils. Farrell was directed to use backhoe bucket to collect soil samples at 12-14 ft interval at various bottom locations. Soils were screened with PID with highest reading 17 ppm in center of excavation. Samples collected at 14-16 ft interval at same location exhibited a maximum PID reading of 7 ppm. Based on inspection no soils were required to be removed and backfill was authorized.

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 142 **DIST/DIR:** 0.43 NE **ELEVATION:** 162 **MAP ID:** 66

| | |
|----------------------------------|-----------------------|
| NAME: STANKA RESIDENCE | REV: 7/26/11 |
| ADDRESS: 44 FROST POND RD | ID1: 9310063 |
| GLEN COVE NY | ID2: 254686 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

| | |
|-------------------------------------|------------------------------|
| SPILL DATE: | 11/16/1993 |
| DATE REPORTED: | 11/18/1993 |
| CLOSED DATE: | 4/28/1994 |
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 141 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|------------------|
| CAUSE OF SPILL: | TANK FAILURE |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | PRIVATE DWELLING |
| REPORTED BY: | OTHER |
| REGION: | |
| UST TRUST? | NO |

| | |
|----------------------------|---------|
| SPILL INVESTIGATOR: | GIBBONS |
| SPILL CONTACT: | |
| TELEPHONE: | |

| | |
|-----------------|------------------|
| SPILLER: | STANKA RESIDENCE |
|-----------------|------------------|

| | |
|-------------------|------|
| ADDRESS: | . ZZ |
| TELEPHONE: | |

| | |
|---------------------|-------|
| REPORTED BY: | OTHER |
|---------------------|-------|

| | |
|---------------------------------|-----------|
| LAST DEC UPDATE: | 4/28/1994 |
| CLEAN UP MEET STANDARDS? | YES |
| PENALTY RECOMMENDED? | NO |

CALLER REMARKS: DELIVERED 141 GALLONS ON 11/16 TANK WAS DRY ON 11/17, INSTALLED TEMP, TANK TO BE REMOVED 11/22/93 BY GENERAL

DEC REMARKS:

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 124 **DIST/DIR:** 0.46 NW **ELEVATION:** 144 **MAP ID:** 67

NAME: GAS STATION
ADDRESS: 170 SEA CLIFF AVE
 GLEN COVE NY
 NASSAU
CONTACT:
SOURCE: NY DEC

REV: 7/26/11
ID1: 0712217
ID2: 393807
STATUS: CLOSED
PHONE:

SITE INFORMATION

SPILL DATE: 2/20/2008
DATE REPORTED: 2/20/2008
CLOSED DATE: 7/30/2008

INSP DATE:
MATERIAL SPILLED: DIESEL **AMOUNT SPILLED:** 0 G
MATERIAL CLASS: PETROLEUM **AMOUNT RECOVERED:** 0 G

RESOURCE AFFECTED

SOIL: True **AIR:** False
INDOOR AIR: False **GROUNDWATER:** False
SURFACE WATER: False **DRINKING WATER:** False
SEWER: False **IMPERVIOUS SURFACE:** False
SUBWAY: False **UNDERGROUND UTILITIES:** False

CAUSE OF SPILL: TANK TEST FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: GASOLINE STATION
REPORTED BY: OTHER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: hmcirrit
SPILL CONTACT: SALIH SENTURK
TELEPHONE: (516) 676-0757

SPILLER: GAS STATION
 SALIH SENTURK
ADDRESS: 170 SEA CLIFF AVENUE
 GLEN COVE, NY

TELEPHONE:

REPORTED BY: OTHER

LAST DEC UPDATE: 8/1/2008
CLEAN UP MEET STANDARDS? NO
PENALTY RECOMMENDED? NO

CALLER REMARKS: THERE WAS APX. 50 GALLONS OF WATER

DEC REMARKS:

5/19/08 TJD Onsite 0800-1030 Site inspection. (3) UST s removed by Tank Specialists prior to DEC arrival. Open tank grave. All tanks fiberglass construction. 6K Diesel tank had cracked rib on south end of tank. (2) other tanks appeared intact. Utilizing the excavator onsite - samples of base and sidewalls of excavation were collected for visual olfactory screening. Base and sidewalls of east side of excavation exhibited moderate petroleum odor. Tank specialists was directed to continue excavation to a clean/structural endpoint and call for reinspection. Confirmatory endpoint samples of base/sidewalls are required following excavation. 5/20/08 TJD T/C with Farrel Sheridan of Tank Specialists. Excavation of contaminated soils has been completed. Endpoint samples have been collected and will be submitted to laboratory 5/21. Stockpile of contaminated soils is being stored temporarily in excavation. Inspection to be scheduled following receipt of laboratory analysis and removal of contaminated soil stockpile. 5/29/08 TJD Laboratory report hand delivered by Tank Specialists. All parameters within allowable concentrations with exception of several SVOC compounds exceeding MDL s. Redidual contamination does not pose a significant threat to GW. Contaminated soil stockpile to be removed over next week. Backfill inspection scheduled for 6/9/08. 6/9/08 TJD Onsite 0800-0900 Site inspection. As contractor failed to line excavation prior to temporarily

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

LUST

| | | | |
|-----------------------|--------------------------|-----------------------|-------------------|
| SEARCH ID: 124 | DIST/DIR: 0.46 NW | ELEVATION: 144 | MAP ID: 67 |
|-----------------------|--------------------------|-----------------------|-------------------|

| | |
|-----------------------------------|-----------------------|
| NAME: GAS STATION | REV: 7/26/11 |
| ADDRESS: 170 SEA CLIFF AVE | ID1: 0712217 |
| GLEN COVE NY | ID2: 393807 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

staging contaminated soils within tank grave - minor odors are observed based on olfactory inspection. Contractor directed to scrape bottom soils to a clean endpoint. 6/12/08 TJD Onsite 0730-0800 Site inspection. Contractor has complied with DEC directives. All visual/olfactory impacts have been removed. Base and sidewalls appear clean. Backfill approved. Awaiting closure documents. 7/28/08 TJD File review. All required closure documents have been received. A total of 225 tons of contaminated soils were excavated and properly disposed of during remedial process. No further action is required.

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 139 **DIST/DIR:** 0.47 NW **ELEVATION:** 151 **MAP ID:** 68

| | |
|------------------------------------|-----------------------|
| NAME: SAINT PATRICKS CHURCH | REV: 7/26/11 |
| ADDRESS: 225 GLEN ST | ID1: 8705351 |
| GLEN COVE NY | ID2: 186845 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

| | |
|-------------------------------|---------------------------------|
| SPILL DATE: 9/9/1987 | DATE REPORTED: 9/25/1987 |
| CLOSED DATE: 9/29/1987 | INSP DATE: |

| | |
|-------------------------------------|------------------------------|
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

| | |
|----------------------------|---|
| CAUSE OF SPILL: | TANK TEST FAILURE |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | INSTITUTIONAL, EDUCATIONAL, GOV., OTHER |
| REPORTED BY: | DEC |
| CALLER REMARKS: | SENT FandN A NON NOTIFICATION LETTER |

| | |
|-------------------|----|
| REGION: | |
| UST TRUST? | NO |

| | |
|----------------------------|-------|
| SPILL INVESTIGATOR: | MIRZA |
| SPILL CONTACT: | |
| TELEPHONE: | |

| | |
|-----------------|-----------------------|
| SPILLER: | SAINT PATRICKS CHURCH |
|-----------------|-----------------------|

| | |
|-----------------|----------------------------------|
| ADDRESS: | 225 GLEN STREET GLEN COVE, NY |
|-----------------|----------------------------------|

TELEPHONE:

| | |
|---------------------|-----|
| REPORTED BY: | DEC |
|---------------------|-----|

| | |
|---------------------------------|------------|
| LAST DEC UPDATE: | 10/18/2006 |
| CLEAN UP MEET STANDARDS? | YES |
| PENALTY RECOMMENDED? | NO |

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was MIRZA FD / / : MANWAY REPAIRED 9/16/87.SYSTEM PASSED RETEST. DEC NOT PRESENT. FILE HAS BEEN DESTROYED ACCORDING TO STATE ARCHIVE AND RECORD ADMINISTRATOR RETENTION/DISPOSAL PROCEDURES

THERE MAYBE MORE DEC REMARKS AVAILBLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 137 **DIST/DIR:** 0.48 SW **ELEVATION:** 154 **MAP ID:** 69

| | |
|--|-----------------------|
| NAME: ROBERT PUICCIRELLO | REV: 7/26/11 |
| ADDRESS: 7 LITTLEWORTH LN SEA CLIFF NY NASSAU | ID1: 9408737 |
| | ID2: 214209 |
| CONTACT: | STATUS: CLOSED |
| SOURCE: NY DEC | PHONE: |

SITE INFORMATION

SPILL DATE: 9/15/1994
DATE REPORTED: 9/30/1994
CLOSED DATE: 2/23/1995

| | |
|-------------------------------------|------------------------------|
| INSP DATE: | AMOUNT SPILLED: 0 G |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT RECOVERED: 0 G |
| MATERIAL CLASS: PETROLEUM | |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: True |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

CAUSE OF SPILL: TANK FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: CITIZEN
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: BPAUSTIN
SPILL CONTACT:
TELEPHONE:

SPILLER: ROBERT PUICCIRELLO
ADDRESS: 235 GLEN COVE AVE
SEA CLIFF, ZZ
TELEPHONE:

REPORTED BY: CITIZEN
LAST DEC UPDATE: 4/1/2004
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: TANK UNDER DRIVEWAY OF COMM BLDG DRIVEWAY IS PART OF LOADING DOCK, ALL LINE LOCATED IN DRIVEWAY, WHEN IT RAINS WATER COLLECTS AND OIL IS SEEN FLOATING ON WATER, BLDG APPROX 50 YRS OLD, UNK SIZE OF TANK

DEC REMARKS:
 Prior to Sept, 2004 data translation this spill Lead_DEC Field was AUSTIN 02/23/95: AUSTIN ON SITE, NO EVIDENCE OF OIL CONTAMINATION FOUND, NO FILL OR VENT FOUND IN DRIVEWAY.

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 118 **DIST/DIR:** 0.49 SE **ELEVATION:** 133 **MAP ID:** 70

| | |
|-----------------------------------|-----------------------|
| NAME: BROOKSTEIN RESIDENCE | REV: 7/26/11 |
| ADDRESS: 30 N CEDAR LN | ID1: 0308140 |
| GLEN HEAD NY | ID2: 273667 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

| | |
|-------------------------------------|------------------------------|
| SPILL DATE: | 10/31/2003 |
| DATE REPORTED: | 11/1/2003 |
| CLOSED DATE: | 2/11/2004 |
| INSP DATE: | |
| MATERIAL SPILLED: 2 FUEL OIL | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: True | AIR: False |
| INDOOR AIR: False | GROUNDWATER: False |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|------------------|
| CAUSE OF SPILL: | TANK FAILURE |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | PRIVATE DWELLING |
| REPORTED BY: | OTHER |
| REGION: | |
| UST TRUST? | NO |

| | |
|----------------------------|----------------------|
| SPILL INVESTIGATOR: | WJGABIN |
| SPILL CONTACT: | BROOKSTEIN RESIDENCE |
| TELEPHONE: | (516) 674-3040 |

| | |
|-------------------|----------------------|
| SPILLER: | BROOKSTEIN RESIDENCE |
| | BROOKSTEIN RESIDENCE |
| ADDRESS: | 30 CEDAR LANE NORTH |
| | GLEN HEAD, NY |
| TELEPHONE: | |

| | |
|---------------------|-------|
| REPORTED BY: | OTHER |
|---------------------|-------|

| | |
|---------------------------------|-----------|
| LAST DEC UPDATE: | 3/22/2004 |
| CLEAN UP MEET STANDARDS? | YES |
| PENALTY RECOMMENDED? | NO |

| | |
|------------------------|---|
| CALLER REMARKS: | TANK WAS PULLED YESTERDAY - 3-4 YARDS OF DIRT REMOVED |
|------------------------|---|

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was GABIN 11/2/03 TELECON WITH JIM AUFIERO-STATEWIDE, 3-4 YARDS CONTAMINATED SOIL, TANK IS GONE, EVERY TANK IN ARE HAS BEEN LEAKING, EXCAVATION BACKFILLED, NEW TANK INSTALLED, HD WAS ON SITE CLEANUP WAS COMPLETED BY STATEWIDE ENV, APPROX 3 YARDS OF CONTAMINATED SOIL GENERATED AND PROPERLY DISPOSED OF AT 95 INC, NO FURTHER ACTION ENDPOINT SAMPLE RESULTS INDICATED MINIMAL POTENTIAL FOR GW CONTAMINATION

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

| | | | |
|-----------------------|--------------------------|-----------------------|-------------------|
| SEARCH ID: 118 | DIST/DIR: 0.49 SE | ELEVATION: 133 | MAP ID: 70 |
|-----------------------|--------------------------|-----------------------|-------------------|

NAME: BROOKSTEIN RESIDENCE
ADDRESS: 30 N CEDAR LN
GLEN HEAD NY
NASSAU

REV: 7/26/11
ID1: 0308140
ID2: 273667
STATUS: CLOSED
PHONE:

CONTACT:
SOURCE: NY DEC

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

SEARCH ID: 136 **DIST/DIR:** 0.49 NW **ELEVATION:** 14 **MAP ID:** 71

| | |
|-------------------------------|-----------------------|
| NAME: NASSAU DOWNS OTB | REV: 7/26/11 |
| ADDRESS: 20 PRATT BLVD | ID1: 9811621 |
| GLEN COVE NY | ID2: 71776 |
| NASSAU | STATUS: CLOSED |
| CONTACT: | PHONE: |
| SOURCE: NY DEC | |

SITE INFORMATION

| | |
|-----------------------------------|------------------------------|
| SPILL DATE: | 12/15/1998 |
| DATE REPORTED: | 12/15/1998 |
| CLOSED DATE: | 2/12/1999 |
| INSP DATE: 12/15/1998 | |
| MATERIAL SPILLED: GASOLINE | AMOUNT SPILLED: 0 G |
| MATERIAL CLASS: PETROLEUM | AMOUNT RECOVERED: 0 G |

RESOURCE AFFECTED

| | |
|-----------------------------|-------------------------------------|
| SOIL: False | AIR: False |
| INDOOR AIR: False | GROUNDWATER: True |
| SURFACE WATER: False | DRINKING WATER: False |
| SEWER: False | IMPERVIOUS SURFACE: False |
| SUBWAY: False | UNDERGROUND UTILITIES: False |

| | |
|----------------------------|-----------------------|
| CAUSE OF SPILL: | TANK FAILURE |
| WATERBODY AFFECTED: | |
| SOURCE OF SPILL: | COMMERCIAL/INDUSTRIAL |
| REPORTED BY: | DEC |
| REGION: | |
| UST TRUST? | YES |

| | |
|----------------------------|----------------|
| SPILL INVESTIGATOR: | MJDARCAN |
| SPILL CONTACT: | JOHN CHASE |
| TELEPHONE: | (516) 671-5880 |

| | |
|-------------------|-----------------------|
| SPILLER: | CHASE DESC I HENDRSON |
| | JOHN CHASE |
| ADDRESS: | 48 FOREST AVENUE |
| | GLEN COVE, NY 11542- |
| TELEPHONE: | |

| | |
|---------------------|-----|
| REPORTED BY: | DEC |
|---------------------|-----|

| | |
|---------------------------------|----------|
| LAST DEC UPDATE: | 3/2/1999 |
| CLEAN UP MEET STANDARDS? | YES |
| PENALTY RECOMMENDED? | NO |

| | |
|------------------------|--|
| CALLER REMARKS: | SHEEN NOTICED ON GROUND WATER DURING TANK REMOVAL-SAMPLES COLLECTED FOR TESTING. |
|------------------------|--|

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was DARCANGELO 12/15/98 - MATT DARCANGELO ONSITE TO INSPECT ROUTINE REMOVAL OF 2 1000 GALLON GASOLINE USTs - NO HOLES IDENTIFIED IN TANKS OR LINES - SHEEN ON GROUNDWATER AND ELEVATED PID READINGS ON SOIL SAMPLES - GROUNDWATER AND SOIL SAMPLES COLLECTED AND SPLIT BETWEEN NYSDEC AND JOHN CHASE S CONTRACTOR - NYSDEC SOIL AND GROUNDWATER SAMPLES SUBMITTED FOR ANALYSIS BY EPA METHOD 8021 1/25/99 - LABORATORY ANALYSIS RECIEVED, SOIL SAMPLES BELOW STARS GUIDELINES, COMPONENTS IN GROUNDWATER SAMPLE ABOVE STARS GUIDLINES 1/28/99 - IMPACT ENVIRONMENTAL, CONSULTANT FOR JOHN CHASE, SUBMITTED COPY OF PHASE II INVESTIGATION FOR REVIEW - PHASE II REPORT REVIEWED BY MATT DARCANGELO, KAREN GOMEZ, AND JOE HAAS 2/9/99 - JOE HAAS SENDS MATT DARCANGELO AN EMAIL cc: WALTER PARISH AND KAREN GOMEZ STATING HE HAS REVIEWED LAB DATA, PHASE II, AND INFORMATION IN SPILL S 90-09144, 90-04577,

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

LUST

| | | | |
|-----------------------|--------------------------|----------------------|-------------------|
| SEARCH ID: 136 | DIST/DIR: 0.49 NW | ELEVATION: 14 | MAP ID: 71 |
|-----------------------|--------------------------|----------------------|-------------------|

NAME: NASSAU DOWNS OTB
ADDRESS: 20 PRATT BLVD
GLEN COVE NY
NASSAU

REV: 7/26/11
ID1: 9811621
ID2: 71776
STATUS: CLOSED
PHONE:

CONTACT:
SOURCE: NY DEC

91-12790, AND RECOMANDS NO FURTHER ACTION FOR SPILL 98-11621 2/12/99 - MATT DARCANGELO SENDS JOHN CHASE A NO FURTHER ACTION LETTER - LETTER ALSO STATES HOW HE MAY REIMBURSE SPILL FUND FOR EXPENSES

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

FEDBROWNFIELD

SEARCH ID: 145 **DIST/DIR:** 0.50 NW **ELEVATION:** 46 **MAP ID:** 72

NAME: LONG ISLAND PAINT
ADDRESS: 1 CONTINENTAL HILL
GLEN COVE NY 11542
NASSAU

REV: 10/1/08
ID1: 69597463-2
ID2: 69597463
STATUS: EPA BROWNFIELD
PHONE:

CONTACT:
SOURCE: EPA

SITE INFORMATION:

EPA ID:
EPA SITE NAME:
SITE ALIAS:
CONTAMINANTS:
TOTAL ACRES:
CERCLA WASTELAN:
RCRA FACILITY:
AIR AFFECTED:
GROUNDWATER AFFECTED:
SURFACE WATER AFFECTED:
NUMBER OF PARCELS:
LOCAL PARCEL NUMBER:
ADD DATE: 11/29/2004 2:26:20 PM

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 1 **DIST/DIR:** 0.75 NW **ELEVATION:** **MAP ID:** 73

| | |
|--|---|
| <p>NAME: LI TUNGSTEN CORP. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA</p> | <p>REV: 8/15/11 ID1: NYD986882660 ID2: 0202972 STATUS: FINAL PHONE: 9083214341</p> |
|--|---|

SITE INFORMATION

EVENT TYPE

| | | | |
|---------------------------|-----|-------------------------|----------|
| SITE DISCOVERY BY: | EPA | DISCOVERY DATE: | 04-15-89 |
| SITE PROPOSED BY: | EPA | PROPOSED DATE: | 07-29-91 |
| FINAL LIST BY: | EPA | FINAL LIST DATE: | 10-14-92 |

ACTIVITIES: PROCESSED ORE AND SCRAP TUNGSTEN TO AMMONIUM PARATUNGSTATE

CONTAMINANTS: HEAVY METALS, POLYCHLORINATED BIPHENYLS, CYANIDE, ACIDS, ALKALIS, AND RADIOACTIVE MATERIALS

SOURCE OF CONTAMINATION: LEAKING UNDERGROUND STORAGE TANKS AND TRANSFORMERS, 100 DRUMS 26 PRESSURIZED CYLINDERS, AND WASTE PILES

CONTAMINATED: GROUNDWATER, SOIL
THREATENED: GROUNDWATER, PUBLIC WATER SUPPLY

CONSTRUCTION COMPLETED DATE: 09/25/2008

SITE DESCRIPTION

Conditions at Proposal (July 29, 1991): The Li Tungsten Corp. site covers approximately 20 acres at the intersection of Herb Hill Road, Dickson Lane, and Garvies Point Road in an industrial area along the north bank of Glen Cove Creek in Glen Cove, Nassau County, New York. From the 1940s to the early 1980s, tungsten ores imported from around the world were smelted at the facility to produce tungsten carbide powder, tungsten wire, and welding rods. The facility was owned and operated by Wah Chang Smelting and Refining Co. of America, Inc., and was later operated by its wholly owned subsidiary, Li Tungsten Corp. Glen Cove Development Co. (GCDC) purchased the property in November 1984 to develop it as a residential area. In June 1985, Li Tungsten ceased operations and filed for protection under Chapter 11 of the Federal bankruptcy code.

In early 1988, a consultant to GCDC took the following actions at the site: (1) inspected 50 tanks to determine whether they were secure against rupture or leakage; (2) sampled, drained, drummed, and disposed of the contents of two tanks determined not to be secure; (3) packed identifiable laboratory chemicals and disposed of them; (4) over-packed and/or staged 108 drums containing acids, organics, and waste oil to a secure area at the site, and subsequently disposed of them; (5) inventoried, sampled, and removed pressurized gas cylinders; (6) removed approximately one tank truck of anhydrous ammonia from the facility; and (7) established 24-hour security.

The consultant also sampled 10 existing monitoring wells and installed 13 new wells. Analyses of samples from these wells identified four plumes of contaminated ground water in the Upper Glacial Aquifer. Not all plumes are associated with Li Tungsten. One plume, around Mud Pond, contains waste processing water and heavy metals. Chlorides, sulfates, lead, cadmium, tungsten, chromium, arsenic, barium, silver, and PCBs are present in monitoring wells in this area, according to tests conducted in 1988. Materials leaking from the pond have scarred the surface in this area. An estimated 51,500 people obtain drinking water from public and private wells within 4 miles of the site, the nearest within 1.2 miles.

In March 1989, the New York State Department of Environmental Control (NYSDEC) found that many problems still existed at the site: (1) approximately 100 drums holding liquid chemicals tentatively identified as containing cyanide, acids, and alkalis; (2) numerous storage tanks containing unknown quantities of liquid chemicals; (3) approximately 26 pressurized cylinders containing chemicals; (4) approximately 12 transformers, some leaking and suspected to contain PCBs; (5) waste piles with elevated radiation levels, believed due to radium, thorium, and uranium resulting from the tungsten refining process; (6) tungsten ore stored in wooden crates and drums, some broken; and (7) asbestos fibers from decaying tank covers and pipe-wrapping materials.

On July 21, 1989, EPA filed an Administrative Order on Consent under CERCLA Section 106(a) requiring GCDC to undertake certain initial cleanup actions at the site. In response, the company removed the drums, the contents of the tanks, the laboratory chemicals, and electrical transformers. Following

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 1 **DIST/DIR:** 0.75 NW **ELEVATION:** **MAP ID:** 73

| | |
|--|---|
| <p>NAME: LI TUNGSTEN CORP. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA</p> | <p>REV: 8/15/11 ID1: NYD986882660 ID2: 0202972 STATUS: FINAL PHONE: 9083214341</p> |
|--|---|

GCDC s activities, EPA inspected the site during March - May 1990.

Status (October 1992): EPA sent Special Notice Letters to several parties potentially responsible for wastes associated with the site in February 1992, offering them an opportunity to conduct a Remedial Investigation/Feasibility Study (RI/FS) to determine the type and extent of contamination at the site and identify alternatives for remedial action. After no settlement agreements were reached, EPA started to develop an RI/FS workplan, which should be completed in late 1992.

(The description of the site (release) is based on information available at the time the site was scored. The description may change as additional information is gathered on the sources and extent of contamination. See FR 5600, February 11, 1991 or subsequent FR notices.)

FINAL DATE: 10/14/1992

CERCLIS DETAILS

| ACTION/QUALITY | AGENCY/RPS | START/RAA | END |
|---|--------------------------------|------------|------------|
| potentially responsible party remedial action Final RA Report | Responsible Party | 1/9/2002 | 10/22/2008 |
| potentially responsible party remedial design | Responsible Party Primary | 6/19/2000 | 1/9/2002 |
| remedial design/remedial action negotiations | Federal Enforcement | 3/23/2000 | 9/29/2000 |
| remedial design/remedial action negotiations | Federal Enforcement Primary | 12/22/1999 | 5/15/2000 |
| combined remedial investigation/feasibility study | EPA Fund-Financed | 12/16/1997 | 9/30/1999 |
| combined remedial investigation/feasibility study | EPA Fund-Financed | 9/3/1997 | 12/9/1998 |
| state support agency cooperative agreement | EPA Fund-Financed | 9/18/1996 | 11/27/2009 |
| combined remedial investigation/feasibility study | EPA Fund-Financed Primary | 8/26/1992 | 9/30/1999 |
| national priorities list responsible party search Search Complete, Viable PRPs | Federal Enforcement Primary | 5/29/1992 | 8/7/1998 |
| state support agency cooperative agreement | EPA Fund-Financed Primary | 2/28/1992 | 11/27/2009 |
| non-national priorities list potentially responsible party search | Federal Enforcement Primary | 6/26/1989 | 7/21/1989 |

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 1 **DIST/DIR:** 0.75 NW **ELEVATION:** **MAP ID:** 73

| | |
|--|---|
| <p>NAME: LI TUNGSTEN CORP. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA</p> | <p>REV: 8/15/11 ID1: NYD986882660 ID2: 0202972 STATUS: FINAL PHONE: 9083214341</p> |
|--|---|

| | | |
|---|--------------------------------|------------|
| issue request letters (104e) | Federal Enforcement | 6/26/1989 |
| administrative order on consent | Federal Enforcement Primary | 7/21/1989 |
| issue request letters (104e) | Federal Enforcement | 10/27/1989 |
| proposal to national priorities list | EPA Fund-Financed Primary | 7/29/1991 |
| special notice issued | Federal Enforcement | 2/12/1992 |
| final listing on national priorities list | EPA Fund-Financed | 10/14/1992 |
| issue request letters (104e) | Federal Enforcement | 11/20/1992 |
| public notice published | EPA Fund-Financed | 12/2/1996 |
| public notice published | EPA Fund-Financed | 12/2/1996 |
| lodged by doj | Federal Enforcement | 9/13/1999 |
| special notice issued | Federal Enforcement | 12/22/1999 |
| special notice issued | Federal Enforcement | 3/23/2000 |
| notice of intent by all parties | Federal Enforcement | 11/29/2000 |
| lodged by doj | Federal Enforcement | 9/30/2003 |
| administrative order on consent | Federal Enforcement | 12/28/2004 |
| lodged by doj | Federal Enforcement | 7/11/2005 |
| lodged by doj | Federal Enforcement | 7/11/2005 |
| five-year review | EPA Fund-Financed | 9/2/2005 |

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 1 **DIST/DIR:** 0.75 NW **ELEVATION:** **MAP ID:** 73

| | |
|--|---|
| <p>NAME: LI TUNGSTEN CORP. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA</p> | <p>REV: 8/15/11 ID1: NYD986882660 ID2: 0202972 STATUS: FINAL PHONE: 9083214341</p> |
|--|---|

| | | | |
|---|------------------------------|-----------|------------|
| preliminary close-out report prepared | EPA Fund-Financed | | 9/25/2008 |
| five-year review | EPA Fund-Financed | | 7/13/2010 |
| consent agreement (administrative) | Federal Enforcement | | 4/13/1999 |
| consent agreement (administrative) | Federal Enforcement | | 9/20/2000 |
| consent agreement (administrative) | Federal Enforcement | | 5/1/2003 |
| consent decree | Federal Enforcement | 8/4/1999 | 7/24/2000 |
| consent decree | Federal Enforcement | | 10/29/2007 |
| consent decree | Federal Enforcement | | 10/29/2007 |
| discovery | EPA Fund-Financed | | 4/15/1989 |
| explanation of significant differences | EPA Fund-Financed | | 10/28/2002 |
| explanation of significant differences | EPA Fund-Financed | | 5/2/2005 |
| feasibility study | EPA Fund-Financed | 9/12/2003 | 3/30/2005 |
| health assessment | EPA Fund-Financed | 9/30/2002 | 3/30/2005 |
| potentially responsible party removal Stabilized | Responsible Party Primary | 5/28/2002 | 9/15/2004 |
| potentially responsible party removal Stabilized | Responsible Party Primary | 7/21/1989 | 6/12/1990 |
| judicial/civil judgment | Federal Enforcement | | 7/28/2004 |
| judicial/civil judgment | Federal Enforcement | | 10/29/2007 |

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 1 **DIST/DIR:** 0.75 NW **ELEVATION:** **MAP ID:** 73

| | |
|--|---|
| <p>NAME: LI TUNGSTEN CORP. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA</p> | <p>REV: 8/15/11 ID1: NYD986882660 ID2: 0202972 STATUS: FINAL PHONE: 9083214341</p> |
|--|---|

| | | | |
|--|---------------------------------------|--------------------------|--------------------------|
| judicial/civil judgment Multi-Site-Subsequent Site | Federal Enforcement | | 6/2/2008 |
| preliminary assessment Higher priority for further assessment | EPA Fund-Financed | | 9/27/1989 |
| record of decision | EPA Fund-Financed Primary | | 9/30/1999 |
| record of decision | EPA Fund-Financed | | 9/30/1999 |
| | | Other Completion Anomaly | |
| record of decision Final Remedy Selected at Site | EPA Fund-Financed | | 3/30/2005 |
| remedial action Final RA Report | Special Account Financed Action - EPA | | 9/30/2005 9/30/2008 |
| remedial action Final RA Report | Special Account Financed Action - EPA | | 1/22/2001 9/29/2006 |
| remedial action Interim RA Report | EPA Fund-Financed Primary | 1/20/2000 | 9/28/2001 |
| remedial design | EPA Fund-Financed | 4/22/2005 | 6/16/2006 |
| removal Partially Cleaned up | EPA Fund-Financed Primary | 9/30/1996 | 10/29/1998 |
| removal Stabilized | EPA Fund-Financed Primary | 4/4/1996 | 8/9/1996 |
| removal Stabilized | Coast Guard | 1/5/1996 | 1/12/1996 |
| removal assessment | EPA Fund-Financed | 4/4/1996 | 8/9/1996 |
| removal assessment | EPA Fund-Financed | 2/14/1996 | 8/20/1996 |
| removal assessment | EPA Fund-Financed | 1/5/1996 | 1/12/1996 |
| removal negotiations | Federal Enforcement | 9/30/1996 | 9/30/1996 |
| removal negotiations | Federal Enforcement | | 8/14/2001 |
| section 107 litigation | Federal Enforcement | 9/29/2006 | 10/29/2007 |

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 1 **DIST/DIR:** 0.75 NW **ELEVATION:** **MAP ID:** 73

| | |
|--|---|
| <p>NAME: LI TUNGSTEN CORP. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA</p> | <p>REV: 8/15/11 ID1: NYD986882660 ID2: 0202972 STATUS: FINAL PHONE: 9083214341</p> |
|--|---|

| | | | |
|---|---------------------|-----------|-----------|
| site inspection Higher priority for further assessment | EPA Fund-Financed | 7/1/1990 | 9/25/1990 |
| technical assistance grant | EPA Fund-Financed | 9/29/1995 | 3/6/2003 |
| unilateral admin order | Federal Enforcement | | 5/15/2000 |
| unilateral admin order | Federal Enforcement | | 9/29/2000 |
| unilateral admin order | Federal Enforcement | | 8/14/2001 |

DESCRIPTION:

The Li Tungsten Superfund site (EPA identification NYD986882660), located in Nassau County, Long Island, New York, includes the former Li Tungsten facility property, the radiologically contaminated portions of the Captain s Cove property, and nearby areas where radiologically- and/or metals-contaminated materials associated with the former Li Tungsten facility came to be located, including portions of Glen Cove Creek. The former facility is located at 63 Herhill Road in the City of Glen Cove, while the Captain s Cove property is located one-half mile west of the former facility on Garvies Point Road. These two properties lie along the northern edge of Glen Cove Creek. The 26-acre former facility consists of four parcels that were designated by the U.S. Environmental Protection Agency (EPA) as A, B, C, and C . Parcel A is a seven-acre paved area abutting Glen Cove Creek which served as the main operations center when the facility was active. Historically, Parcel A was the primary operating area and contained the majority of buildings, including the Dice complex, as well as storage and processing tanks. Parcel B, a six-acre tract north of Parcel A, is undeveloped land that was used for parking during facility operations and includes a small pond, an intermittent stream and a small wetland. Parcel C, approximately ten acres in size, is north of Parcel A and west of Parcel B. The Dickson Warehouse and the Benbow Building are located on Parcel C. Parcel C , an undeveloped four-acre tract adjacent to Parcel C, was not utilized as part of the facility during active operations. The 23-acre Captain s Cove property is generally bounded by Hempstead Harbor to the west, Garvies Point Preserve to the north, the Glen Cove Anglers Club to the east, and Glen Cove Creek to the south. A four-acre wetland makes up a portion of the property s southern boundary with the Creek. The portions of the Captain s Cove property and property adjacent thereto which are part of the Li Tungsten Superfund site consist of the areas designated as Areas A, A , G, and G , where radioactive ore residuals and related contaminants from the former facility were periodically deposited during the time that the facility operated or have otherwise come to be located. Glen Cove Creek is located in the City of Glen Cove on the north shore of Long Island and is tidally influenced along its entire length. The Creek has been channelized to serve as a 1.0 mile federal navigation channel and is maintained by the United States Army Corps of Engineers (USACE), extending from Hempstead Harbor easterly to the head of navigation at Charles Street near the municipal center of Glen Cove. The former facility and Captain s Cove property are located in an mostly commercial area along the north side of Glen Cove Creek. The immediate area along both sides of the Creek includes light and heavy industry, commercial businesses, the City s sewage treatment plant, a Nassau County public works facility, and several State and Federal hazardous waste sites. The area, which was settled in the seventeenth century, has been industrialized since the mid-1800 s. However, there are residences within 100 feet of the northern ends of Parcels B and C of the former facility and within 1,000 feet of the Captain s Cove property. Other area land uses include marinas, yacht clubs, and beaches. The Garvies Point County Preserve is located directly north of the Captain s Cove property. The former facility has recently been re-zoned by the City for residential use, and the Captain s Cove property is also zoned for residential use. The processing of tungsten and other metals at the former facility began in 1942 and ended in 1985. The former facility s operations consisted mainly of processing tungsten ore concentrates and scrap metal containing tungsten (collectively referred to below as tungsten material) into ammonium paratungstate (APT) and the formulating of APT into tungsten powder and tungsten carbide powder. Other products produced at the facility included tungsten carbide powder for plasma spraying, tungsten titanium carbide powder, tantalum carbide powder, tungsten spray powder, crystalline tungsten powder, and molybdenum spray powder. From 1945 to the early 1950 s, the former facility processed significant amounts of ore concentrates to produce pure antimony. A variety of extraction processes were used to separate the various accessory metals from the tungsten, depending upon the specific type of tungsten material being processed. Typical operations in the extraction process included physical, chemical, and mechanical processes such as sizing and crushing, gravity separation, magnetic and electrostatic separation, roasting, leaching, flotation, and fusion. As early as the 1950 s, evidence suggests that the Captain s Cove property was a dump site for the disposal of incinerator ash, sewage sludge, rubbish, household debris, Glen Cove Creek sediments, and industrial wastes. The property was purchased by Village Green Realty in

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 1 **DIST/DIR:** 0.75 NW **ELEVATION:** **MAP ID:** 73

| | |
|---|--|
| NAME: LI TUNGSTEN CORP. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA | REV: 8/15/11 ID1: NYD986882660 ID2: 0202972 STATUS: FINAL PHONE: 9083214341 |
|---|--|

1983 with plans to construct a condominium development. Redevelopment efforts were abandoned in the mid-1980 s when contamination was revealed and the New York State Department of Environmental Conservation (NYSDEC) designated the property as a State Superfund site. The NYSDEC requested that EPA address the radioactive contamination found at the Captain s Cove property, while the State addressed the non-radioactive contamination under the State Superfund program. EPA subsequently included those portions of the Captain s Cove Property where radioactive material and related process wastes were disposed of as part of the Site, after sampling indicated that the wastes originated from the former facility. EPA s Remedial Investigation (RI) of the Site (1993-1998) documented some organic contaminants in soil, as well as heavy metals and radionuclide contamination. Sampling of Glen Cove Creek did not reveal that radioactive

substances from the former facility were present in the Creek. EPA signed a Record of Decision for the Site in September 1999 (1999 ROD) which selected excavation and off-site disposal of an estimated 67,000 cubic yards (cy) of radionuclide and heavy metals-contaminated wastes. In addition to the Site, other hazardous waste sites located in the vicinity on the north side of Glen Cove Creek include two State Superfund sites, namely the Konica Imaging, Inc. property (formerly known as Powers Chemco) and the Crown Dykman Site, as well as the Mattiace Petrochemical Federal Superfund site, which adjoins Parcel C of the former facility. EPA s remedial efforts at the Mattiace site included a Remedial Investigation and Feasibility Study (RI/FS) which contained an evaluation of Glen Cove Creek as a potential receptor of contamination. The selected remedy at Mattiace involved removal and off-site disposal of chemical storage tanks and heavily-contaminated soils; extraction and treatment of contaminated soil gases and groundwater; and monitoring of groundwater and Glen Cove Creek for the estimated 30 years of operation of the treatment facilities. The City of Glen Cove is involved in an ongoing revitalization effort involving over 200 acres surrounding the Creek. The City s 1998 Glen Cove Creek Revitalization Plan is being revised to include a residential future use component for the Site. EPA has reviewed the changes in land use and is re-evaluating the remedy selected in the 1999 ROD. The proposed change in anticipated future use of the Site is the subject of an Explanation of Significant Differences (ESD), presently being prepared by the EPA for public distribution. After issuance of the 1999 ROD, EPA sent general notice letters to potentially responsible parties (PRPs), providing them with the opportunity to perform the remedial design (RD) for a portion of the Site. In March 2000, EPA sent special notice letters for implementation of the remedial action (RA).

Negotiations with the PRPs failed to result in any settlement for RD and RA, and this resulted in EPA s issuance of a series of unilateral administrative orders (UAOs) to PRPs, first in May 2000 to perform the RD for the northern half of the former facility and a second in September 2000 to complete the RA for certain portions of the remedy (i.e., excavation and off-site disposal work on the northern half of the former facility, and off-site disposal of wastes staged by EPA on the Captain s Cove property). Negotiations with the City of Glen Cove (also a PRP) resulted in an agreement by which the City agreed to finance some of EPA s RA activities at the Captain s Cove property. EPA has performed all of the required remedial excavation work at the Captain s Cove property and part of the excavation work at the former facility. Some of these excavated wastes have been disposed off-site by EPA and by PRPs. Presently, an estimated 108,000 tons of excavated wastes are staged at the Captain s Cove property for off-site disposal at appropriately licensed facilities. The northern half of the former facility still requires remediation. In July 2004, EPA, the federal PRPs and TDY executed an interim settlement agreement which resulted in an interim contribution of \$21.9 million to EPA to continue remedial work at the Li Tungsten Superfund site Creek History. The USACE constructed the Glen Cove Creek navigational channel in 1935. USACE proceeded to perform maintenance dredging of the outer portions of the channel in 1948, 1960, 1965, and 1996 under the authority of the River and Harbor Act of 1925. The channel is intended to be maintained at a depth of eight feet at mean low water. In recent years, however, the depth of the inner portion (i.e., the eastern end), has been reduced to zero feet at mean low water from years of siltation without maintenance dredging. In 1996, the USACE dredged 12,000 cy of sand from the outer (western) half of the channel, and the dredged ma

terials were dewatered and reused in accordance with a New York State beneficial use determination, or BUD. Prior to this work, the City and the NYSDEC undertook a sampling program to characterize the sediments determine the suitability of the dredged material for various BUD options. The NYSDEC used its Interim Guidance: Freshwater Navigational Dredging to conclude that the sediments at the western end of the Creek (Stations 14-17, Captain s Cove to Hempstead Harbor) could be used for unrestricted use/disposal, including beach nourishment. Based on the sampling program, which did not detect any elevated radioactive materials in the sediment, the NYSDEC also concluded that all the remaining sediments in Glen Cove Creek could be used as fill on commercial/industrial or recreational properties (provided that clean cover is used over the fill), as aggregate in the manufacture of asphalt, or as landfill contour grading material or daily cover at a lined landfill. In September 2000, the USACE initiated navigational dredging for the inner half of Glen Cove Creek, using the recently remediated Parcel A of the former facility as a temporary dewatering area. The dredging was subsequently halted at the eastern end of Parcel A upon the discovery of petroleum-laden sediments. The dredging program to that point had yielded about 24,000 cy of the estimated 45,000 cy of material to be dredged. In May 2001, EPA determined that the dredged spoils which had been placed on Parcel A were contaminated with chunks of radioactive slag ranging from about one inch to six inches in diameter. EPA determined that the contaminated spoils on Parcel A qualified for a Superfund removal action. EPA subsequently issued a third UAO in August 2001 directing certain PRPs to remediate the contaminated sediments. Pursuant to that UAO, the sediments on Parcel A were remediated in Summer 2002. The remediation was performed by methodically spreading and instrument-screening batches of dewatered sedime

nts, followed by manual removal of any materials exhibiting radiation greater than the specified criteria. Afterwards, the City disposed of the remaining non-radioactive sediment at the North Hempstead Landfill for use as grading material, and the segregated radioactive materials were secured in the Dickson warehouse on Parcel C for eventual disposal. As a result of the discovery of the radioactive slag in the dredged spoils, the USACE retained Cabrera Services, Inc. to perform an underwater gamma survey and sampling of Creek sediments. This occurred within the dredging project area in

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

SEARCH ID: 1 **DIST/DIR:** 0.75 NW **ELEVATION:** **MAP ID:** 73

| | |
|---|--|
| NAME: LI TUNGSTEN CORP. ADDRESS: GARVIES POINT ROAD GLEN COVE NY 11542 NASSAU CONTACT: MARK SAVEDOFF SOURCE: EPA | REV: 8/15/11 ID1: NYD986882660 ID2: 0202972 STATUS: FINAL PHONE: 9083214341 |
|---|--|

October 2001 to assess the level of radioactive contamination remaining in the Creek. The USACE/Cabrera issued a report in March 2002 which described several localized areas with above-background radiation levels remaining in the Creek. The most elevated levels were detected around the location of the former facility's loading dock on Parcel A. Based on the predominance of thorium chain radionuclides in the slag and the general location in which they were found, EPA has determined that the slag found in the Creek was a result of operations at the former facility which subsequently came to be located in the Creek. The slag apparently was produced through heat treatment based on its physical appearance. The slag also possesses generally higher levels of radiation than processed ore residuals that were disposed of on the former facility and the Captain's Cove property. EPA subsequently completed a baseline radiological risk assessment in July 2003, from which EPA determined that the levels of radiation in the Creek were likely to pose significant risks to human health and the environment. The radionuclides of potential concern (ROPC) are those of the uranium-238 and thorium-232 decay series. EPA then completed a focused feasibility study (FFS) in which remedial alternatives were developed and evaluated. A Record of Decision addressing Operable Unit 4 (OU4) was completed in March

2005. In October 1992, the Site was placed on the National Priorities List (NPL). In 1993, EPA initiated a Remedial Investigation and Feasibility Study (RI/FS) to define the nature and extent of contamination on Parcels A, B and C of the former Li Tungsten facility property, known as operable unit (OU) 1. Later, in 1995, EPA expanded the Site definition to include the two radioactive waste areas A and G at the Captain's Cove property i.e., OU 2. EPA's RI/FS of the Li Tungsten and Captain's Cove properties revealed that many contaminants were left behind as a result of prior Site practices. These contaminants pose a risk to human health and the environment. The primary contaminant categories of concern at the Site are radionuclides and heavy metals associated with spent ore residuals/slag. The Glen Cove Creek area has been industrialized since the mid-1800s. The immediate area now includes light industry, commercial businesses, a sewage treatment plant, a County public works facility, and State and Federally-designated hazardous waste sites. Other land uses in the vicinity include marinas, yacht clubs, beaches, and the Garvies Point Preserve. There are residences within 100 feet of the Li Tungsten property, along Janet Lane and The Place, and within 1,000 feet of the Captain's Cove property on McLoughlin Street. The processing of tungsten and other metals began at the Li Tungsten facility in 1942 and ended in 1985. Operations consisted mainly of processing tungsten ore concentrates and scrap metal containing tungsten into ammonium paratungstate (APT) and formulating APT into tungsten powder and tungsten carbide powder. The Captain's Cove property was used as a dump site for the disposal of incinerator ash, sewage sludge, rubbish, household debris, dredged sediments from Glen Cove Creek, and industrial wastes, including wastes from the Li Tungsten facility, from the 1950s to the late 1970s. The property was purchased by developers in 1983 for development

as a residential condominium project. Development efforts were abandoned in the mid-1980s when the New York State Department of Environmental Conservation (NYSDEC) designated the Captain's Cove property as a State Superfund site. The City of Glen Cove, which has been designated as an EPA Brownfields Showcase Community, has been gradually implementing its 1998 Glen Cove Creek Revitalization Plan involving more than 200 acres surrounding the Creek. The Revitalization Plan projected the future use of the area as commercial redevelopment, featuring shops, restaurants, parking facilities, museums, and a hotel/conference center. The Glen Cove Industrial Development Agency (IDA) has recently entered into a land disposition agreement with Glen Isle developers and is revising the Revitalization Plan to include substantial residential development. The City has requested that EPA perform the necessary actions to allow residential development of the Li Tungsten and Captain's Cove properties. EPA acted to expedite the implementation of the soil excavation activities for the southern portion of the Li Tungsten property, encompassing Parcel A and the lower portion of Parcel C, by federally funding the remediation of these areas. Fast-tracking this portion of the remediation facilitated the City's revitalization efforts around Glen Cove Creek. EPA also issued a series of unilateral administrative orders (UAOs) to potentially responsible parties (PRPs) for the Site, directing them to perform various cleanup work to complement the work being performed by EPA. Negotiations with the City (also a PRP) resulted in an agreement by which the City funded a significant portion of EPA's excavation work at the Captain's Cove property. In May 2001, EPA completed the excavation and segregation of contaminated soils on Parcel A and lower Parcel C of the Li Tungsten property. EPA arranged for the nonradioactive, heavy metals-contaminated soils to be trucked off-site for disposal and

the radioactively contaminated soils to be stored on-site in the Dickson Warehouse for future disposal by PRPs. In November 2003, EPA also completed the excavation of contaminated soils from the Captain's Cove portion of the Site. Both radioactively-contaminated soil and nonradioactively contaminated soil containing heavy metals are presently staged at the Captain's Cove property, awaiting off-site disposal. In early 2004, TDY Industries, a PRP, disposed of the radioactive wastes stored in the Dickson Warehouse and also performed some limited excavation of radioactively contaminated soil on upper Parcel C, with disposal at an off-site licensed facility. In September 2000, the US Army Corps of Engineers (USACE) began dredging the navigational channel in the inner half of Glen Cove Creek, using remediated Parcel A of the Li Tungsten property as a temporary dewatering area. During the course of the dredging, EPA determined that the dredged spoils placed on Parcel A were contaminated with chunks of radioactive slag. Dredging was suspended and EPA ordered certain PRPs to segregate radioactive materials from the dewatered sediment and dispose of the radioactive materials. In response, TDY Industries conducted the segregation work in the Summer of 2002. Afterwards, the City of Glen Cove disposed of the remediated sediments at the North Hempstead Landfill for use as grading material, while the segregated radioactive materials were eventually disposed of by TDY at the US Ecology facility in Idaho. After dredging was suspended, the USACE performed an underwater radiation survey in Glen Cove Creek to assess the amount of radioactive materials potentially left in the Creek. The survey indicated that significant sources of radiation remained in the Creek, particularly around the bulkhead of Parcel A. EPA has performed a focused feasibility study (FFS) regarding the Creek and intends to address the Creek radiation as OU 4 of the Li Tungsten Site, as reflected in the

recently issued ROD describing its selected remedy. An Explanation of Significant Differences (ESD) addressing the addition of future residential use to

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

NPL

| | | | |
|---------------------|--------------------------|-------------------|-------------------|
| SEARCH ID: 1 | DIST/DIR: 0.75 NW | ELEVATION: | MAP ID: 73 |
|---------------------|--------------------------|-------------------|-------------------|

NAME: LI TUNGSTEN CORP.
ADDRESS: GARVIES POINT ROAD
GLEN COVE NY 11542
NASSAU
CONTACT: MARK SAVEDOFF
SOURCE: EPA

REV: 8/15/11
ID1: NYD986882660
ID2: 0202972
STATUS: FINAL
PHONE: 9083214341

the remedy for OU 2 was completed in May 2005.

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 26 **DIST/DIR:** 0.83 NW **ELEVATION:** 2 **MAP ID:** 74

| | |
|--|---|
| <p>NAME: LI TUNGSTEN ADDRESS: 63 HERB HILL RD GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 130046 ID2: 55783.00 STATUS: PHONE:</p> |
|--|---|

SITE INFORMATION

REGION: 1 **SIZE (ACRES):** 20.000

SITE TYPE:

| | |
|----------------------|-----------------------|
| OPEN DUMP: NO | STRUCTURE: YES |
| LAGOON: YES | LANDFILL: NO |
| POND: NO | |

SITE OWNER/OPERATOR INFORMATION:

NAME:
COMPANY: LI TUNGSTEN CORPORATION
ADDRESS:
 ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: LI TUNGSTEN CORPORATION
ADDRESS: 63 HERBHILL RD.
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME: DEBORAH ROTHBERG
COMPANY: LI TUNGSTEN CORPORATION
ADDRESS: 101 PARK AVE.
 NEW YORK NY 10178
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: OLD COURT BANK
ADDRESS:
 ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: OLD COURT BANK
ADDRESS:
 ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: MARYLAND DEPOSIT INSURANCE FUND
ADDRESS:
 ZZ
COUNTRY: UNITED STATES OF AMERICA

HAZARDOUS WASTE:
 ARSENIC, LEAD, CHROMIUM, CADMIUM, PCBS,

QUANTITY:
 UNKNOWN

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 26 **DIST/DIR:** 0.83 NW **ELEVATION:** 2 **MAP ID:** 74

| | |
|--|---|
| <p>NAME: LI TUNGSTEN ADDRESS: 63 HERB HILL RD GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 130046 ID2: 55783.00 STATUS: PHONE:</p> |
|--|---|

| | |
|---|--------------------|
| NICKEL, COPPER, ZINC, VOLATILE ORGANICS (DOO4) (DOO6) (DOO7) (DOO8) (BOO7) | UNKNOWN UNKNOWN |
|---|--------------------|

HAZARDOUS WASTE DISPOSAL PERIOD: 1940 TO 1986

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

The USEPA has completed the remedial actions at this site. Prior to remediation, the primary contaminants of concern were arsenic, lead, thorium-232, radium-226, U-238, and PAHs in the soil, and chlorinated VOCs in the groundwater.

ASSESSMENT OF HEALTH PROBLEMS:

Human exposure to site-related contamination is not likely since routinely monitored public water supply wells serve the area, the site is fenced with posted warning signs limiting access, and sedimentation fences limit the surficial runoff of site soils offsite. In addition, the potential for soil vapor intrusion will be evaluated and addressed should the site be developed.

DESCRIPTION:

The Li Tungsten USEPA Superfund site (EPA identification NYD986882660) is a former industrial facility located at 63 Herbill Road in the city of Glen Cove. The Li Tungsten site includes the former Li Tungsten facility property, the radiologically-contaminated portions of the Captain s Cove property (NYSDEC Site No. 130032), and nearby areas where radiologically- and/or metals-contaminated materials associated with the former Li Tungsten facility came to be located, including portions of Glen Cove Creek. The former facility is located at 63 Herbill Road, while the Captain s Cove property is located one-half mile west of the former facility on Garvies Point Road. These two properties lie along the northern edge of Glen Cove Creek. The 26-acre former facility consists of four parcels that were designated by the U.S. Environmental Protection Agency (EPA) as Parcels A, B, C, C and D, and radiological contamination that was found in Glen Cove Creek. Parcel A is a seven-acre paved area abutting Glen Cove Creek which served as the main operations center when the facility was active. Historically, Parcel A was the primary operating area and contained the majority of buildings, including the Dice complex, as well as storage and processing tanks. Parcel B, a six-acre tract north of Parcel A, is undeveloped land that was used for parking during facility operations and includes a small pond, an intermittent stream and a small wetland. Parcel C, approximately ten acres in size, is north of Parcel A and west of Parcel B. The Dickson Warehouse and the Benbow Building are located on Parcel C. Parcel C, an undeveloped four-acre tract adjacent to Parcel C, was not utilized as part of the facility during active operations has been designated Parcel D. Parcels A, B, C, C and D have been designated Operable Unit 1. The Li Tungsten contamination found on the Captain s Cove property has been designated Operable Unit 2. Operable Unit 3 is a defunct Operable Unit, and the Glen Cove Creek radiological contamination has been designated Operable Unit 4. The processing of tungsten and other metals at the former facility began in 1942 and ended in 1985. The former facility s operations consisted mainly of processing tungsten ore concentrates and scrap metal containing tungsten into ammonium paratungstate (APT) and the formulating of APT into tungsten powder and tungsten carbide powder. Other products produced at the facility included tungsten carbide powder for plasma spraying, tungsten titanium carbide powder, tantalum carbide powder, tungsten spray powder, crystalline tungsten powder, and molybdenum spray powder. From 1945 to the early 1950 s, the former facility processed significant amounts of ore concentrates to produce pure antimony. In July 1989, the USEPA signed an Administrative Order on Consent with the current property owner, the City of Glen Cove Development Corporation, for the performance of a removal action at the site. The removal action included addressing radioactive materials, removing drummed chemicals and laboratory reagents, addressing a mercury spill, and miscellaneous environmental sampling and inventorying. Concurrent to the USEPA Order on Consent NYSDEC listed the site as a Class 2 site in the Registry of Inactive Hazardous Waste Disposal Sites in New York. Subsequent to the City of Glen Cove s work and Order on Consent, the USEPA listed the site on the National Priority List in October of 1992. In addition to the several removal actions and a site wide Remedial Investigation and Feasibility Study (1999), the USEPA has signed two Record of Decisions (RODs) and two Explanations of Significant Differences (ESDs) for the Site. A ROD for Operable Unit 1 and 2 was signed in 1999 and the ROD for Operable Unit 4 was signed in 2005. In 2002 an ESD for OU1 and 2 was signed due to an increase in the volume of contaminated material. In 2005, the City of Glen Cove approached the USEPA with regards to commercial restrictions that would be placed on the site. Upon review of the current site data, the USEPA issued an ESD for portions of site allowing restricted residential restrictions. Parcel A was not included in this ESD. The USEPA has completed all required remedial actions at the Li Tungsten sites.

Environmental FirstSearch Site Detail Report

Target Property: GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 33 **DIST/DIR:** 0.83 SW **ELEVATION:** 140 **MAP ID:** 75

| | |
|-------------------------------|----------------------|
| NAME: TRANS TECHNOLOGY | REV: 7/26/11 |
| ADDRESS: 1 ROBERT LN | ID1: 130101 |
| OYSTER BAY / GLEN HE NY 11545 | ID2: 58816.00 |
| NASSAU | STATUS: |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

SITE INFORMATION

REGION: 1 **SIZE (ACRES):** 7.750

SITE TYPE:

| | |
|-----------------------|-----------------------|
| OPEN DUMP: YES | STRUCTURE: YES |
| LAGOON: NO | LANDFILL: NO |
| POND: NO | |

SITE OWNER/OPERATOR INFORMATION:

NAME:
COMPANY: TRANSTECHNOLOGY CORPORATION
ADDRESS: 700 LIBERTY AVENUE
UNION NJ 07083
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: LUNDY ELECTRONICS/TRANS TECHNOLOGY
ADDRESS: ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: LUNDY ELECTRONICS/TRANSTECHNOLOGY CORP.
ADDRESS: ONE ROBERTS LANE
GLEN HEAD NY 11545
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: TRANS TECHNOLOGY CORPORATION
ADDRESS: 150 ALLEN ROAD
LIBERTY CORNER NJ 07938
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: LUNDY ELECTRONICS/TRANS TECHNOLOGY
ADDRESS: ONE ROBERT LANE
GLEN HEAD NY 11545
COUNTRY: UNITED STATES OF AMERICA

HAZARDOUS WASTE:

QUANTITY:

| | |
|---------------------------|---------|
| 1,1-DICHLOROETHANE | UNKNOWN |
| CHROMIUM | UNKNOWN |
| 1,1,1 TCA | UNKNOWN |
| ARSENIC | UNKNOWN |
| CADMIUM | UNKNOWN |
| TRICHLOROETHENE (TCE) | UNKNOWN |
| TETRACHLOROETHYLENE (PCE) | UNKNOWN |

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 33 **DIST/DIR:** 0.83 SW **ELEVATION:** 140 **MAP ID:** 75

NAME: TRANS TECHNOLOGY
ADDRESS: 1 ROBERT LN
OYSTER BAY / GLEN HE NY 11545
NASSAU
CONTACT:
SOURCE: NYSDEC

REV: 7/26/11
ID1: 130101
ID2: 58816.00
STATUS:
PHONE:

HAZARDOUS WASTE DISPOSAL PERIOD: TO

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

The primary contaminants of concern are volatile organic compounds (VOCs) and metals in on-site soils, groundwater, cesspools, and leaching pools. Investigations indicate that no significant concentrations of VOCs have been detected in on-site soils, however localized areas of metals have been found. On-site groundwater, cesspools, and leaching pools have been found to contain concentrations of several VOCs and metals above SCGs, including tri- and tetrachloroethene and chromium. The site presents a significant environmental threat due to the ongoing releases from source areas of contaminants into groundwater.

ASSESSMENT OF HEALTH PROBLEMS:

The site is located in a commercial/residential area served by public water. The groundwater contains elevated concentrations of several volatile organic compounds, particularly tetrachloroethene. Groundwater contamination is 100 feet below ground surface and poses no immediate surficial threat. Although the contaminated groundwater poses a threat to public drinking water supply wells, all municipal water supplies are routinely monitored prior to distribution to ensure that New York State Drinking Water Standards are met. Soil vapor intrusion affected indoor air at an on-site residence. Interim remedial measures were conducted to reduce tetrachloroethene indoor air contamination. Further groundwater and soil vapor site investigations continue and NYSDOH will evaluate potential exposures to site-related contaminants as additional data becomes available.

DESCRIPTION:

The Trans Technology site is a 7 -acre property, located off Dumond Place, just east of the intersection of Glen Head Road and Glen Cove Avenue. The site is in the northwest portion of Long Island, in Glen Head, Nassau County, and is located in a mixed use commercial and residential area. The site is mostly paved but also consists of large buildings. Until 1998, Lundy Electronics Company used the site as a machine shop and electronics manufacturer. In the early 1980s, TransTechnology, an electronics assembler, acquired Lundy. Since that time, TransTechnology has leased a portion of the site building to various tenants whose activities include wood working, metals fabrication, and warehousing. Until 1994, TransTechnology assembled electronic components on site. Completed investigations include various studies conducted in the 1990 s and one in 2002, as part of an environmental audit in support of a potential property sale; a Preliminary Site Assessment for the Glen Head regional groundwater plume that was conducted in September 2000; and a Remedial Investigation for this site which was conducted from 2002-2004. As part of the Remedial Investigation, an IRM was completed in September of 2003, which entailed the cleaning out of six of the most impacted subsurface drainage structures. The Remedial Investigation Report and Feasibility Study were approved on September 8, 2005. The PRAP was signed on February 15, 2006 with a public meeting held on March 9, 2006. The ROD was signed on June 12, 2006. Remedial design and action procedures are underway as well as additional investigations for off-site groundwater.

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 31 **DIST/DIR:** 0.84 NW **ELEVATION:** 48 **MAP ID:** 76

| | |
|--|---|
| <p>NAME: POWERS CHEMCO ADDRESS: 26 CHARLES ST GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 130028 ID2: 55768.00 STATUS: PHONE:</p> |
|--|---|

SITE INFORMATION

REGION: 1 **SIZE (ACRES):** 1.400

SITE TYPE:

| | |
|-----------------------|----------------------|
| OPEN DUMP: YES | STRUCTURE: NO |
| LAGOON: NO | LANDFILL: NO |
| POND: NO | |

SITE OWNER/OPERATOR INFORMATION:

NAME:
COMPANY: COLUMBIA RIBBON and CARBON MFG. CO.
ADDRESS:
 ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: COLUMBIA RIBBON and CARBON MANUFACTURING
ADDRESS: 71 CHARLES STREET
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: COLUMBIA RIBBON and CARBON MFG. CO.
ADDRESS:
 ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME: CORY KIRKBRIDE
COMPANY: KONICA MINOLTA GRAPHIC IMAGING USA, INC.
ADDRESS: 4150 DANVERS COURT
 KENTWOOD MI 49512
COUNTRY: UNITED STATES OF AMERICA

HAZARDOUS WASTE:

ETHYLACETATE
 ETHYLBENZENE
 SOLVENTS (TOLUENE) (FOO5)
 XYLENE (MIXED)
 TOLUENE

QUANTITY:

UNKNOWN
 4645 TONS OF SOIL REMOVED
 267 DRUMS (50 CRUSHED)
 UNKNOWN
 UNKNOWN

HAZARDOUS WASTE DISPOSAL PERIOD: 1950s TO 1979

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

Hazardous waste disposal has contaminated a sole source aquifer above NYS Ambient Groundwater Quality Standards. Significant levels of primarily toluene and other solvents are still present in groundwater and soil samples after the completion of the remedial efforts in accordance with the ROD. The detection of high levels of toluene, total xylenes and ethylbenzene in soil at 1900 ppm, 230 ppm and 37 ppm respectively above the Department's soil clean up objectives of 0.7 ppm, 0.26 ppm and 1 ppm respectively has resulted in significant contamination of groundwater in a sole source aquifer. The

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 31 **DIST/DIR:** 0.84 NW **ELEVATION:** 48 **MAP ID:** 76

NAME: POWERS CHEMCO
ADDRESS: 26 CHARLES ST
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: 130028
ID2: 55768.00
STATUS:
PHONE:

CONTACT:
SOURCE: NYSDEC

concentrations of toluene, total xylenes and ethylbenzene were detected in the groundwater at 520,000 ppb, 12,000 ppb and 2,600 ppb respectively above the Department's Ambient Water Quality Standards and Guidance values of 5 ppb. The site presents a significant threat to the environment. Elevated levels of total VOCs (approximately 7300 UG/m³) is present in soil vapor at the site.

ASSESSMENT OF HEALTH PROBLEMS:

Currently, contact with contamination on and off of the site is limited. Soil contamination is covered with pavement or buildings and municipal water serves the area and no public water supply wells are downgradient of the site. The State will evaluate what additional investigations are needed to determine whether volatile organic chemicals found in the soil vapor on the site will impact the indoor air of any buildings constructed on the site.

DESCRIPTION:

The Powers Chemco site a.k.a Columbia Ribbon and Manufacturing Company site is located in the vicinity of Charles Street and The Place in the City of Glen Cove. This property adjacent to the Powers Chemco plant was purchased for use as a parking lot. The previous owner, Columbia Ribbon Co., had contaminated areas with inks and solvents, primarily toluene. Powers Chemco voluntarily submitted plans for a removal action to the DEC; drums and soil were removed in 1984 under a Consent Order. A supplemental hydrogeologic investigation and a Remedial Investigation/Feasibility Study (RI/FS) were also completed under a Consent Order. A Record of Decision (ROD) was signed on March 22, 1991. The remedy specified in the ROD calls for vacuum extraction of contaminated soils, groundwater collection and treatment, and air emission controls. The design was approved on June 29, 1993. The remedial system constructed at this site was completed in compliance with the ROD and the approved design. On August 28, 1996, the remedial system was temporarily shutdown in accordance with the criteria set forth in the Performance Analysis and Design Modification Plan. The remedial system was re-started in February 1997. A second temporary shutdown of the SVE system was implemented in September 1999 and the groundwater system in November 1999. The post-shutdown groundwater monitoring indicated that residual groundwater contamination is present in the source area. The results of soil vapor survey confirms presence of elevated levels of VOCs in soil vapor at the site. Investigation to confirm soil vapor intrusion (SVI) into near by residences has been completed. The March 2009 Limited Subsurface Investigation Report indicated presence of toluene and other aromatic hydrocarbons in the soil and groundwater at very high levels. The Department has directed the PRP to evaluate all historical and recent data and prepare a report to document the extent of residual contamination at the site and off-site. The Department reviewed April 2010 Historical remediation and Data Review Report and recommended an additional investigation. Any additional remediation required is subject to the modifications of the 1991 ROD.

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 24 **DIST/DIR:** 0.86 NW **ELEVATION:** 9 **MAP ID:** 77

| | |
|--|---|
| <p>NAME: CROWN DYKMAN ADDRESS: 66 HERB HILL RD GLEN COVE/OYSTER BAY NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 130054 ID2: 58547.00 STATUS: PHONE:</p> |
|--|---|

SITE INFORMATION

REGION: 1 **SIZE (ACRES):** 1.000

SITE TYPE:

| | |
|----------------------|-----------------------|
| OPEN DUMP: NO | STRUCTURE: YES |
| LAGOON: NO | LANDFILL: NO |
| POND: NO | |

SITE OWNER/OPERATOR INFORMATION:

NAME:
COMPANY: HERBHILL ASSOCIATES/KALMON DOLGIN AF
ADDRESS:
 ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: GLEN COVE PUBLIC LIBRARY
ADDRESS: 4 GLEN COVE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: HERBHILL ASSOCIATES
ADDRESS: 21 EDWARDS LANE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: HERBHILL ASSOCIATES/KALMON DOLGIN AF
ADDRESS: 66 HERBHILL ROAD
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME: HEIDE-MARIE DUDEK, P.E.
COMPANY: NYSDEC CENTRAL OFFICE
ADDRESS: 625 BROADWAY
 ALBANY NY 12233-7015
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: DYKMAN LAUNDRY
ADDRESS: 66 HERBHILL ROAD
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME: WILLIAM FONDA
COMPANY: NYSDEC REGION 1 - SUNY CAMPUS
ADDRESS: 50 CIRCLE ROAD

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 24 **DIST/DIR:** 0.86 NW **ELEVATION:** 9 **MAP ID:** 77

| | |
|---------------------------------|----------------------|
| NAME: CROWN DYKMAN | REV: 7/26/11 |
| ADDRESS: 66 HERB HILL RD | ID1: 130054 |
| GLEN COVE/OYSTER BAY NY 11542 | ID2: 58547.00 |
| NASSAU | STATUS: |
| CONTACT: | PHONE: |
| SOURCE: NYSDEC | |

COUNTRY: STONY BROOK NY 11790-0350
UNITED STATES OF AMERICA

NAME:
COMPANY: F.B. FLIPSE AUTO
ADDRESS: 66 HERBHILL ROAD
GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: CROWN UNIFORM SERVICES
ADDRESS: 66 HERBHILL ROAD
GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: F.B. FLIPSE AUTO
ADDRESS: 66 HERBHILL ROAD
GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: S and W LAUNDRY
ADDRESS: 66 HERBHILL ROAD
GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: TIM CONTARINO
ADDRESS: 66 HERBHILL ROAD
GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

| | |
|---|-------------------------|
| <u>HAZARDOUS WASTE:</u> | <u>QUANTITY:</u> |
| TETRACHLOROETHYLENE (PCE) | UNKNOWN |
| TETRACHLOROETHYLENE (PCE OR PERC.)(U210) | UNKNOWN |

HAZARDOUS WASTE DISPOSAL PERIOD: 1955 TO 1990

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

An assessment of existing and potential future environmental impacts presented by the site is presented below. Environmental impacts may include existing and potential future exposure pathways to fish and wildlife receptors, wetlands, groundwater resources, and surface water. The Fish and Wildlife Impact Analysis (FWIA), which is included in the RI report, presents a detailed discussion of the existing and potential impacts from the site poses to fish and wildlife receptors. Glen Cove Creek, which has been channelized and is a potential receptor, is located south of the Site. A private marina in the southwestern portion of Glen Cove Creek and the remainder of the creek is bordered by industry. The majority of Glen Cove Creek s banks have been armored with steel bulkhead. The FWIA did not identify any current or potential impacts to ecological resources. Groundwater at the site generally flows south-southwest toward Glen Cove Creek. Depth to groundwater varies at the site ranging five to 10 feet below grade level. Site related contamination is impacting groundwater. The groundwater is not used as a source of potable water. Protection of the groundwater resource will be addressed in the remedy selection process. Surface water resources at or near the site include Glen Cove Creek located to the south of the site. The majority of Glen Cove Creek is lined by bulkheaded shoreline and has no intertidal marsh, high marsh or transition zone habitats. Glen Cove Creek consists of a federally maintained navigation channel that extends from Hempstead Harbor eastward to the existing fuel depot located at the eastern terminus of the creek. Historical dredging and shoreline hardening structures have resulted in the elimination of all natural shoreline areas with the exception of a tidal wetland resource

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 24 **DIST/DIR:** 0.86 NW **ELEVATION:** 9 **MAP ID:** 77

| | |
|---|--|
| NAME: CROWN DYKMAN ADDRESS: 66 HERB HILL RD GLEN COVE/OYSTER BAY NY 11542 NASSAU | REV: 7/26/11 ID1: 130054 ID2: 58547.00 STATUS: PHONE: |
| CONTACT: SOURCE: NYSDEC | |

located at Captain s Cove. Impacts to surface water were evaluated based on the potential for contaminated groundwater to migrate to the creek. Sediment was not evaluated in the RI.

ASSESSMENT OF HEALTH PROBLEMS:

Exposure to contaminated groundwater and residual soil contamination is not expected because public water serves the area and the soils are covered with building or pavement. Operation of a soil vapor extraction system will reduce the potential for exposure from soil vapor intrusion into structures on and near the site.

DESCRIPTION:

The Crown Dykman site is located at 66 Herb Hill Road, Glen Cove, New York. The site is the former location of Dykman Laundry and Cleaners. The property, approximately 175 by 250 feet in area, contains a one-story cinder block and brick building. The building currently houses two businesses. An auto repair facility is located in the front of the building and a commercial (water-based) cleaner is located in the rear of the building. The site is bordered to the west by the Li Tungsten Parcel B USEPA Superfund site and to the south by the former Li Tungsten Parcel A USEPA Superfund site and the Glen Cove Creek. To the north of the site, within the Konica Minolta property, is the Powers Chemco site. The Crown Dykman site was occupied by Dykman Laundry from 1932 thru 1975. Crown Uniform Services (Crown Uniform) utilized the premises to dry clean and service uniforms from 1975 until they went out of business in 1983. Crown Uniform originally used a petroleum based Stoddard solvent to launder the uniforms; however, the Stoddard solvent was later replaced by tetrachloroethene (PCE). Since the closing of Crown Uniform, several other businesses have occupied the building. In 1987 the site was originally investigated by the Nassau County Department of Health during the excavation of an on-site pit. The sampling event found PCE, 1,1,1-trichloroethane, toluene, and xylene. In the early 1990s, several underground solvent tanks and a gasoline tank were removed. Based on results from samples collected during the tank removal, the Nassau County Department of Health sent a letter of violation to the site owner and requested a remedial investigation. A preliminary investigation was completed in 1992 by the owner of the site, Herb Hill Associates. In August 1992, the Department first identified the site as Class 2a site. A 2a site is a temporary classification assigned to a site that had inadequate and/or insufficient data for inclusion in any of the other classifications in the Registry of Inactive Hazardous Waste Disposal Sites in New York. As a result of identified hazardous waste disposal, the Department listed the site as a Class 2 site in the Registry of Inactive Hazardous Waste Disposal Sites in New York in November 1992. A Class 2 site is a site where hazardous waste presents a significant threat to the public health or the environment and action is required. Several investigations and an Interim Remedial Measure (IRM) had been completed by the property owner prior to the completion of the Remedial Investigation and Feasibility Study. Preliminary Site Assessment completed in 1991 Initial RI/FS completed in 1997 Additional Site Investigations completed in 1999 Soil removal IRM completed in 2005. This soil removal IRM removed approximately 2,200 tons of contaminated soil from beneath the southeastern portion building slab. Post excavation sampling indicated that residual PCE contamination remained beneath the slab along the footings of the southeastern wall at concentrations ranging from non-detect to 290 parts per million.

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 6 **DIST/DIR:** 0.90 NW **ELEVATION:** 0 **MAP ID:** 78

| | |
|-------------------------------------|--------------------------|
| NAME: EDMOS CORP | REV: 7/11/11 |
| ADDRESS: 20 GARVIES POINT RD | ID1: NYD047648472 |
| GLEN COVE NY 11542 | ID2: |
| NASSAU | STATUS: CA |
| CONTACT: | PHONE: |
| SOURCE: EPA | |

SITE INFORMATION

CONTACT INFORMATION: TOM FETSCH
20 GARVIES POINT RD
GLEN COVE NY 11542

PHONE: 2128953735

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

| | |
|--|--------|
| GPRA PERMIT: | N - NO |
| GPRA POST CLOSURE: | N - NO |
| GPRA CA: | N - NO |
| GPRA COMPLIANCE MONITORING and ENFORCEMENT: | N - NO |

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

| | |
|---|--|
| SUBJCA: | Y - SUBJECT TO CORRECTIVE ACTION |
| SUBJCA TSD 3004: | N - NO |
| SUBJCA NON TSD: | Y - NON TSDFS WHERE CORRECTIVE ACTION HAS BEEN IMPOSED |
| SIGNIFICANT NON-COMPLIANCE(SNC): | N - NO |
| BEGINNING OF THE YEAR SNC: | N - NO |
| PERMIT WORKLOAD: | ---- |
| CLOSURE WORKLOAD: | ---ST |
| POST CLOSURE WORKLOAD: | ---- |
| PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: | ---ST |
| CORRECTIVE ACTION WORKLOAD: | N - NO |
| GENERATOR STATUS: | N |

NAIC INFORMATION

313249 - OTHER KNIT FABRIC AND LACE MILLS

ENFORCEMENT INFORMATION:

VIOLATION INFORMATION:

CORRECTIVE ACTION INFORMATION

| | |
|------------------|---|
| CA EVENT: | 9/8/1993 CA075HI - CA PRIORITIZATION-HIGH CA PRIORITY |
| CA EVENT: | 6/27/1994 CA070YE - DETERMINATION OF NEED FOR A RFI-RFI IS NECESSARY |
| CA EVENT: | 6/27/1994 CA210SF - REFERRED TO A NON-RCRA AUTHORITY-REFERRED TO CERCLA |

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 6 **DIST/DIR:** 0.90 NW **ELEVATION:** 0 **MAP ID:** 78

NAME: EDMOS CORP
ADDRESS: 20 GARVIES POINT RD
GLEN COVE NY 11542
NASSAU

REV: 7/11/11
ID1: NYD047648472
ID2:
STATUS: CA
PHONE:

CONTACT:
SOURCE: EPA

CA EVENT: 6/27/1994 CA050 - RFA COMPLETED

CA EVENT: 2/8/1995 CA225NR - STABILIZATION MEASURES EVALUATION-FACILITY NOT AMENABLE TO STABILIZATION

HAZARDOUS WASTE INFORMATION:

Decanter tank tar sludge from coking operations.

The following spent non-halogenated solvents: toluene, methyl ethyl ketone, carbon disulfide, isobutanol, pyridine, benzene, 2-ethoxyethanol, and 2-nitropropane; all spent solvent mixtures/blends containing, before use, a to

The following spent non-halogenated solvents: cresols, cresylic acid, and nitrobenzene; all spent solvent mixtures/blends containing, before use, a total of ten percent or more (by volume) of one or more of the above non-hal

Sludge from treatment of process wastewater and/or acid plant blowdown from primary zinc production.

Phenol

Naphthalene

Methanol (I) (OR) Methyl alcohol (I)

K078

Ignitable waste

The following spent non-halogenated solvents: Xylene, acetone, ethyl acetate, ethyl benzene, ethyl ether, methyl isobutyl ketone, n-butyl alcohol, cyclohexanone, and methanol; all spent solvent mixtures/ blends containing, b

Benzene, methyl- (OR) Toluene

Benzene, dimethyl- (I,T) (OR) Xylene (I)

Benzene (I,T)

Ammonia still lime sludge from coking operations.

4-Methyl-2-pentanone (I) (OR) Methyl isobutyl ketone (I) (OR) Pentanol, 4-methyl-

2-Propanone (I) (OR) Acetone (I)

2-Butanone (I,T) (OR) Methyl ethyl ketone (MEK) (I,T)

1-Propanol, 2-methyl- (I,T) (OR) Isobutyl alcohol (I,T)

Distillation or fractionation column bottoms from the production of chlorobenzenes.

Ethane, 1,1 -oxybis-(I) (OR) Ethyl ether (I)

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 7 **DIST/DIR:** 0.96 NW **ELEVATION:** 0 **MAP ID:** 79

| | |
|---|---|
| <p>NAME: FABRIC LEATHER CORP ADDRESS: 40 GARVIES POINT RD GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: EPA</p> | <p>REV: 7/11/11 ID1: NYD008918450 ID2: STATUS: CA PHONE:</p> |
|---|---|

SITE INFORMATION

CONTACT INFORMATION: BAILEY W BARTON
 40 GARVIES POINT RD
 GLEN COVE NY 11542

PHONE: 5166718220

UNIVERSE INFORMATION:

GOVERNMENT PERFORMANCE AND RESULTS ACT (GPRA)

| | |
|--|--------|
| GPRA PERMIT: | N - NO |
| GPRA POST CLOSURE: | N - NO |
| GPRA CA: | N - NO |
| GPRA COMPLIANCE MONITORING and ENFORCEMENT: | N - NO |

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

| | |
|-------------------------|----------------------------------|
| SUBJCA: | Y - SUBJECT TO CORRECTIVE ACTION |
| SUBJCA TSD 3004: | N - NO |
| SUBJCA NON TSD: | N - NO |

| | |
|---|--------|
| SIGNIFICANT NON-COMPLIANCE(SNC): | N - NO |
| BEGINNING OF THE YEAR SNC: | N - NO |
| PERMIT WORKLOAD: | ---- |
| CLOSURE WORKLOAD: | ---- |
| POST CLOSURE WORKLOAD: | ---- |
| PERMITTING /CLOSURE/POST-CLOSURE PROGRESS: | ---S- |
| CORRECTIVE ACTION WORKLOAD: | N - NO |
| GENERATOR STATUS: | N |

NAIC INFORMATION

31332 - FABRIC COATING MILLS
 325211 - PLASTICS MATERIAL AND RESIN MANUFACTURING

ENFORCEMENT INFORMATION:

| | | | |
|----------------|------------------------|--------------|------------|
| AGENCY: | S - STATE | DATE: | 10/28/1988 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 11/8/1984 |
| TYPE: | 120 - WRITTEN INFORMAL | | |
| AGENCY: | S - STATE | DATE: | 3/10/1986 |
| TYPE: | 120 - WRITTEN INFORMAL | | |

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 7 **DIST/DIR:** 0.96 NW **ELEVATION:** 0 **MAP ID:** 79

NAME: FABRIC LEATHER CORP
ADDRESS: 40 GARVIES POINT RD
GLEN COVE NY 11542
NASSAU
CONTACT:
SOURCE: EPA

REV: 7/11/11
ID1: NYD008918450
ID2:
STATUS: CA
PHONE:

AGENCY: S - STATE **DATE:** 6/11/1985
TYPE: 120 - WRITTEN INFORMAL

VIOLATION INFORMATION:

VIOLATION NUMBER: 0001 **RESPONSIBLE:** S - STATE
DETERMINED: 7/24/1984 **DETERMINED BY:** S - STATE
CITATION:
RESOLVED: 1/16/1985
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0002 **RESPONSIBLE:** S - STATE
DETERMINED: 3/26/1985 **DETERMINED BY:** S - STATE
CITATION:
RESOLVED: 11/19/1985
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0003 **RESPONSIBLE:** S - STATE
DETERMINED: 2/14/1986 **DETERMINED BY:** S - STATE
CITATION:
RESOLVED: 4/22/1986
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

VIOLATION NUMBER: 0004 **RESPONSIBLE:** S - STATE
DETERMINED: 9/16/1988 **DETERMINED BY:** S - STATE
CITATION:
RESOLVED: 1/26/1989
TYPE: GENERATOR-ALL REQUIREMENTS (OVERSIGHT)

CORRECTIVE ACTION INFORMATION

CA EVENT: 12/16/1993 CA075ME - CA PRIORITIZATION-MEDIUM CA PRIORITY

CA EVENT: 4/21/1994 CA050 - RFA COMPLETED

CA EVENT: 8/30/1995 CA225IN - STABILIZATION MEASURES EVALUATION-FURTHER INVESTIGATION
NECESSARY

HAZARDOUS WASTE INFORMATION:

Benzene, methyl- (OR) Toluene

The following spent non-halogenated solvents: toluene, methyl ethyl ketone, carbon disulfide, isobutanol, pyridine, benzene, 2-ethoxyethanol, and 2-nitropropane; all spent solvent mixtures/blends containing, before use, a to

Lead

Ignitable waste

D000

Chromium

The following spent non-halogenated solvents: Xylene, acetone, ethyl acetate, ethyl benzene, ethyl ether, methyl isobutyl ketone, n-butyl alcohol, cyclohexanone, and methanol; all spent solvent mixtures/ blends containing, b

Cadmium

Barium

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

RCRACOR

SEARCH ID: 7 **DIST/DIR:** 0.96 NW **ELEVATION:** 0 **MAP ID:** 79

NAME: FABRIC LEATHER CORP
ADDRESS: 40 GARVIES POINT RD
GLEN COVE NY 11542
NASSAU

REV: 7/11/11
ID1: NYD008918450
ID2:
STATUS: CA
PHONE:

CONTACT:
SOURCE: EPA

2-Propanone (I) (OR) Acetone (I)
2-Butanone (I,T) (OR) Methyl ethyl ketone (MEK) (I,T)
1,2-Benzenedicarboxylic acid, dioctyl ester (OR) Di-n-octyl phthalate
Carbamic acid, ethyl ester (OR) Ethyl carbamate (urethane)

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 25 **DIST/DIR:** 0.96 SE **ELEVATION:** 126 **MAP ID:** 80

| | |
|---|---|
| <p>NAME: FORMER FRESH and CLEAN LAUNDRY ADDRESS: 22 RAILROAD AVE GLEN HEAD NY 11545 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 130111 ID2: 57070.00 STATUS: PHONE:</p> |
|---|---|

SITE INFORMATION

REGION: 1 **SIZE (ACRES):** 1.000

SITE TYPE:

| | |
|----------------------|-----------------------|
| OPEN DUMP: NO | STRUCTURE: YES |
| LAGOON: NO | LANDFILL: NO |
| POND: NO | |

SITE OWNER/OPERATOR INFORMATION:

NAME:
COMPANY: UNKNOWN
ADDRESS:
 NY
COUNTRY: UNKNOWN

NAME:
COMPANY: FRESH and CLEAN LAUNDRY
ADDRESS: 22-26 RAILROAD AVENUE
 GLEN HEAD NY 11545
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: GUISEPPE CARUSO
ADDRESS: A and G HOMES, INC.
 6 MORRIS AVE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: FRESH and CLEAN LAUNDRY
ADDRESS: 22 RAILROAD AVENUE
 GLEN HEAD NY 11545
COUNTRY: UNITED STATES OF AMERICA

HAZARDOUS WASTE:
 TETRACHLOROETHYLENE (PCE)

QUANTITY:
 UNKNOWN

HAZARDOUS WASTE DISPOSAL PERIOD: unknown TO 1988

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

Groundwater has been contaminated by tetrachloroethene. The nature and extent of contamination needs to be investigated.

ASSESSMENT OF HEALTH PROBLEMS:

The Property has elevated levels of tetrachloroethene in on-site soils and groundwater. Two Sea Cliff Public Water Supply Wells are located within 1.5 miles of the site. Neither of the wells appear to be impacted by site-related contamination. Additional investigation is necessary to delineate the extent of contamination at, and near the site and to evaluate potential human exposures associated with the contamination.

DESCRIPTION:

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 25 **DIST/DIR:** 0.96 SE **ELEVATION:** 126 **MAP ID:** 80

NAME: FORMER FRESH and CLEAN LAUNDRY

REV: 7/26/11

ADDRESS: 22 RAILROAD AVE
GLEN HEAD NY 11545
NASSAU

ID1: 130111
ID2: 57070.00

CONTACT:

STATUS:
PHONE:

SOURCE: NYSDEC

A 2 phased PSA was conducted in the Village of Glen Head to investigate the source of sources of tetrachloroethene (PCE) detected in the upgradient well at the Trans Technology parcel (130101). The PSA showed wide-spread elevated levels of PCE. It is likely that there are several sources of PCE disposal in this un-sewered area. The former Fresh andamp; Clean Laundry which is located at 22 Railroad Avenue appears to be a primary contributor to the PCE contamination. This location was reportedly a dry cleaners until 1988, and was listed as a RCRA large quantity generator (EPA ID No. NYD082782079). The Nassau County Department of Health determined that illegal disposal of PCE was occurring at this location. (See letter attached). Groundwater directly downgradient of this facility exhibited the highest levels of contamination detected during the PSA. The EPA is currently considering the area for possible action under their program. Two Sea Cliff water supply wells exist in the area; one is located 1500 feet to the north and one is 1.5 miles NNW of the area (this well is directly downgradient of the contamination). To date, neither have been impacted by PCE. However, the plume or plumes have not been fully delineated and considering the concentrations it is possible that future impacts could occur. The site also lies within the 4-mile radius of the Oyster Bay Special Groundwater Protection Area which is in the deep recharge Hydrogeologic Zone 1. This site was being investigated through the voluntary cleanup program under Site No. V00606. The VCA was terminated June 24, 2010.

**Environmental FirstSearch
Site Detail Report**

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 32 **DIST/DIR:** 0.96 NW **ELEVATION:** 122 **MAP ID:** 81

| | |
|---|---|
| <p>NAME: RONHILL CLEANERS ADDRESS: 71 FOREST AVE GLEN COVE NY 11542 NASSAU CONTACT: SOURCE: NYSDEC</p> | <p>REV: 7/26/11 ID1: 130071 ID2: 57769.00 STATUS: PHONE:</p> |
|---|---|

SITE INFORMATION

REGION: 1 **SIZE (ACRES):** .500

SITE TYPE:

| | |
|----------------------|-----------------------|
| OPEN DUMP: NO | STRUCTURE: YES |
| LAGOON: NO | LANDFILL: NO |
| POND: NO | |

SITE OWNER/OPERATOR INFORMATION:

NAME:
COMPANY: BEDFORD AFFILIATES
ADDRESS: ZZ
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: BEDFORD AFFILIATES
ADDRESS: 22709 MERIDIANA DRIVE
 BOCA RATON FL 33433
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: RICHARD SILLS and HENRY OH
ADDRESS: 71 FOREST AVENUE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: BEDFORD AFFILIATES
ADDRESS: 71 FOREST AVE.
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME: GLEN COVE PUBLIC LIBRARY
COMPANY: LIBRARY
ADDRESS: 4 GLEN COVE AVENUE
 GLEN COVE NY 11542
COUNTRY: UNITED STATES OF AMERICA

NAME:
COMPANY: BEDFORD AFFILIATES
ADDRESS: 22709 MERIDIANA DR.
 BOCA RATON FL 33433
COUNTRY: UNITED STATES OF AMERICA

HAZARDOUS WASTE:
 TETRACHLOROETHYLENE (PCE)

QUANTITY:
 UNKNOWN

- Continued on next page -

Environmental FirstSearch Site Detail Report

Target Property:

GLEN COVE NY 11542

JOB: 28538.00

STATE

SEARCH ID: 32 **DIST/DIR:** 0.96 NW **ELEVATION:** 122 **MAP ID:** 81

NAME: RONHILL CLEANERS
ADDRESS: 71 FOREST AVE
GLEN COVE NY 11542
NASSAU

REV: 7/26/11
ID1: 130071
ID2: 57769.00
STATUS:
PHONE:

CONTACT:
SOURCE: NYSDEC

PCE

UNKNOWN

HAZARDOUS WASTE DISPOSAL PERIOD:

1963 TO 1993

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

The primary contaminants of concern are tetrachloroethene(also known as PCE or Perc) and its breakdown products. Soils are contaminated with PCE from past dry cleaning operations. Groundwater samples confirm that PCE contamination has reached the aquifer. Soil vapor contamination has been found on and off-site. Soil and groundwater contamination exceeds SCGs. A nearby active public supply well is contaminated by PCE. The site presents a significant threat to the environment due to the continuing leaching of PCE to the groundwater, the highly concentrated PCE plume migrating from the site, and the proximity of the public supply well.

ASSESSMENT OF HEALTH PROBLEMS:

The public is unlikely to contact contaminated soils at the site, which is primarily covered by a building and an asphalt parking lot and driveway. Groundwater contaminants have been detected in public water supply wells about 1,000 feet northeast of the site. However, these wells are only used during high demand, are treated to remove all contaminants and are monitored regularly. There are no known private potable wells in the area of the groundwater plume. A soil vapor extraction system has operated since October 2005 to minimize soil vapor intrusion at the former dry cleaner facility and a neighboring commercial business. Several residential and commercial structures near the site have sub-slab depressurization systems to mitigate soil vapor intrusion.

DESCRIPTION:

The Ronhill Site is located in a commercial/residential area of Glen Cove, Nassau County, at the corner of Forest and Bryce Avenue. The main site features include a one-story commercial building surrounded by asphalt parking areas. The site is currently used as a retail shoe store. Surrounding land uses are residential and commercial. The site is 1200 feet southwest from a public supply well. Groundwater is approximately 80 feet below grade and the flow direction is to the southwest. The site was used as a retail dry cleaning facility from 1963 to 1993. Improper disposal of used tetrachloroethene(PCE) resulted in contamination of the soil and groundwater. An Environmental Assessment was completed in 1990. A preliminary Site Assessment was completed in 1995. A Remedial Investigation/Feasibility Study (RI/FS) was completed in 2001. A second RI effort was initiated by the NYSDEC in 2005 to focus on delineation of the off-site contamination. Currently a soil vapor extraction system operates on site to remove contamination. A Remedial Investigation work plan was approved in April 2008 to continue the delineation of contamination. Investigation efforts are currently underway to further delineate the off-site contamination. An IRM pilot test was conducted to evaluate a potential on-site remedy, the results are being evaluated.

Environmental FirstSearch
Street Name Report for Streets within .25 Mile(s) of Target Property

Target Property: GLEN COVE NY 11542

JOB: 28538.00

| Street Name | Dist/Dir | Street Name | Dist/Dir |
|--------------------|-----------------|--------------------|-----------------|
| 1st St | 0.02 NE | Highfield Rd | 0.14 NW |
| 2nd St | 0.02 NE | Johnell Pl | 0.14 NE |
| 3rd St | 0.02 NE | Kelly St | 0.12 NE |
| 4th St | 0.03 NE | Kemp Ave | 0.22 NW |
| Alex Ln | 0.16 NW | Knott Dr | 0.11 NW |
| Alexander Pl | 0.02 NE | Lindberg Ave | 0.19 NW |
| Arbor Pl | 0.16 NW | Marietta Rd | 0.14 NW |
| Beechwood Dr | 0.08 SW | Mc Grady St | 0.06 NW |
| Bella Vista Ave | 0.08 NE | Meadow Ln | 0.08 SW |
| Birch Tree Ct | 0.19 NW | Midwood Pl | 0.02 NW |
| Cambridge Ct | 0.04 NE | N Leech Cir | 0.05 NW |
| Capobianco St | 0.00 -- | Orian Pl | 0.23 NW |
| Carney St | 0.00 -- | Pearsall Ave | 0.17 NW |
| Cedar Swamp Rd | 0.02 NE | Porter Pl | 0.06 NW |
| Center St | 0.25 NW | Pratt Blvd | 0.00 -- |
| Central Ave | 0.17 NW | Pratt Oval | 0.00 -- |
| Central Dr | 0.15 SW | Puca Ct | 0.16 NE |
| Cross Ln | 0.25 SW | Richard Ct | 0.24 NW |
| Diamond Ct | 0.23 NW | Robinson Ave | 0.06 NW |
| Doxey Dr | 0.11 NW | Ruby Dr | 0.11 NW |
| Duke Pl | 0.06 NW | Russell Ln | 0.07 NE |
| E Leech Cir | 0.05 NW | Russell Pl | 0.07 NE |
| Eldridge Pl | 0.09 NW | S Craft Ln | 0.13 NW |
| Elm Ave | 0.03 NE | S Leech Cir | 0.05 NW |
| Emerald Dr | 0.13 NW | Sea Cliff Ave | 0.00 -- |
| Fairmont Pl | 0.22 NE | Selina Ct | 0.12 NW |
| Gabriel Pl | 0.08 NE | St Rocco Pl | 0.12 NE |
| Gabrus Dr | 0.23 SW | St Rocco St | 0.12 NE |
| Gabrus Rd | 0.23 SW | Stanco St | 0.00 -- |
| Glen Keith Rd | 0.03 NW | State Highway 107 | 0.00 -- |
| Glen St | 0.03 NE | Taylor Dr | 0.22 NW |
| Glendale Dr | 0.08 NW | Valentine Ave | 0.01 NW |
| Grove St | 0.00 -- | Vanderbilt Ln | 0.12 NW |
| Hazel St | 0.00 -- | Washington St | 0.15 NE |
| Hendrick Ave | 0.15 NW | Willow St | 0.00 -- |
| Hendrick Ave E | 0.12 NW | Wolfle St | 0.22 NE |
| Hendrick Ave W | 0.11 NW | | |
| High Farms Rd | 0.12 SE | | |

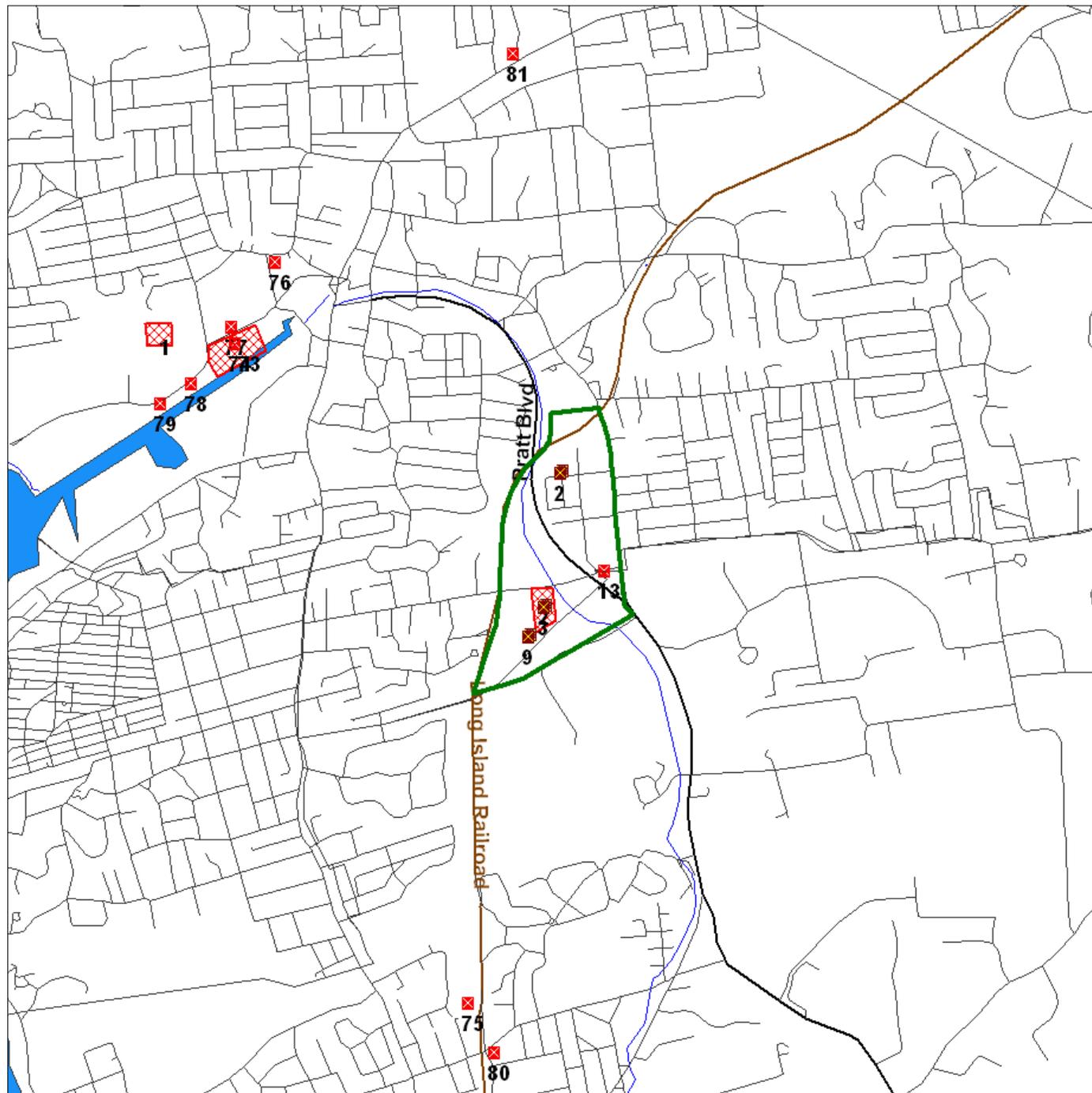


Environmental FirstSearch

1 Mile Radius from Area
ASTM Map: NPL, RCACOR, STATE Sites



, GLEN COVE NY 11542



Source: 2005 U.S. Census TIGER Files

| | |
|--|--|
| Area Polygon | |
| Identified Site, Multiple Sites, Receptor | |
| NPL, DELNPL, Brownfield, Solid Waste Landfill (SWL), Hazardous Waste | |
| Triballand..... | |
| Railroads | |

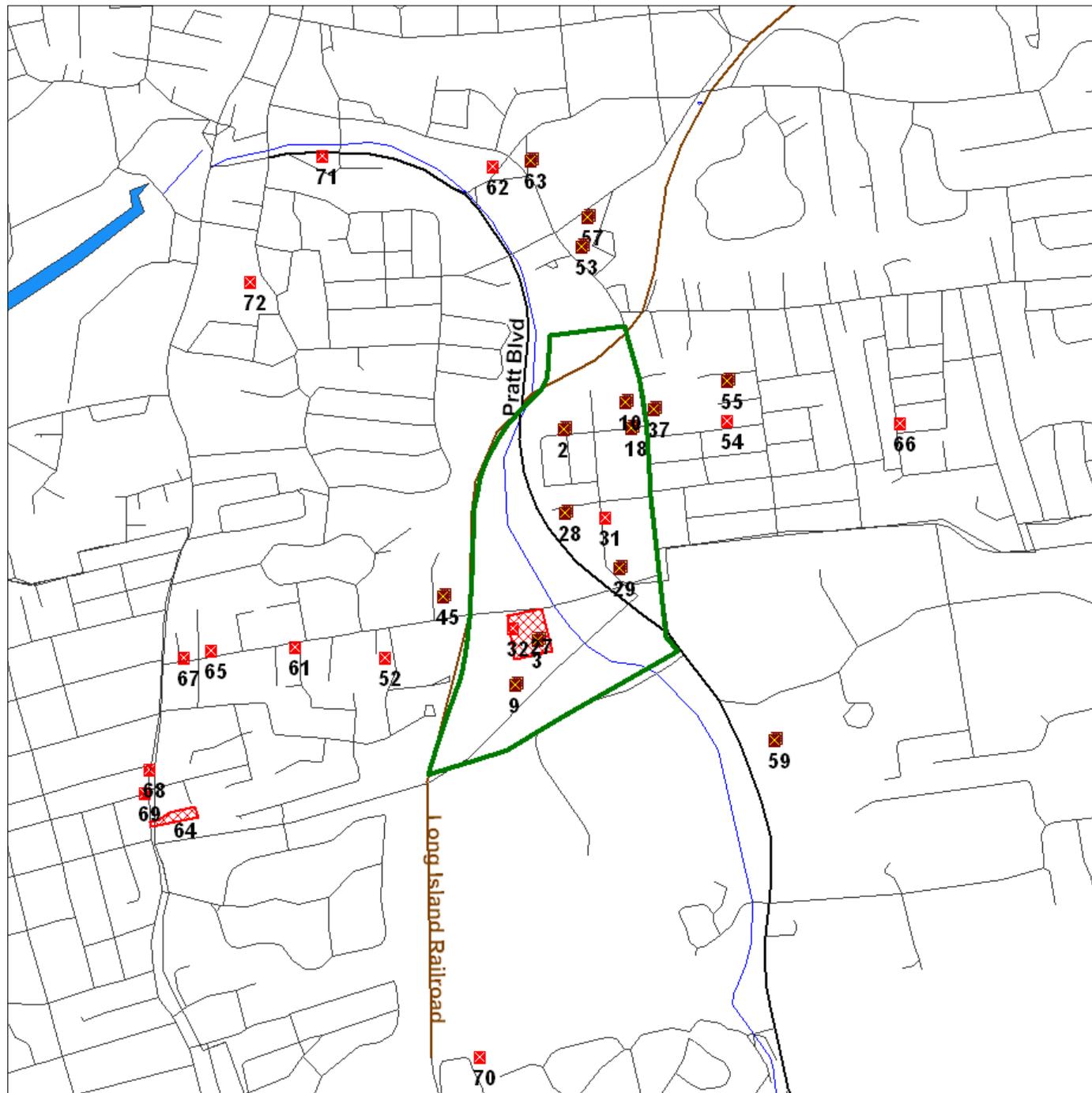


Environmental FirstSearch

.5 Mile Radius from Area
ASTM Map: CERCLIS, RCRATSD, LUST, SWL



, GLEN COVE NY 11542



Source: 2005 U.S. Census TIGER Files

- Area Polygon
- Identified Site, Multiple Sites, Receptor
- NPL, DELNPL, Brownfield, Solid Waste Landfill (SWL), Hazardous Waste
- Triballand
- Railroads

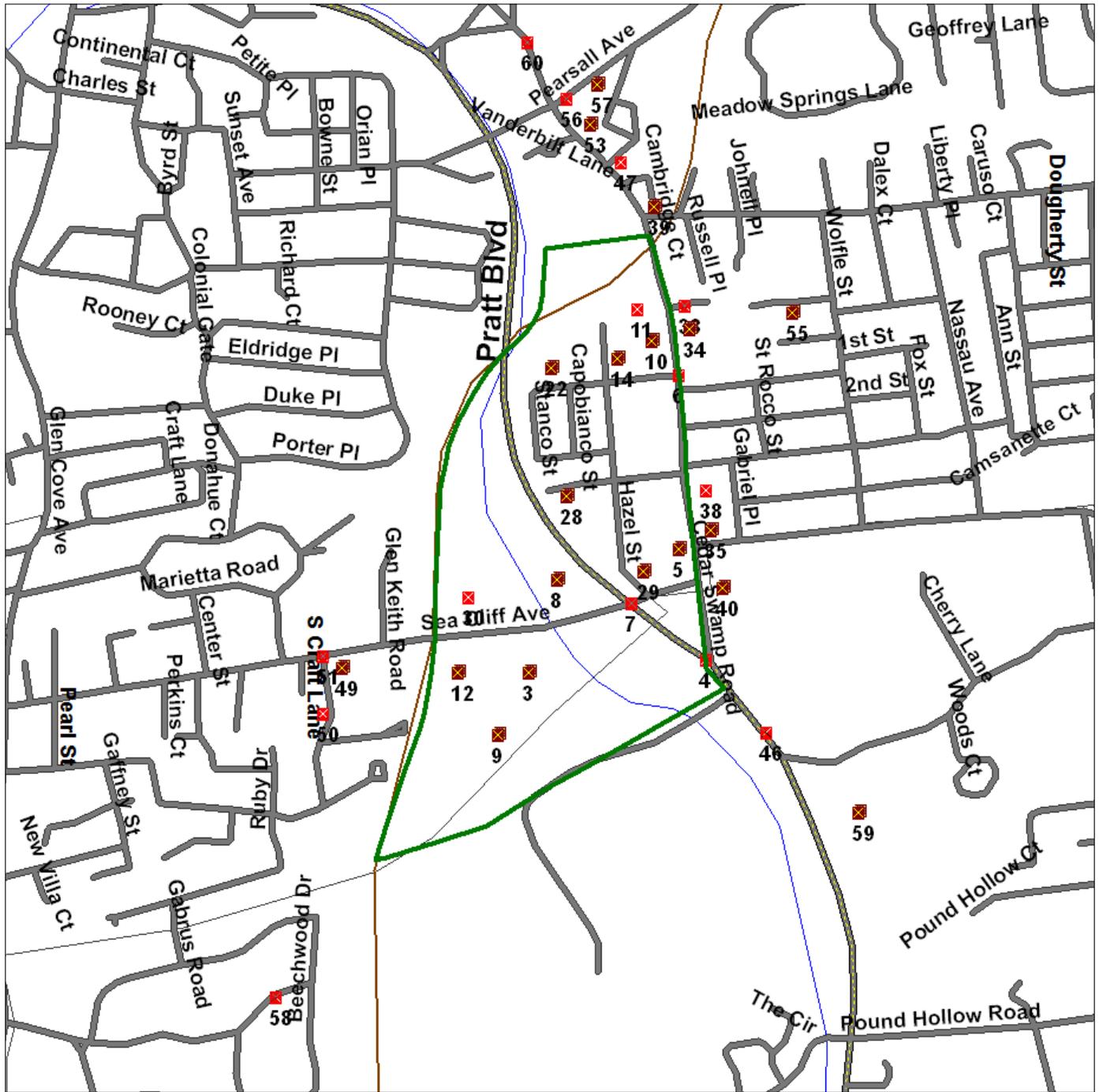


Environmental FirstSearch

.25 Mile Radius from Area
ASTM Map: RC RAGEN, ERNS, UST, FED IC/EC, METH LABS



, GLEN COVE NY 11542



Source: 2005 U.S. Census TIGER Files

- Area Polygon
- Identified Site, Multiple Sites, Receptor
- NPL, DELNPL, Brownfield, Solid Waste Landfill (SWL), Hazardous Waste
- Triballand.....
- Railroads



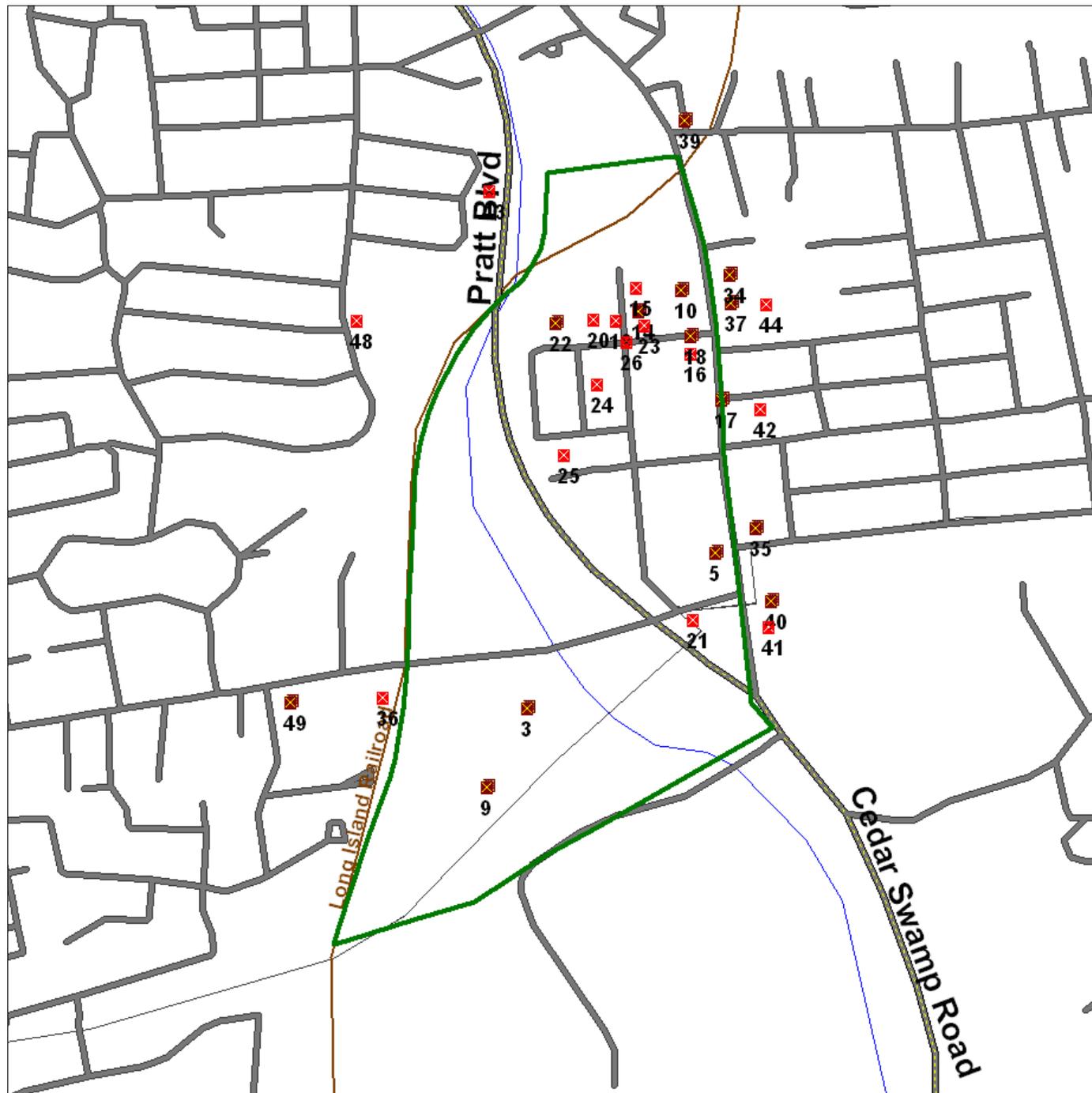


Environmental FirstSearch

.12 Mile Radius from Area
Non-ASTM Map: Spills 90



, GLEN COVE NY 11542



Source: 2005 U.S. Census TIGER Files

| | |
|--|--|
| Area Polygon | |
| Identified Site, Multiple Sites, Receptor | |
| NPL, DELNPL, Brownfield, Solid Waste Landfill (SWL), Hazardous Waste | |
| Triballand..... | |
| National Historic Sites and Landmark Sites | |
| Railroads | |

Environmental FirstSearch Descriptions

NPL: EPA NATIONAL PRIORITY LIST - The National Priorities List is a list of the worst hazardous waste sites that have been identified by Superfund. Sites are only put on the list after they have been scored using the Hazard Ranking System (HRS), and have been subjected to public comment. Any site on the NPL is eligible for cleanup using Superfund Trust money.

A Superfund site is any land in the United States that has been contaminated by hazardous waste and identified by the Environmental Protection Agency (EPA) as a candidate for cleanup because it poses a risk to human health and/or the environment.

FINAL - Currently on the Final NPL

PROPOSED - Proposed for NPL

NPL DELISTED: EPA NATIONAL PRIORITY LIST Subset - Database of delisted NPL sites. The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

DELISTED - Deleted from the Final NPL

CERCLIS: EPA COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY INFORMATION SYSTEM (CERCLIS)- CERCLIS is a database of potential and confirmed hazardous waste sites at which the EPA Superfund program has some involvement. It contains sites that are either proposed to be or are on the National Priorities List (NPL) as well as sites that are in the screening and assessment phase for possible inclusion on the NPL.

PART OF NPL- Site is part of NPL site

DELETED - Deleted from the Final NPL

FINAL - Currently on the Final NPL

NOT PROPOSED - Not on the NPL

NOT VALID - Not Valid Site or Incident

PROPOSED - Proposed for NPL

REMOVED - Removed from Proposed NPL

SCAN PLAN - Pre-proposal Site

WITHDRAWN - Withdrawn

NFRAP: EPA COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY INFORMATION SYSTEM ARCHIVED SITES - database of Archive designated CERCLA sites that, to the best of EPA's knowledge, assessment has been completed and has determined no further steps will be taken to list this site on the National Priorities List (NPL). This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

NFRAP – No Further Remedial Action Plan

P - Site is part of NPL site

D - Deleted from the Final NPL

F - Currently on the Final NPL

N - Not on the NPL

O - Not Valid Site or Incident

P - Proposed for NPL

R - Removed from Proposed NPL

S - Pre-proposal Site

W – Withdrawn

RCRA COR ACT: EPA RESOURCE CONSERVATION AND RECOVERY INFORMATION SYSTEM SITES - Database of hazardous waste information contained in the Resource Conservation and Recovery Act Information (RCRAInfo), a national program management and inventory system about hazardous waste handlers. In general, all generators, transporters, treaters, storers, and disposers of hazardous waste are required to provide information about their activities to state environmental agencies. These agencies, in turn pass on the information to regional and national EPA offices. This regulation is governed by the Resource Conservation and Recovery Act (RCRA), as amended by the Hazardous and Solid Waste Amendments of 1984.

RCRAInfo facilities that have reported violations and subject to corrective actions.

RCRA TSD: EPA RESOURCE CONSERVATION AND RECOVERY INFORMATION SYSTEM TREATMENT, STORAGE, and DISPOSAL FACILITIES. - Database of hazardous waste information contained in the Resource Conservation and Recovery Act Information (RCRAInfo), a national program management and inventory system about hazardous waste handlers. In general, all generators, transporters, treaters, storers, and disposers of hazardous waste are required to provide information about their activities to state environmental agencies. These agencies, in turn pass on the information to regional and national EPA offices. This regulation is governed by the Resource Conservation and Recovery Act (RCRA), as amended by the Hazardous and Solid Waste Amendments of 1984.

Facilities that treat, store, dispose, or incinerate hazardous waste.

RCRA GEN: EPA RESOURCE CONSERVATION AND RECOVERY INFORMATION SYSTEM GENERATORS - Database of hazardous waste information contained in the Resource Conservation and Recovery Act Information (RCRAInfo), a national program management and inventory system about hazardous waste handlers. In general, all generators, transporters, treaters, storers, and disposers of hazardous waste are required to provide information about their activities to state environmental agencies. These agencies, in turn pass on the information to regional and national EPA offices. This regulation is governed by the Resource Conservation and Recovery Act (RCRA), as amended by the Hazardous and Solid Waste Amendments of 1984. Facilities that generate or transport hazardous waste or meet other RCRA requirements.

LGN - Large Quantity Generators

SGN - Small Quantity Generators

VGN – Conditionally Exempt Generator.

Included are RAATS (RCRA Administrative Action Tracking System) and CMEL (Compliance Monitoring & Enforcement List) facilities.

ERNS: EPA/NRC EMERGENCY RESPONSE NOTIFICATION SYSTEM (ERNS) - Database of incidents reported to the National Response Center. These incidents include chemical spills, accidents involving chemicals (such as fires or explosions), oil spills, transportation accidents that involve oil or chemicals, releases of radioactive materials, sightings of oil sheens on bodies of water, terrorist incidents involving chemicals, incidents where illegally dumped chemicals have been found, and drills intended to prepare responders to handle these kinds of incidents. Data since January 2001 has been received from the National Response System database as the EPA no longer maintains this data.

Tribal Lands: DOI/BIA INDIAN LANDS OF THE UNITED STATES - Database of areas with boundaries established by treaty, statute, and (or) executive or court order, recognized by the Federal Government as territory in which American Indian tribes have primary governmental authority. The Indian Lands of the United States map layer shows areas of 640 acres or more, administered by the Bureau of Indian Affairs. Included are Federally-administered lands within a reservation which may or may not be considered part of the reservation.

BUREAU OF INDIAN AFFIARS CONTACT - Regional contact information for the Bureau of Indian Affairs offices.

State/Tribal Sites: NYSDEC ENVIRONMENTAL SITE REMEDIATION DATABASE - database of sites being remediated under a DER remedial program/s (i.e. State Superfund, Brownfield Cleanup, etc.). This database also includes the Registry of Institutional and Engineering Controls in New York State.

REGISTRY OF INACTIVE HAZARDOUSE WASTE DISPOSAL SITES –

HAZARDOUS SUBSTANCE SITE STUDY - (STATIC) This study was done in 1998 and was prepared by the NY DEC, Hazardous Substances Waste Disposal Task Force In consultation with N.Y. Department of Health

State Spills 90: NYSDEC SPILL INCIDENTS DATABASE - database of chemical and petroleum spill incidents that occurred since 1990.

State/Tribal SWL: NYSDEC ACTIVE FACILITIES REGISTRY - database of solid waste landfill facilities. The data includes location, waste type, owner and permit number.

State/Tribal LUST: NYSDEC SPILL INCIDENTS DATABASE SUBSET - database of chemical and petroleum spill incidents where the cause was a tank test failure or tank failure

State/Tribal UST/AST: NYSDEC DATABASE OF PETROLEUM BULK STROAGE, MAJOR OIL STORAGE (MOSF), AND CHEMICAL BULK STORAGE (CBS) FACILITIES - database of petroleum or chemical storage facilities. The data includes status, tank type, capacity and contents. The data also includes

Nassau County Department of Health's PBS Tanks
Nassau County Fire Marshall's PBS Tanks
Suffolk County Department of Health Services PBS Tanks
Cortland County Health Department PBS Tanks
Rockland County Department of Health PBS Tanks
Westchester County Department of Health PBS Tanks.

State/Tribal EC: *NYSDEC* REGISTRY OF INSTITUTIONAL AND ENGINEERING CONTROLS Subset
- database of sites from the Registry that have Engineering Controls.

State/Tribal IC: *NYSDEC/NYDOC* REGISTRY OF INSTITUTIONAL AND ENGINEERING
CONTROLS Subset - database of sites from the Registry that have Institutional Controls.

State/Tribal VCP: *NYSDEC* VOLUNTARY CLEANUP PROGRAM - static database of voluntary clean up
sites. The Brownfield Cleanup program has replaced the Voluntary Cleanup Program.

State/Tribal Brownfields: *NYSDEC* BROWNFIELD - database of old brownfield programs, brownfield
cleanup programs, environmental restoration projects.

RADON: *NTIS* NATIONAL RADON DATABASE - EPA radon data from 1990-1991 national radon
project collected for a variety of zip codes across the United States.

Environmental FirstSearch Database Sources

NPL: EPA Environmental Protection Agency

Updated quarterly

NPL DELISTED: EPA Environmental Protection Agency

Updated quarterly

CERCLIS: EPA Environmental Protection Agency

Updated quarterly

NFRAP: EPA Environmental Protection Agency.

Updated quarterly

RCRA COR ACT: EPA Environmental Protection Agency.

Updated quarterly

RCRA TSD: EPA Environmental Protection Agency.

Updated quarterly

RCRA GEN: EPA Environmental Protection Agency

Updated quarterly

ERNS: EPA/NRC Environmental Protection Agency

Updated annually

Tribal Lands: DOI/BIA United States Department of the Interior

Updated annually

State/Tribal Sites: NYSDEC New York Department of Environmental Remediation
New York State Department of Environmental Conservation

Updated quarterly

State Spills 90: NYSDEC New York State Department of Environmental Conservation

Updated quarterly

State/Tribal SWL: *NYSDEC* New York State Department of Environmental Conservation

Updated annually

State/Tribal LUST: *NYSDEC* New York State Department of Environmental Conservation

Updated quarterly

State/Tribal UST/AST: *NYSDEC* New York State Department of Environmental Conservation
Nassau County Department of Health
Nassau County Fire Marshal
Cortland County Health Department
Rockland County Department of Health

Updated quarterly

State/Tribal EC: *NYSDEC* New York State Department of Environmental Conservation

Updated quarterly

State/Tribal IC: *NYSDEC/NYDOC* New York State Department of Environmental Conservation

Updated quarterly

State/Tribal VCP: *NYSDEC* New York State Department of Environmental Conservation

Updated quarterly

State/Tribal Brownfields: *NYSDEC* New York State Department of Environmental Conservation

Updated quarterly

RADON: *NTIS* Environmental Protection Agency, National Technical Information Services

Updated periodically

Property Ownership Information Table

| Parcel (SBL) | Owner | Address | | Assessed Value | Market Value (2011) | General Tax (County 2011) | Lot Area |
|--------------|------------------------------------|---------|------------------------|----------------|---------------------|---------------------------|------------|
| 21 004 00300 | BORUM WILLIE | 9 | CAPOBIANCO ST | 809.00 | 323400.00 | 654.20 | 5001.12 |
| 21 004 00310 | TRIANA EMILIA | 11 | CAPOBIANCO ST | 995.00 | 398000.00 | 804.60 | 4987.39 |
| 21 004 00340 | S & R ACQUISITIONS LLC | 17 | CAPOBIANCO ST | 980.00 | 391900.00 | 792.48 | 5004.94 |
| 21 021 00460 | BENCIVENI SAVERIO TRUST | 18 | CAPOBIANCO ST | 8228.00 | 822860.00 | 3260.51 | 5072.25 |
| 21 004 00350 | VILLATORO MARIA | 21 | CAPOBIANCO ST | 767.00 | 306600.00 | 620.24 | 5026.52 |
| 21 004 00380 | PANTAZAKOS PETER | 25 | CAPOBIANCO ST | 999.00 | 399700.00 | 807.84 | 4995.01 |
| 21 021 00500 | MACCARONE LOUIS | 26 | CAPOBIANCO ST | 792.00 | 316600.00 | 640.46 | 5069.06 |
| 21 004 00390 | JOHNSON ALEX & ROSE | 27 | CAPOBIANCO ST | 1016.00 | 406200.00 | 821.59 | 4907.71 |
| 21 021 00520 | DILEO LE PHILIP, P & A | 30 | CAPOBIANCO ST | 1142.00 | 456700.00 | 692.21 | 4995.54 |
| 21 021 01470 | CITY OF GLEN COVE | 20-22 | CAPOBIANCO ST | 1545.00 | 154480.00 | NA | 5529.34 |
| 21 021 00240 | ORTEGA MIGUEL A | 4 | CAPOBIANCO ST | 972.00 | 388600.00 | 786.02 | 4983.35 |
| 21 079 02050 | GALLO ANTHONY & ROSANN | 4 | CARNEY ST | 4679.00 | 467840.00 | 1828.96 | 5302.31 |
| 21 079 02110 | ABBONDANDOLO GREGORY | 6 | CARNEY ST | 3047.00 | 304700.00 | 1118.16 | 5135.29 |
| 21 079 02100 | ABBONDANDOLO GREGORY | 10 | CARNEY ST | 3912.00 | 391120.00 | 1371.36 | 5177.81 |
| 21 H 00320 | DISPIRITO ANTIMO & ANGELA | 39 | CARNEY ST | 771.00 | 308500.00 | 623.47 | 5110.98 |
| 21 H 02910 | CARNEY REALTY CORPORATION | 100 | CARNEY ST | 16630.00 | 1662920.00 | 6418.67 | 33081.78 |
| 21 H 02690 | 200 CARNEY STREET INC | 200 | CARNEY ST | 1341.00 | 134120.00 | 275.57 | 6004.30 |
| 21 H 02680 | 200 CARNEY STREET INC | 200 | CARNEY ST | 22611.00 | 2261090.00 | 7904.66 | 46652.69 |
| 21 079 02130 | 18 CARNEY STREET ASSOC LL | 18-20 | CARNEY ST | 756.00 | 302400.00 | 611.34 | 1872.61 |
| 21 H 00300 | VERGATA ETAL SAMUEL F | 36-38 | CARNEY ST | 2457.00 | 245720.00 | 844.49 | 5403.02 |
| 21 079 00170 | RENALDO ANTHONY | | CARNEY ST | 59.00 | 23760.00 | 47.71 | 4000.99 |
| 21 079 00160 | RENALDO ANTHONY | | CARNEY ST | 58.00 | 23170.00 | 46.91 | 3098.98 |
| 21 021 02420 | MACCARONE LOUIS J | 10 | CAVOSIANCO ST | 1028.00 | 389600.00 | 787.61 | 2861.44 |
| 21 021 00430 | HUSTON HERBERT | 14 | CAVOSIANCO ST | 1041.00 | 416400.00 | 841.80 | 5086.44 |
| 21 H 03120 | UNITY LLC | 4 | CEDAR SWAMP RD | 35448.00 | 3544840.00 | 13681.87 | 82397.64 |
| 21 H 02640 | CANDEMOR REALTY CO | 10 | CEDAR SWAMP RD | 45135.00 | 4513470.00 | 9350.51 | 56282.03 |
| 21 H 02670 | RALLYE LEASING INC | 32 | CEDAR SWAMP RD | 1836.00 | 183590.00 | 653.83 | 6017.76 |
| 21 079 02220 | RALLYE LEASING INC | 34 | CEDAR SWAMP RD | 10902.00 | 1090230.00 | 4207.84 | 26461.53 |
| 21 079 02230 | RACANELLI L E JEAN, MARGHERITA | 40 | CEDAR SWAMP RD | 968.00 | 387100.00 | 782.78 | 11258.25 |
| 21 079 02240 | ASTORIA FEDERAL S & L ASSN | 44 | CEDAR SWAMP RD | 14547.00 | 1454700.00 | 2921.42 | 25844.07 |
| 21 079 02260 | TODISCO FAMILY LIMITED PARTNERSHIP | 48 | CEDAR SWAMP RD | 3535.00 | 353440.00 | 1364.41 | 8163.38 |
| 21 080 00180 | LUYSTER MOTORS INC | 50 | CEDAR SWAMP RD | 47424.00 | 4742380.00 | 17176.43 | 105543.04 |
| 21 079 02310 | STANCO ETAL MICHAEL | 50 | CEDAR SWAMP RD | 1114.00 | 445600.00 | 804.60 | 22072.83 |
| 21 079 02280 | GALLO ANTHONY & ROSANN | 52 | CEDAR SWAMP RD | 4990.00 | 499065.00 | 1846.09 | 9613.52 |
| 21 079 02290 | ABBONDANDOLO GREGORY | 54 | CEDAR SWAMP RD | 977.00 | 390800.00 | 790.04 | 5630.49 |
| 21 080 00160 | BIANCONI MARCUS & L | 62 | CEDAR SWAMP RD | 15382.00 | 1538145.00 | 5313.64 | 56939.30 |
| 21 S 0009K | ZANGARI TERESA | 72 | CEDAR SWAMP RD | 287.00 | 28720.00 | 96.10 | 5572.15 |
| 21 S 0009J | ZANGARI TERESA | 72-74 | CEDAR SWAMP RD | 13278.00 | 1327780.00 | 20829.39 | 25166.67 |
| 21 S 0006F | GLEN HEAD COUNTRY CLUB INC | NO # | CEDAR SWAMP RD | 86662.00 | 8666175.00 | 126494.76 | 7562905.26 |
| 21 H 03100 | CITY OF GLEN COVE | | GLEN COVE ATRERIAL HWY | 59048.00 | 5904780.00 | -- | 122923.79 |
| 21 D 06360 | A B L I CORP | 300-304 | GLEN ST | 24454.00 | 2445410.00 | NA | 23846.24 |
| 21 D 06120 | CITY OF GLEN COVE | | GLEN ST | 30381.00 | 3038140.00 | -- | 76582.42 |
| 21 D 06110 | CITY OF GLEN COVE | | GLEN ST | 43039.00 | 4303910.00 | -- | 121098.21 |
| 21 D 10910 | CITY OF GLEN COVE | | GLEN ST | 24365.00 | 2436520.00 | -- | 68051.89 |
| 21 H 01030 | GENOVA PATRICIA | 6 | GROVE ST | 4313.00 | 431290.00 | 1612.20 | 4745.95 |
| 21 079 02070 | NATH BUDDHADEB & INDRANI | 11 | GROVE ST | 837.00 | 334600.00 | 676.84 | 5979.46 |

Property Ownership Information Table

| | | | | | | | |
|--------------|-------------------------------------|-------|-----------|----------|------------|----------|----------|
| 21 079 02060 | MONTAGNESE VINCENT & DIANE | 13 | GROVE ST | 962.00 | 384700.00 | 777.93 | 4801.78 |
| 21 H 00600 | GULINO ETAL JOSEPH | 16 | GROVE ST | 3756.00 | 375530.00 | 1505.85 | 3134.50 |
| 21 079 00180 | MILANESE SUZANNE & VITO J | 17 | GROVE ST | 8801.00 | 88040.00 | 3264.42 | 7541.77 |
| 21 079 00250 | COCCHIOLA G | 19 | GROVE ST | 61.00 | 24380.00 | 49.32 | 5098.61 |
| 21 079 00010 | COCCHIOLA GABRIEL | 19 | GROVE ST | 7726.00 | 772650.00 | 2589.47 | 10581.81 |
| 21 H 00580 | SPINELLO FRANK J | 20 | GROVE ST | 791.00 | 316400.00 | 639.64 | 5297.18 |
| 21 004 00280 | MINICOZZI FMB | 25 | GROVE ST | 956.00 | 382300.00 | 773.06 | 5088.96 |
| 21 H 00520 | MINICOZZI FRANCIS & BARBARA | 26 | GROVE ST | 1071.00 | 428600.00 | 866.06 | 4842.24 |
| 21 004 00270 | MINICOZZI FRANCIS & BARBARA | 33 | GROVE ST | 990.00 | 395800.00 | 800.56 | 5110.35 |
| 21 H 01140 | ORCHARD COLONY REALTY CORP | 34 | GROVE ST | 7854.00 | 785430.00 | 3392.69 | 13664.37 |
| 21 021 00230 | AGUILAR JUAN & AURA | 39 | GROVE ST | 925.00 | 369900.00 | 748.00 | 5091.53 |
| 21 021 00220 | PAULINO E DELAROSA & JOSE | 41 | GROVE ST | 931.00 | 372500.00 | 752.85 | 5008.76 |
| 21 H 00170 | ANZALONE MICHAEL | 42 | GROVE ST | 3205.00 | 320460.00 | 1237.03 | 11272.43 |
| 21 021 01210 | GRECO JOSEPHINE | 43 | GROVE ST | 802.00 | 320600.00 | 648.55 | 4369.39 |
| 21 H 00180 | ANZALONE MICHAEL | 44 | GROVE ST | 1223.00 | 489400.00 | 988.97 | 10748.54 |
| 21 H 00190 | FLORES NARCISO | 46 | GROVE ST | 1071.00 | 428600.00 | 866.06 | 11254.61 |
| 21 H 00210 | MINICOZZI FRANCIS & B | 26-28 | GROVE ST | 4118.00 | 411710.00 | 1495.48 | 4292.69 |
| 21 H 00130 | VILLELLA GIANNI | 30-32 | GROVE ST | 1076.00 | 430500.00 | 870.12 | 11817.69 |
| 21 004 00250 | MINICOZZI FRANCIS | 33-35 | GROVE ST | 7300.00 | 729990.00 | 2933.08 | 10154.86 |
| 21 H 01160 | ANZALONE A GALLO & MICHAEL | 38 40 | GROVE ST | 6582.00 | 658230.00 | 1935.65 | 20348.85 |
| 21 H 00040 | RALLYE LEASING INC | | GROVE ST | 48881.00 | 4888160.00 | 16560.05 | 81759.47 |
| 21 H 02010 | RALLYE LEASING INC | 3 | HAZEL AVE | 4274.00 | 427390.00 | 1317.71 | 11765.12 |
| 21 H 01010 | RALLYE LEASING INC | 7 | HAZEL AVE | 1463.00 | 146250.00 | 492.89 | 5005.57 |
| 21 H 00120 | VILLELLA GIANNI | 10 | HAZEL AVE | 656.00 | 262100.00 | 530.48 | 3486.07 |
| 21 080 00100 | TM BIER & ASSOC INC | 79 | HAZEL AVE | 23153.00 | 2315330.00 | 8610.22 | 40536.72 |
| 21 H 00560 | MC GRADY RICHARD & ANNE | 2 | HAZEL ST | 769.00 | 307500.00 | 621.85 | 4955.30 |
| 21 H 00550 | PETULLA MARCELLO | 4 | HAZEL ST | 939.00 | 375700.00 | 759.33 | 5666.45 |
| 21 H 00100 | MACEDONIO ANTHONY & MARIANN | 8 | HAZEL ST | 986.00 | 394200.00 | 797.33 | 6269.90 |
| 21 H 00060 | SCALICI SALVATORE & R S | 13 | HAZEL ST | 1032.00 | 412900.00 | 834.52 | 9253.28 |
| 21 H 00570 | TROFFA V F | 15 | HAZEL ST | 938.00 | 323200.00 | 653.39 | 5114.86 |
| 21 H 00110 | MINICOZZI FRANK & BARBARA | 20 | HAZEL ST | 755.00 | 302100.00 | 610.53 | 2539.06 |
| 21 004 00290 | DAMBROSIO PHILIP | 38 | HAZEL ST | 1075.00 | 429800.00 | 869.30 | 5063.73 |
| 21 079 00030 | GRELLA FANNIE | 39 | HAZEL ST | 959.00 | 383700.00 | 659.05 | 9343.71 |
| 21 004 00320 | BENCIVENNI U & M ETAL TRUST | 42 | HAZEL ST | 7700.00 | 769990.00 | 3042.36 | 5045.48 |
| 21 004 00330 | VILLATORO MARIA L | 44 | HAZEL ST | 972.00 | 388900.00 | 786.02 | 5057.56 |
| 21 079 00080 | KABBARA MAHER & AYRAL-KABBARA SEYDA | 45 | HAZEL ST | 1408.00 | 563200.00 | 1138.58 | 8966.91 |
| 21 079 00090 | DIGIOVANNI A | 47 | HAZEL ST | 842.00 | 337100.00 | 680.89 | 8814.86 |
| 21 079 00040 | GRELLA P DELUCA & P | 49 | HAZEL ST | 985.00 | 394200.00 | 796.52 | 8759.57 |
| 21 004 00360 | DELUCA G | 50 | HAZEL ST | 4282.00 | 428190.00 | 1487.53 | 7457.92 |
| 21 079 00100 | PARTNERSHIP TODISCO FAMILYLIMITED | 53 | HAZEL ST | 984.00 | 393800.00 | 795.71 | 8892.46 |
| 21 079 00110 | PANTAZAKOS ELENH | 57 | HAZEL ST | 5402.00 | 540170.00 | 2053.15 | 6426.18 |
| 21 H 00290 | DELUCA PASQUALE | 60 | HAZEL ST | 4431.00 | 443050.00 | 1637.67 | 5120.14 |
| 21 079 00120 | GUARDADO ESMERALDA D & REYES JOSE L | 61 | HAZEL ST | 949.00 | 379400.00 | 767.40 | 6107.96 |
| 21 079 00130 | PALUMBI JOHN | 63 | HAZEL ST | 941.00 | 376100.00 | 760.94 | 6058.35 |
| 21 H 00530 | MINICOZZI FRANK & BARBARA | 63 | HAZEL ST | 738.00 | 294900.00 | 596.79 | 3401.20 |
| 21 079 00140 | RENALDO DOMINIC & ROSEANNE | 67 | HAZEL ST | 1140.00 | 455900.00 | 921.86 | 5068.56 |
| 21 H 00440 | 70 HAZEL STREET ASSOCIATES | 70 | HAZEL ST | 1088.00 | 435200.00 | 879.81 | 5155.89 |

Property Ownership Information Table

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|--------------|--------------------------------------|-------|---------------|----------|------------|---------|-----------|
| 21 079 02120 | CURCIO ERNEST | 71 | HAZEL ST | 8755.00 | 875470.00 | 3394.85 | 3212.60 |
| 21 H 00330 | GAUDIO MATTEO & CATHY | 74 | HAZEL ST | 1073.00 | 429100.00 | 867.68 | 4973.78 |
| 21 H 00340 | BENITEZ ALBERTO & ROSA | 76 | HAZEL ST | 960.00 | 383900.00 | 776.30 | 5096.80 |
| 21 H 02440 | SEKELSKY STEPHEN C & MARIA A | 80 | HAZEL ST | 1342.00 | 134150.00 | 444.25 | 5282.85 |
| 21 H 00430 | SEKELSKY STEPHEN C & MARIA A | 80 | HAZEL ST | 2525.00 | 252490.00 | 855.30 | 5078.27 |
| 21 H 03000 | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 88 90 | HAZEL ST | 34806.00 | 3480640.00 | 6619.00 | 106388.90 |
| 21 080 00080 | 85 HAZEL ST CORP | | HAZEL ST | 20117.00 | 2011750.00 | 6175.90 | 40879.03 |
| 21 H 00540 | PETULLA MARCELLO | | HAZEL ST | 627.00 | 250670.00 | 507.03 | 6124.27 |
| 21 H 01420 | CONDEMOR REALTY CO | | HAZEL ST | 1894.00 | 189380.00 | 378.26 | 7039.05 |
| 21 021 01490 | BENCIVENNI SAVERIO TRUST | | JACKSON ST | 3.00 | 1000.00 | 2.41 | 124.28 |
| 21 021 02430 | MC CARONE LOUIS & VIRGINIA A | 16 | LANDING RD | 669.00 | 267900.00 | 540.99 | 2161.53 |
| 21 H 02950 | IZZO PASQUALE A | | RICHARD PL | 5.00 | | | 67.07 |
| 21 S 08490 | ENF INC | 1 | SEA CLIFF AVE | 5044.00 | | | 12490.65 |
| 21 080 00240 | MAC PROPERTIES INC | 10 | SEA CLIFF AVE | 1571.00 | | | 8872.12 |
| 21 080 00230 | MAC PROPERTIES INC | 10 | SEA CLIFF AVE | 10149.00 | | | 20385.07 |
| 21 H 02730 | PALL CORPORATION | 30 | SEA CLIFF AVE | 766.00 | 76650.00 | 295.65 | 10870.12 |
| 21 H 03140 | PALL CORPORATION | 30 | SEA CLIFF AVE | 554.00 | 55335.00 | 213.82 | 11199.98 |
| 21 S 0895A | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 1450.00 | | | 23206.06 |
| 21 S 0843A | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 25233.00 | | | 197405.59 |
| 21 S 08960 | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 15055.00 | | | 21760.33 |
| 21 S 08980 | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 15987.00 | | | 128441.86 |
| 21 S 0212C | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 1143.00 | 114280.00 | 968.85 | 5072.47 |
| 21 S 0212N | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 47804.00 | | | 115053.96 |
| 21 S 0213D | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 34395.00 | | | 144532.45 |
| 21 S 0217A | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 43370.00 | | | 114620.64 |
| 21 S 00100 | SEA CLIFF COAL & LUMBER CO | 31 | SEA CLIFF AVE | 39113.00 | | | 182254.12 |
| 21 S 08440 | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 51.00 | | | 576.33 |
| 21 S 08970 | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 52892.00 | | | 139918.69 |
| 21 S 0213C | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 31 | SEA CLIFF AVE | 2396.00 | | | 21347.98 |
| 21 H 02460 | AUGUST THOMPSEN CORP | 36 | SEA CLIFF AVE | 19376.00 | | | 118667.60 |
| 21 H 02460 | AUGUST THOMPSEN CORP | 36 | SEA CLIFF AVE | 19376.00 | | | 59981.53 |
| 21 H 03180 | CALO GAETANO & TINA | 40 | SEA CLIFF AVE | 15539.00 | | | 45831.05 |
| 21 H 03060 | 44 SEA CLIFF AVENUE LLC | 44 | SEA CLIFF AVE | 20812.00 | | | 42885.02 |
| 21 S 0895B | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | 45 | SEA CLIFF AVE | 6868.00 | | | 28527.01 |
| 21 S 03180 | 55 SEA CLIFF AVE INC | 55 | SEA CLIFF AVE | 19203.00 | | | 45384.83 |
| 21 H 00350 | LAURIC REALTY ASSOCIATION LLC | 60 | SEA CLIFF AVE | 30156.00 | | | 84972.15 |
| 21 H 02550 | BENCIVENNI SAVERIO TRUST | 68 | SEA CLIFF AVE | 1198.00 | | | 7319.80 |
| 21 S 0843B | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | | SEA CLIFF AVE | 545.00 | 54540.00 | 462.88 | 1913.59 |
| 21 S 0217B | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | | SEA CLIFF AVE | 10263.00 | | | 62366.97 |
| 21 H 02480 | CANARICK JACK | | SEA CLIFF AVE | 691.00 | | | 10398.96 |
| 21 S 0006A | GLEN HEAD COUNTRY CLUB INC | | SEA CLIFF AVE | 9045.00 | | | 59967.29 |
| 21 H 03170 | 44 SEA CLIFF AVENUE LLC | | SEA CLIFF AVE | 2481.00 | | | 26432.74 |
| 21 S 0212P | NASSAU COUNTY INDUSTRIAL DEVELOPMENT | | SEA CLIFF AVE | 333.00 | | | 3142.71 |
| 21 H 00370 | PALL CORPORATION | 30 | SEA CLIFF AVE | 24829.00 | | | 143833.89 |
| 21 H 03050 | TORNICCHIO FRANCESCO & GIUSEPPE | 2 | STANCO ST | 743.00 | 297270.00 | 600.81 | 7717.67 |
| 21 H 02900 | CAPOBIANCO JR ALBERT | 2 | STANCO ST | 677.00 | 270700.00 | 547.45 | 5742.60 |
| 21 021 01410 | CRUZ VINCENTE | 5 | STANCO ST | 898.00 | 359100.00 | 726.17 | 5699.79 |

Property Ownership Information Table

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|--------------|--------------------------------------|--------|-------------|----------|------------|---------|----------|
| 21 H 02780 | MC CAULEY MARIE M | 6 | STANCO ST | 682.00 | 272700.00 | 551.50 | 8311.74 |
| 21 H 02790 | FALLO ANGELINA | 8 | STANCO ST | 679.00 | 271500.00 | 549.09 | 3315.70 |
| 21 021 00440 | INNAMORATO LORENZO & JOSEPHINE TRUST | 9 | STANCO ST | 1652.00 | 660600.00 | 1335.88 | 9963.73 |
| 21 H 02800 | GALANTE A | 10 | STANCO ST | 778.00 | 311100.00 | 604.87 | 4303.31 |
| 21 021 01480 | BENCIVENNI SAVERIO & GULINO JOSEPH | 11 | STANCO ST | 897.00 | 359100.00 | 725.36 | 4599.04 |
| 21 H 02810 | BIALY LE A GALANTE ETAL,T | 12 | STANCO ST | 705.00 | 282200.00 | 284.64 | 3344.23 |
| 21 H 02850 | GALANTE LINDA | 14 | STANCO ST | 825.00 | 330200.00 | 667.13 | 4889.22 |
| 21 H 02860 | SANFRATELLO JENNIE P | 18 | STANCO ST | 975.00 | 389900.00 | 788.43 | 4049.20 |
| 21 021 00490 | CURCIO ERNEST | 15 A&B | STANCO ST | 11108.00 | 1110800.00 | 3413.43 | 10076.33 |
| 21 004 00400 | EL-QAQ ELIZABETH | 4 | WILLOW ST | 1721.00 | 688200.00 | 1391.69 | 7540.25 |
| 21 H 01280 | MEDINA FRANK & CAROL | 7 | WILLOW ST | 828.00 | 331100.00 | 669.57 | 2944.11 |
| 21 H 00270 | DIGIOVANI ANDREW & HEIDI | 9 | WILLOW ST | 688.00 | 275300.00 | 556.35 | 2974.18 |
| 21 H 00450 | ARMENTIA JOSE & JOSEFINA | 11 | WILLOW ST | 820.00 | 328000.00 | 663.09 | 4234.04 |
| 21 H 00260 | 200 CARNEY STREET INC | 15 | WILLOW ST | 1399.00 | 139850.00 | 393.30 | 5162.82 |
| 21 H 00310 | RUIZ MARTHA | 142 | WOOLSEY AVE | 999.00 | 399500.00 | 807.84 | 5090.92 |
| 21 H 03020 | | | | 0.00 | | | 85576.85 |



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